

2022/0576

David Marsh

Erection of single storey side extension to dwelling

112 Kingsway, Staincross, Barnsley, S75 6EU

Planning History

2022/0323 - Lawful development certificate for proposed development of single storey rear extension – Refused for the following reason:- The proposed extension does not comply with the limitations of Class A of Part 1 of Schedule 2 of the GPDO in that the extension would be set to a side elevation and would exceed more than half the width of the original dwelling and would exceed 4m in height.

Description

The application relates to a detached pitched roof bungalow set on a cul-de-sac location off Kingsway, Staincross. The front elevation of the dwelling faces onto the cul-de-sac and features bay windows. The entrance door is set to the north western side elevation and the property has an existing single storey flat roof side extension to the south eastern elevation. The property has its main garden areas side to the side and rear.

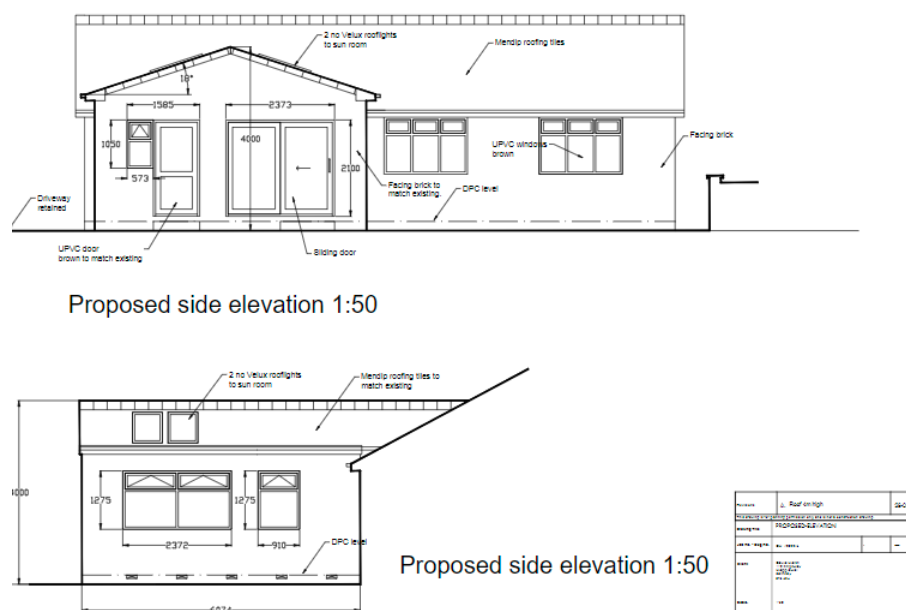
The property is set at a higher level than the property to the south number 110 Kingsway.

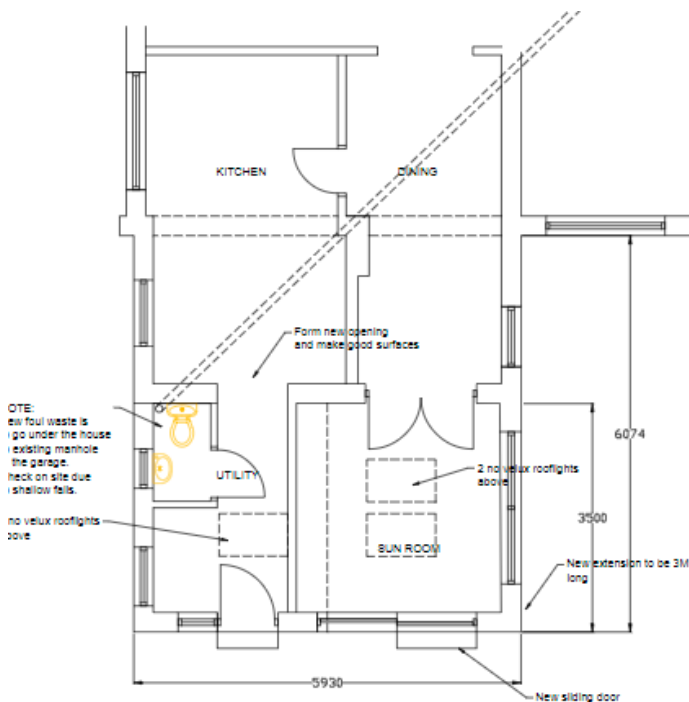




Proposed Development

The materials used will be matching brickwork and roof tiles.





Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise. The recently revised National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making.

Local Plan Allocation – Urban Fabric

The Barnsley Local Plan (BLP) was adopted at the full Council meeting held 3rd January 2019. In addition, the Local Authority (LPA) has adopted a series of Supplementary Planning Documents (SPD), and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process. In reference to this application, the following policies are relevant:

Policy SD1: Presumption in favour of Sustainable Development – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

Policy GD1: General Development – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

Policy D1: High quality design and place making – Supersedes Core Strategy Policy CSP 29 and sets out the overarching design principles for the borough. Policy D1 States that development is expected to be of high-quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley.

Supplementary Planning Document: House extensions and Other Domestic Alterations

This document establishes the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations. The general principles are that proposals should;

- Be of a scale and design which harmonises with the existing building;
- Not adversely affect the amenity of neighbouring properties;
- Maintain the character of the street scene; and
- Not interfere with highway safety

The above principles are to reflect the revised principles in the NPPF, which promote high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

Section 12: Achieving well designed places - The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. It is important to plan positively for the inclusion of high-quality design for all developments, including individual buildings, public and private spaces and wider area development schemes.

Within section 12, paragraph 134 states that *“development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes”*.

Consultations

None

Representations

Neighbouring properties have been consulted via letter. No comments have been received in response.

Assessment

Principle of Development

The site falls within urban fabric which has no specific land allocation; however, the site and surrounding area is made up principally of housing. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and highway safety.

Visual Amenity

The SPD states that *‘materials should normally be of the same type, colour and texture to the existing house or as close a match as possible’*. In this case, the proposed materials will match the existing dwelling with matching stone and roof tiles being used. The extension utilises a pitched roof which is akin to the existing dwellings pitched roof and therefore an acceptable roof type.

The SPD states that single storey side extensions *“should not have an excessive sideways projection (i.e. more than two thirds the width of the original dwelling)”* in order to ensure subordination and so that the original dwelling stays as the dominant feature. The proposal does have a projection in total (with the previous side extension) of more than two thirds of the width of the original dwelling, however in this instance the property is located in a corner plot of a cul-de-sac where the side extension would not appear excessive and it would be partially screened from view by existing boundary treatments and when viewed at a lower level by number 110 Kingsway. The impact upon the street scene will not be detrimental as the street scene is fairly varied and as the extension is set back, it would still appear subservient to the host dwelling.

The proposal would include the erection of a pitched roof to the existing extension which would be an overall improvement to the appearance of the dwelling. In this instance the proposal is considered to be acceptable when measured against Local Plan Policy D1: High Quality Design and Place Making and is considered acceptable in terms of visual amenity.

Residential Amenity

Whilst the property is set at a higher level than the closest neighbour at 110 Kingsway, the extension is single storey only and is set to the north therefore should not cause any significant overshadowing or loss of light. In terms of overbearing impact, the extension would be set approx. 10m from the rear of this property where there is a single window to the rear elevation. This is the same distance that the existing side extension achieves to the rear. As this is a single storey extension it is considered that this distance is sufficient and the proposed extension should not have a significant detrimental impact on any neighbouring property by way of overshadowing or overbearing impact.

In terms of overlooking, the two windows proposed on the front elevation will be obscurely glazed windows (as agreed by the applicant) and consist of a wc window and a porch. Whilst they will be in close proximity to the boundary with the neighbouring dwelling, they will be obscurely glazed and they will be partially screened by existing boundary treatments which consist of a close boarded fence, therefore there should not be a significant loss of privacy to number 110. The other surrounding dwellings are a significant distance from the proposal and should not be significantly impacted by the proposal. The proposal is considered to be in compliance with Local Plan Policy GD1: General Development and is acceptable in terms of residential amenity.

Highway Safety

There will be no impact upon highway safety as the proposal is set away from the existing driveway and would not reduce parking provision, once constructed.

Recommendation

Approve with conditions