

Application Ref:

2021/1569

Address:

24 Hedge Lane, Darton, Barnsley, S75 5PJ

Neighbour Representations: No**Consultations:**

Highways: No objections

Drainage: Details to be checked by BC

Yorkshire Water: No comments

Property Description:

The property is a semi detached dwelling set a corner plot on the corner of Hedge Lane and Meyrick Drive. The street scene consists of mainly semi-detached two storey dwelling, in average sized plots. To the rear of the property are semi-detached bungalows.

The property has an existing single storey extension and a detached garage and access to the rear of Meyrick Drive, whilst the remainder of the land is mainly laid to grass and slopes up to Meyrick Drive. The boundary of the site is screened with a timber screen fence on a low stone wall.

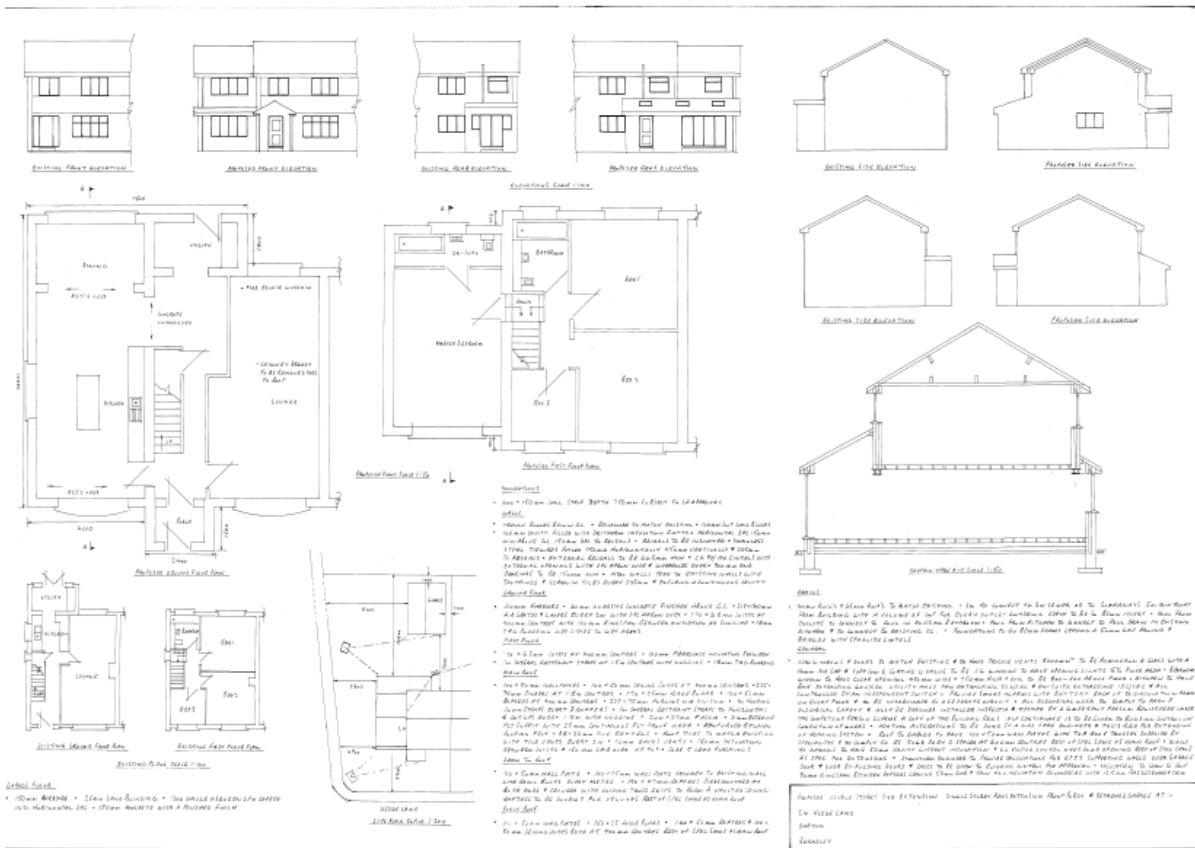




Proposed Extension:

The proposal involves the erection of a two storey side extension, single storey front extension to provide a porch and rear extensions and detached garage. The proposed garage replaces an existing flat roof garage and measures approximately 7 x 5m and 3.9m to the pitch of the roof. The eaves height is approx. 2.4m.

The plans have been amended during the course of the application to show a reduction in the side projection of the side extension by approximately 0.5m and a set back from the front and rear of the side extension at first floor level and corresponding lowered roofline.



Local Plan Designation: Urban Fabric
Conservation Area: No
Relevant History: Yes 2021/0790 - Outline application for detached dwelling with all matters reserved apart from access – Refused
Acceptable in Principle: Yes

Side Extension:	Yes / No (include comment if required)
Single Storey	
1. set back	
Two Storey / First Floor	
2. set back / set down (500mm minimum)	Yes set back 0.5m and set down at first floor level from front and rear with corresponding lowered roof line
3. less than 2/3 the width of the original dwelling	Yes – amended and reduced by 0.5m
All	
4. roof design corresponds to existing	Yes pitched to match
5. windows / doors of a similar design / proportion	Yes
6. habitable room windows on the side elevation	Yes to the side at ground floor, however this property is set on a corner plot and separation distances are maintained
7. materials to match	Yes

8. neighbouring property extended to side or windows?	No
9. Any change to parking or access?	No

Rear Extension:

	Yes / No (include comment if required)
Single Storey	
1. terraced property and less than 3.5m (projection to rear)?	
2. semi-detached and less than 4m?	Yes projects 1.8m from the rear of the existing dwelling and to the rear of the proposed side extension.
3. if more than 3m are the eaves more than 2.5m in height?	N/A
Two Storey	
4. terraced property and less than 2.5m (projection to the rear)?	
5. semi-detached and less than 3.5m?	
All	
6. materials to match	
7. roof design compliments / ties in well	
8. habitable room windows on the side elevation?	
9. distance to rear boundary (shared with another residential property) 10m or more?	

Front Extension:

	Yes / No (include comment if required)
1. single storey?	Yes provide porch
2. small projection? (confirm measurement)	Yes 1.5m
3. roof design corresponds to existing	Yes
4. windows / doors of a similar design / proportion	Yes
5. materials to match	Yes

Dormer Extension

	Yes / No (include comment if required)
1. Pitched roof dormer on principle roof slope?	
2. Flat roof dormer on rear roof slope?	
3. Dormers in street scene & similar style?	
4. Set below roof ridge?	
5. Set in [ideally 0.5m] from both the eaves and gable edge?	
6. Set in 0.5m from party walls?	

Garage / Outbuilding*

	Yes / No (include comment if required)
6. single storey?	Yes
7. height to eaves 2.5m or less?	Yes
8. sympathetic design and materials to main dwelling?	Yes
9. If room in the roof space, is it storage only?	No room in roof space

*granny annexes shouldn't be on this form

Green Belt:

	Measurements
1. Original dwelling	
2. proposed extensions (x 2)	
3. any existing extensions	
4. total extensions (including proposed)	

Recommendation:

Approve with conditions