

2022/0715

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9 Wentworth Mews, Penistone, Barnsley, S36 9UZ

Two storey side extension and single storey rear extension

### Site Description

The dwelling is a two-storey terraced dwelling located in Penistone. Wentworth Mews has a very consistent street scene with a mix of two-storey semi-detached and terraced dwellings which all share matching materials. These being red brickwork and concrete roof tiles. The dwelling has parking area to front, a detached outbuilding to the side and an existing rear extension to the rear.

### Planning History

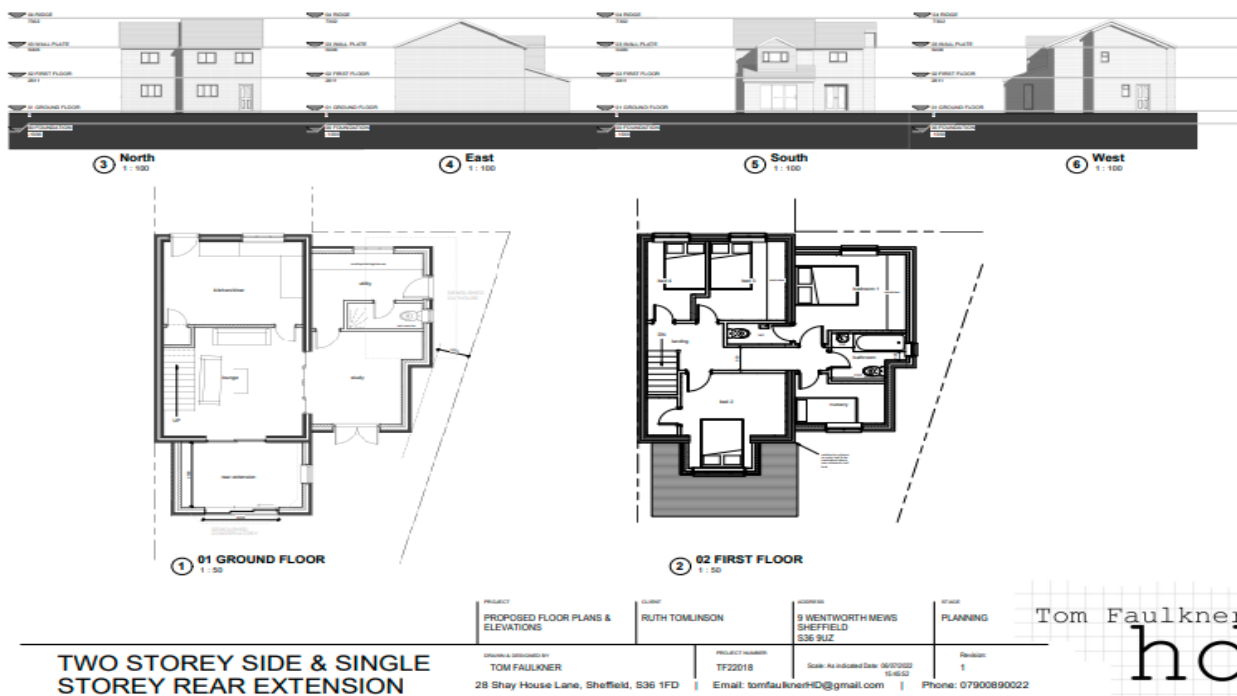
B/89/0269/PU - Residential development (Historic)

B/90/0947/PU - Erection of 8 detached dwellings (Historic)

B/91/1203/PU - Erection of 28 flats (Historic)

B/93/1319/PU - Residential development (18 dwellings) (Historic)

### Proposed Development



The applicant is seeking approval for the erection of a two-storey side extension and a single storey rear extension. The side extension will project 3.85 meters from the side (southeast) elevation of the dwelling. The extension has a width of 7.25 meters. The extension will feature a pitched roof with a ridge height of 7.15 meters and an eaves height of 5.15 meters.

The rear extension will project 2.8 meters from the rear elevation and has a width of 4.5 meters. The extension uses a mono-pitched roof with a ridge height of 3.7 meters and an eaves height of 2.45 meters. The materials used for both extensions will be matching brickwork and roof tiles.

## **Policy Context**

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise. The recently revised National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making.

## **Local Plan Allocation – Urban Fabric & Penistone Neighbourhood Development Plan**

The Barnsley Local Plan (BLP) was adopted at the full Council meeting held 3rd January 2019. In addition, the Local Authority (LPA) has adopted a series of Supplementary Planning Documents (SPD), and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process. In reference to this application, the following policies are relevant:

***Policy SD1: Presumption in favour of Sustainable Development*** – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

***Policy GD1: General Development*** – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

***Policy D1: High quality design and place making*** – Supersedes Core Strategy Policy CSP 29 and sets out the overarching design principles for the borough. Policy D1 States that development is expected to be of high-quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley.

***Policy HE1: The Historic Environment*** – Positively encourage developments that help in the management, conservation and understanding of the historic environment.

