

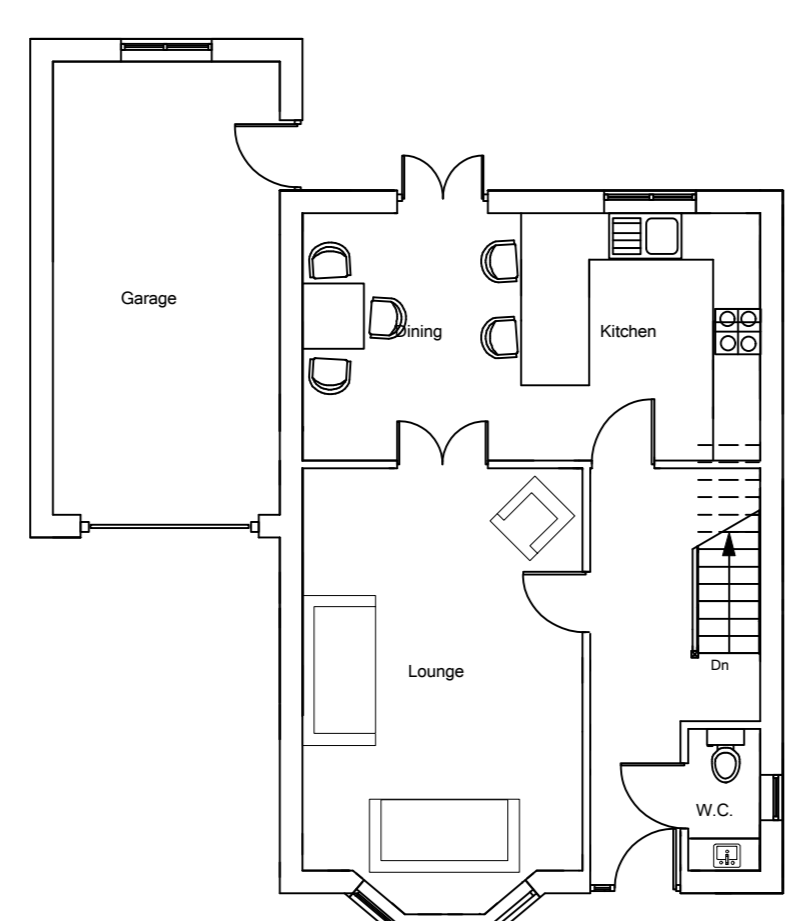
**Notes**

**Walls**  
 Stonefacing brick To Be Agreed With Planning Officer  
 stone heads  
 projecting stone cill

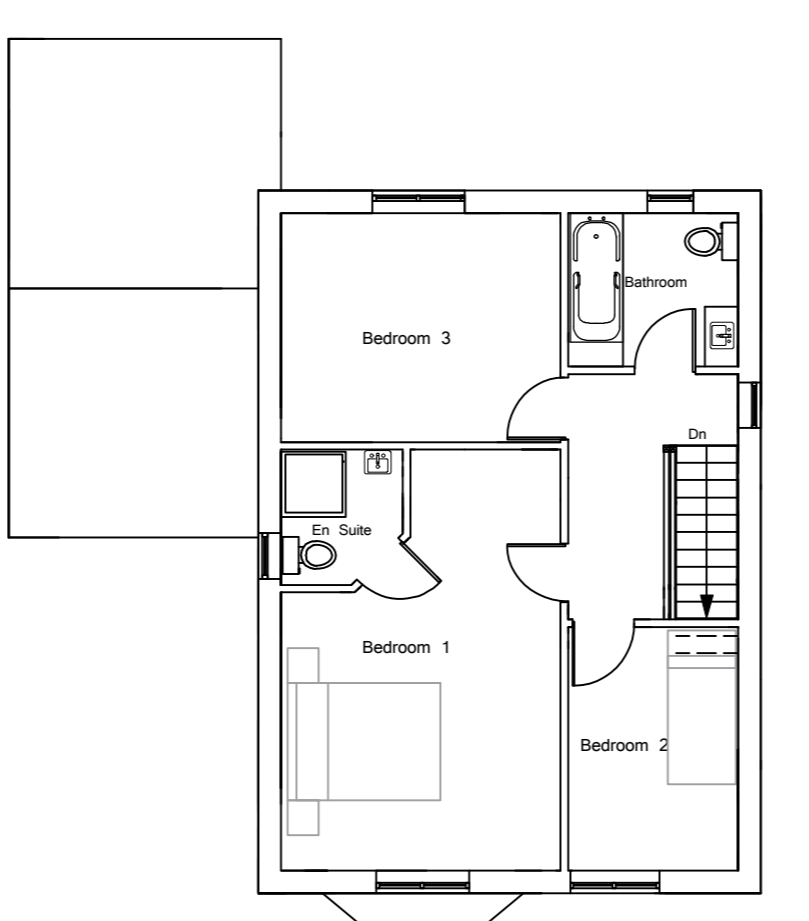
**Roof**  
 Bricks or Thruone  
 conservation rooflight  
 Best Martin Cast Or Stormguard Aluminium  
 Half Round Gutter

