

# **FORTEM**

Civil Engineering Consultants Ltd

## **Proposed Residential Development Bloomhouse Lane, Darton**

### **Flood Risk Assessment**

**March 2026**

**Homes By Honey**

## Report

This report consists of a Flood Risk Assessment and Drainage Strategy, produced to support the proposed residential development of the site located off Bloomhouse Lane, Darton. It has been produced by FORTEM Civil Engineering Consultants Ltd for Homes by Honey.

## Revision History

Rev Ref	Date	Amendments	By	Chk'd
1	03.03.2026	First Issue.	LS	AC
2	04.03.2026	Updated development layout.	JH	AC
3				

## Contract

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## Executive Summary

### Site Description

The proposed development site is located off Bloomhouse Lane, Darton and is to be served (highway access) off Woolley Colliery Road. The site is 4.13ha in size and currently consists of agricultural grassland.

Part of Bloomhouse Lane serves Manor House (residential property) which sits on the eastern boundary.

There is an existing 225mm diameter combined sewer located in Woolley Colliery Road and 150mm combined sewer in Bloomhouse Lane. Manor House foul and surface water drainage discharges to the 150mm combined sewer.

### Proposed Development

It is proposed to construct 119 new residential dwellings, with associated infrastructure.

### Flood Risk

The site is located in Flood Zone 1 with the flood risk from all sources Low except surface water (Medium-Low).

The Medium-Low surface water flood risk is to be mitigated by reprofiling the identified areas of the site and the introduction of a positive development surface water drainage system.

The following standard development mitigation measures are recommended:

- Finished floor levels to be set a minimum 150mm above external levels to mitigate any risk from blockage and exceedance events.
- Drainage is to be designed with separate foul and surface water systems. The development surface water drainage scheme is to be designed such that there is no external flooding for up to and including the 1 in 100 year plus climate change event.
- Detailed blockage and exceedance assessment at detailed design stage.

### Drainage

Surface water from the development is proposed to discharge to the existing 150mm diameter combined sewer in Bloomhouse Lane, with flows restricted to 8.3 l/s.

The existing foul and surface water drainage serving Manor House is to be re-laid/diverted into the development foul and surface water sewer systems.

The development surface water drainage scheme is to be designed so that there is no flooding for the 1 in 30 year event and all flows retained on site for up to the 1 in 100 year plus 45% climate change event, with allowance for 10% urban creep.

Due to the site topography and the depth of the existing sewers, it is necessary to pump the surface water flows.

It is proposed to discharge the foul water flows from the development to the existing 150mm diameter combined sewer in Bloomhouse Lane.

## Contents

<b>1. Introduction</b>	<b>5</b>
1.1 Report Background	5
1.2 Site Description	5
1.3 Proposed Development	6
1.4 Consultation	6
<b>2. Sources of Flood Risk</b>	<b>7</b>
2.1 Summary	7
2.2 Surface Water/Pluvial	7
2.3 Standard Mitigation	7
<b>3. Development Drainage</b>	<b>8</b>
3.1 Existing Site Drainage	8
3.2 Development Surface Water Drainage	8
3.3 Development Foul Water Drainage	9
3.4 Maintenance	9
<b>4. Conclusion</b>	<b>10</b>
4.1 Flood Risk	10
4.2 Drainage	10

### **Appendix A Existing Site**

Drawing 1234-001 Site Location Plan  
APS Topographical Survey (Oct 2025)  
Drawing 1234-002 Existing Drainage Networks  
Yorkshire Water Sewer Records  
Jet Aire CCTV Survey FJ00455913 (Nov 2025)  
Drawing 1234-003 Existing Surface Water Catchment Plan

### **Appendix B Proposed Development**

JRP Site Layout 25-5808-01 (Feb 2026)  
Drawing 1234-004 Proposed Drainage Strategy  
Attenuation Calculations

### **Appendix C Flood Risk Mapping**

Gov.uk Map – Risk from Rivers or Sea  
Gov.uk Map – Risk from Surface Water – 1in1000 Chance (Low)  
Gov.uk Map – Risk from Surface Water – 1in100 Chance (Medium)  
Gov.uk Map – Risk from Surface Water – 1in30 Chance (High)