## **Supplementary Planning Document: House extensions and Other Domestic Alterations**

This document establishes the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations. The general principles are that proposals should;

- Be of a scale and design which harmonises with the existing building;
- Not adversely affect the amenity of neighbouring properties;
- Maintain the character of the street scene; and
- Not interfere with highway safety

The above principles are to reflect the revised principles in the NPPF, which promote high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

## National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

**Section 12: Achieving well designed places** - The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. It is important to plan positively for the inclusion of high-quality design for all developments, including individual buildings, public and private spaces and wider area development schemes.

Within section 12, paragraph 134 states that *“development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes”*.

## Provisions under the 'Town and Country Planning (General Permitted Development) (England) Order 2015'

The Town and Country Planning (General Permitted Development) (England) Order 2015 (GPDO) states that a single-storey extension, extending beyond the rear of the original house by no more than 4 metres (if a detached house) or 3 meters in any other case, that are no more than 4 meters in height and built using matching materials, can be erected without a planning application. This is an important consideration with this application as it represents a potential fallback position, whereby a single storey rear extension can be erected without planning permission, because the Government considers the impact of such development to be modest.

## **Consultations**

The LPA's Conservation Officer was consulted and raised no objections.

Highways Development Control (DC) were consulted and raised no objections.

Penistone Town Council were consulted and provided no response.

## **Representations**

Neighbour notification letters were sent to surrounding properties, no comments were received.

## **Assessment**

### Principle of Development

The site falls within urban fabric which has no specific land allocation; however, the site and surrounding area is made up principally of housing. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and highway safety.

### Impact upon Conservation Area

This proposal seeks permission to extend to the east of the existing building to two storeys and replace an existing conservatory with a brick built rear lean-to. The existing building is the eastern most unit of a terrace of five dwellings that received permission in 1993 (B/93/1319/PU). The development is clearly modern and is in itself of no historic or architectural merit.

The Penistone Conservation area boundary is drawn to the east of the property to encompass the former Wentworth Arms pub and the terrace of properties along Wentworth Road circa 40 meters to the east. The pub dates from between 1851 and 1891 and was converted (following approval of 2014/0011) into apartments with the addition of four detached dwellings to the east (8-11 Wentworth Court). As a consequence, despite the close proximity, the setting to the east of the proposal site has been materially altered by the erection of the new dwellings at Wentworth Court. This means the sensitivity of the setting of the conservation area to the west (9 Wentworth Mews) is reduced and the proposal to extend the dwelling poses no harm to the setting of the conservation area.

### Visual Amenity

The SPD states that *'materials should normally be of the same type, colour and texture to the existing house or as close a match as possible'*. In this case, the proposed materials for both extensions will match the existing dwelling with matching brickwork and roof tiles being used. The SPD states *"all two-storey side extensions should therefore have a pitched roof following the form of the existing roof"*. The proposed extension utilises a pitched roof which follows the form of the existing dwellings pitched roof, is set down from the main roof line and is aligned at the eaves.

The SPD states *"to prevent a terracing effect and to avoid detrimental changes to the character of the street scene, it will be desirable to provide a setback of at least 500mm from the main front wall of the dwelling"*. The two-storey side extension is setback 0.5 meters from the front wall of the dwelling which is an acceptable setback distance.

The SPD states that *"the sideways projection of a two-storey side extension should not exceed more than two thirds the width of the original dwelling"* in order to ensure subordination and that the original dwelling stays as the dominant feature. A projection of two thirds the original dwelling is 3.33 meters, and the proposed projection is more than this at 3.85 meters. This exceeds the recommendation by 0.52 meters but given that the original dwelling is only 5 meters in width, is at the end of the row with newer different style properties to the east, and the increase over the recommendation is minor it is acceptable in this circumstance. Also, a 1-meter distance is maintained between the extension and the boundary to that side of the dwelling in line with the SPD. The proposed two-storey side extension partially conforms to the SPD in terms of external materials, roof type, setback and projection, however the proposal won't be detrimental to the character of the street scene due to the harmony with the existing dwelling and the original dwelling still being dominant.

The proposed rear extension conforms to the SPD in terms of its external materials and roof type, therefore it will have little impact upon the character of the street scene due to the harmony with the existing dwelling and being set to the rear of the property. The proposed development is therefore not considered to be contrary to Local Plan Policy D1: High Quality Design and Place Making and is considered acceptable in terms of visual amenity.

### Residential Amenity

The proposed two-storey side extension won't have a significant detrimental impact on any neighbouring property by way of overshadowing or being overbearing and the extension does not project beyond the front or rear elevations of the dwelling. The impact of potential overlooking is minimal as the only window proposed on the side elevation of the side extension is to be obscured glazed as it serves a bathroom.

The SPD states that *"single storey extensions to the rear of terraced houses should not exceed 3.5 metres in projection and where they exceed 3m in length the eaves height should not exceed 2.5m"*. The proposed rear extension conforms to the above recommendation and is therefore acceptable. The proposal is considered to be in compliance with Local Plan Policy GD1: General Development and is acceptable in terms of residential amenity.

## Highway Safety

There will be no impact upon highway safety.

## **Recommendation**

**Approve with conditions**