**Windows**  
 Residence Collection Or Similar  
 Upvc Flush Fitting Casements.  
 Detailing To Be Repeated Across Window Types.  
 Windows Set Back 50mm In Reveal  
 RAL Number To Be Agreed

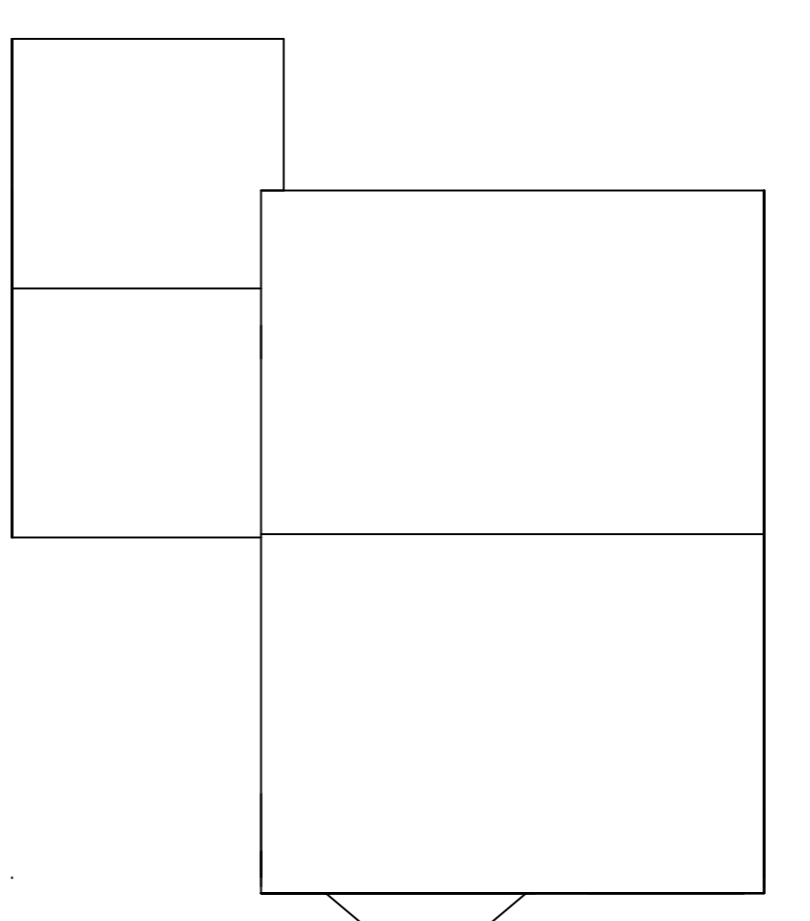
All Soil And Vent Pipes To Be Internal



Ground Floor Plan



First Floor Plan



Roof Plan



Section  
 0 2

Front

Rear

Side

Side

No Dimensions To Be Taken From This Drawing Which Is The Property Of The Company AND, LTD. It Is Not To Be Used Or Disclosed In Any Way Except As Authorised By The Company

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The Drawing Will Not Be Assigned To Any Third Party I The Client Is Responsible For Providing An Accurate And Complete Site Boundary Information And Any Consents Or Approvals Relating To The Site AND, LTD Will Assume Site Boundaries As Clearly Defined/Indicated, Unless Otherwise Indicated By The Client

No Work To Be Carried Out Without Planning Permission. Use Of Any Part Planning Conditions Have Been Investigated And All Applicable Building Regulations Have Been Submitted And Where Consent Or Other Building Regulations Approval Has Been Granted Will Be Sought At Client's Own Risk

Principal Contractor/Designated manager Is Responsible For Ensuring Works Are Signed Off And Certificate Of Completion Is Issued By Building Control

Any Building Works Within Site Of A Neighbouring Property Foundations Will Require You To Notify The Owner Of That Property Of Your Intentions At Least One Month Before You Start Work. Work To An Existing Party Wall Requires You To Give At Least Two Months Notice Of Your Intentions. A Consent To Carry Out Work Cannot Be Reached Proceedings Dealing With A Dispute Should Be Followed Under Part 818 And 819(2)

It Is The Responsibility Of The Principal Contractor To Notify The Architect Of Any Discrepancies On The Drawing Prior To Construction. All Discrepancies To Be Notified On Site If In Doubt Ask!

**NO CAD DRAWINGS WILL BE ISSUED TO ANY THIRD PARTY !!**

REV	REVISION NOTE	DATE	DRAWN BY

<b>Andrew Bailey</b>		<b>PADDOCK ROAD</b>	
Architect		PHASE 2-3	
CLIENT	MARK PROPERTIES LTD	DATE	JUNE 2022
DRAWING TITLE	HOUSE TYPE G	SCALE	1:500 A3
DWG NO.	REV	DRAWN BY	IPB
		CHECKED	IPB

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