### **Appendix D Consultation Responses**

Yorkshire Water Pre-Planning Enquiry Response, A/02912 (12.11.25)  
Yorkshire Water email (05.02.26)

## 1. Introduction

### 1.1. Report Background

- 1.1.1. This report has been produced to support the Full Planning Application by Homes by Honey for the proposed residential development on Bloomhouse Lane, Darton. It has been produced in accordance with the National Planning Policy Framework (NPPF) and guidance documents produced by Barnsley Metropolitan Borough Council.
- 1.1.2. The study consists of data collection, consultation and review with regulatory bodies and third parties in relation to flood risk and drainage. FORTEM cannot guarantee the reliability of third party information and/or changes in consultee conclusions/responses.

### 1.2. Site Description

- 1.2.1. The site is located off Bloomhouse Lane, Darton, OS grid reference SE 431347, 410414, see drawing 1234-001 Site Location Plan, Appendix A.

Details of the site are tabled below:

<b>Site Area</b>		4.13ha
<b>Topography</b>		The site falls from north to south, with a high point on the north-eastern boundary (91.70m AOD) to a low point centrally on the southern boundary (73.30m AOD), with gradients ranging from 1in28 to 1in4. See APS Topographical Survey, Appendix A.
<b>Land Use</b>		The site currently consists of agricultural grassland.
<b>Boundaries</b>	<b>North:</b>	Bloomhouse Lane, Weighwell Engineering commercial building and The Wooley public house.
	<b>South:</b>	Wooley Colliery Road and existing residential dwellings, with Bloomhouse Lane bisecting the two southern parts of the site.
	<b>East:</b>	Manor House accessed from Bloomhouse Lane and agricultural grassland.
	<b>West:</b>	Wooley Colliery Road and Weighwell Engineering commercial building.
<b>Watercourses</b>		There are no surface water features located on the site. The River Dearne is located approximately 200m south of the development. There are no other known watercourses within the vicinity of the site.
<b>Public Sewers</b>		Yorkshire Water records confirm the existence of a 225mm diameter combined sewer located in Wooley Colliery Road and a 150mm diameter combined sewer crossing the site serving Manor House, see Yorkshire Water sewer records and drawing 1234-002 Existing Drainage Networks, Appendix A.
<b>Other Drainage</b>		A CCTV survey of Manor House drainage has been undertaken confirming positive foul and surface water drainage from the dwelling, outbuildings and associated hard standings. These connect to the existing 150mm diameter combined sewer in Bloomhouse Lane. See Jet Aire CCTV Survey FJ00455913 and drawing 1234-003 Existing Surface Water Catchment Plan.

<b>Ground</b>	<p>Lithos have undertaken an intrusive site investigation of the site, with initial findings reported 005/5624/AG/dp (Dec 2025).</p> <p>The ground consists of slightly sandy CLAYs overlaying Mudstones/Siltstones. 2No percolation tests were undertaken, with one failure and one positive reading (full three rounds of testing could not be undertaken due to access over the boggy ground).</p> <p>Due to the test failure, high recorded ground water (1.4m depth on lower southern boundary), steep site topography and onsite natural springs, Lithos have discounted the use of infiltration drainage.</p>
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### 1.3. Proposed Development

- 1.3.1. A Full Planning Application is to be submitted for the construction of 119No residential dwellings complete with associated infrastructure. See JRP Site Layout 25-5808-01 (Feb 2026), Appendix B.
- 1.3.2. The site is bordered by Bloomhouse Lane (northern boundary), with an extension of the road crossing the development site. However it is proposed for the proposed development to be accessed from Wooley Colliery Road.

### 1.4. Consultation

- 1.4.1. Consultation with the relevant consultees has been undertaken, see summary below:

Consultee	Response Summary
Barnsley Metropolitan Borough Council (BMBC) as Lead Local Flood Authority (LLFA)	<p>BMBC have been consulted regarding the proposed development.</p> <p>At the time of drafting this report a response had not been received.</p>
Yorkshire Water (YW)	<p>YW pre-planning response has been received A/02912, with subsequent consultation in relation to the proposed development surface water discharge.</p> <p>YW consultation confirms:</p> <ul style="list-style-type: none"> <li>• Development foul water to discharge to the 225mm diameter combined sewer in Woolley Colliery Road;</li> <li>• Development surface water to discharge to the 225mm diameter combined sewer located in Woolley Colliery Road, restricted to 8.3l/s (subject to fully discounting other options).</li> </ul> <p>For copies of YW correspondence, see Appendix D.</p>

## 2. Sources of Flood Risk

### 2.1. Summary

2.1.1. Below is a summary of the sources of flood risk and the potential risk associated to the proposed development:

Source	Risk Level	Notes
Fluvial	Low	Site is within Flood Zone 1.
Tidal	Low	The site is located outside of any sources of tidal risk.
Surface Water/Pluvial	Medium-Low	See Section 2.2 below.
Groundwater	Low	There are no known records of any historic groundwater flooding or risk.
Sewers	Low	Based upon the searches undertaken as part of this report, no historic incidents have been recorded either within the proposed development or within the vicinity.
Other Man-Made Sources	Low	The site is not in an area at risk from a major failure of a reservoir and there are no other known artificial sources of flood risk in the area.

Copies of the Gov.uk flood maps are included in Appendix C.

### 2.2. Surface Water/Pluvial

2.2.1. There is a small area of Medium surface water flood risk located on the boundary of the south-western corner of the site. There is no direct source of the identified route and this area is not proposed to be developed, therefore the development risk is Low.

2.2.2. There is a small number of areas with a Low surface water flood risk identified within the site. Most have no source of water external to the site (localised areas), however the area on the eastern boundary appears to propagate from Bloomhouse Lane? The mapped areas will be reprofiled as part of the site development with any minimal residual risk mitigated by the introduction of a positive development surface water drainage system.

### 2.3. Standard Mitigation

2.3.1. In addition to the specific flood risk mitigation measure above, the standard development mitigation measures below are recommended:

- Finished floor levels to be set a minimum of 150mm above external levels to mitigate any risk from blockage and exceedance events;
- Within the detailed drainage design blockage/exceedance events should be considered ensuring the proposed development and surrounding areas are not put at risk from overland flows;
- Development surface water drainage scheme to be designed such that there is no external flooding for the 1 in 30 year event and all flows retained on site for up to the 1 in 100 year event plus climate change.

## 3. Development Drainage

### 3.1. Existing Site Drainage

3.1.1. There is a 225mm diameter combined sewer in located in Woolley Colliery Road and a 150mm diameter combined sewer crossing the site serving Manor House. There are foul and surface water networks located in Fountain Close and Bloomhouse Lane south of the site.

3.1.2. A CCTV survey of the Manor House drainage has confirmed the foul and surface runoff from the house, outbuildings and associated hard standings discharges to the combined sewer system, see drawing 1234-003 Existing Surface Water Catchment Plan, Appendix A.

Based upon the impermeable area assessment, the existing surface water discharge to the combined sewer is:

Brownfield Runoff	Existing Site Runoff (to combined sewer)
0.083ha x 140l/s/ha =	11.62l/s

### 3.2. Development Surface Water Drainage

3.2.1. The potential surface water outfall/discharge options have been considered and summarised below:

Outfall/Discharge Option (Ranked in order of Preference)	✓/✗	Notes
1. Infiltration	✗	Based upon the Lithos intrusive site investigation 005/5624/AG/dp (Dec 2025), the use of infiltration has been discounted based upon: <ul style="list-style-type: none"> <li>• Variable percolation testing (including failure);</li> <li>• Steep topography;</li> <li>• High groundwater;</li> <li>• Natural springs.</li> </ul>
2. Discharge to Watercourse	✗	An outfall to the River Dearne will require: <ul style="list-style-type: none"> <li>• 350m offsite sewer through 3<sup>rd</sup> party land (no rights established);</li> <li>• Crossing network rail lines through an existing bridge structure;</li> <li>• No justification of existing discharge to the catchment.</li> </ul> Therefore not viable.
3. Discharge to Public Surface Water Sewer	✗	Public sewer located to the west could potentially accept flows, however YW have confirmed no capacity. Therefore not viable.
4. Discharge to Public Combined Sewer	✓	Existing 150mm diameter sewer located within Bloomhouse Lane (maintaining the existing surface water discharge regime for the existing dwellings).

- 3.2.2. Based upon the findings of the review above, it is proposed to discharge the surface water from the proposed development to the existing 150mm combined sewer located in Bloomhouse Lane which in turn discharges downstream to the 225mm combined sewer in Wooley Colliery Road. This principle has been agreed with Yorkshire Water, with flows restricted as referenced below, see Appendix D for Yorkshire Water correspondence.

In accordance with Yorkshire Water requirements it is proposed to discharge to the existing network at existing brownfield runoff -30%:

<b>Brownfield Runoff – 30%</b>	<b>Total Development Discharge</b>
0.083ha x 100l/s/ha =	8.3l/s

- 3.2.3. In order to facilitate the proposed surface water drainage outfall to combined sewer, the existing Manor House foul and surface water drainage is to be re-laid/diverted into the proposed development foul and surface water sewer systems.
- 3.2.4. The proposed development surface water drainage is to be designed such that there is no external flooding for the 1 in 30 year event and all flows retained on site for up to the 1 in 100 year plus climate change event. Early consideration into exceedance and blockage events has been undertaken to ensure the layout does not increase potential flood risk. This will be fully detailed post planning and an exceedance assessment produced.
- 3.2.5. Based upon a restricted discharge rate of 8.3l/s, the attenuation required for the development is 1,620m<sup>3</sup>, (1in100 + 45% c/c event + allowance for urban creep), with the attenuation provided in an underground tank. Due to the topography of the site and the depth of the existing combined sewers, it is necessary to pump the surface water flows. See drawing 1234-004 Proposed Drainage Strategy and drainage calculations, Appendix B.

### **3.3. Development Foul Water Drainage**

- 3.3.1. It is proposed to discharge the foul water flows from the development to the existing 150mm diameter combined sewer in Bloomhouse Lane serving Manor House, see drawing 1234-004 Proposed Drainage Strategy, Appendix B.

### **3.4. Maintenance**

- 3.4.1. The foul and surface water drainage networks are to be adopted by Yorkshire Water or Independent Water Authority under a Section 104 Agreement. Therefore, maintenance of the adoptable networks will be the responsibility of the adopting Water Authority.

## 4. Conclusion

### 4.1. Flood Risk

- 4.1.1. The proposed development is located in Flood Zone 1 with the flood risk from all sources Low, except Medium-Low surface water risk.
- 4.1.2. The Medium-Low surface water flood risk is to be mitigated by reprofiling the identified areas of the site and the introduction of a positive development surface water drainage system.
- 4.1.3. The following standard mitigation measures are recommended:
  - Finished floor levels to be set a minimum of 150mm above external levels to mitigate any risk from blockage and exceedance events;
  - Within the detailed drainage design blockage/exceedance events should be considered ensuring that the proposed development and surrounding areas are not put at risk from overland flows;
  - Development surface water drainage scheme to be designed such that there is no external flooding for the 1 in 30 year event and all flows retained on site for up to the 1 in 100 year event plus climate change.

### 4.2. Drainage

- 4.2.1. Surface water from the development is proposed to discharge to the existing 150mm diameter combined sewer in Bloomhouse Lane, with flows restricted to 8.3 l/s.
- 4.2.2. The existing foul wand surface water drainage serving Manor House is to be re-laid/diverted into the development foul and surface water sewer systems.
- 4.2.3. The development surface water drainage scheme is to be designed so that there is no flooding for the 1 in 30 year event and all flows retained on site for up to the 1 in 100 year plus 45% climate change event, with allowance for 10% urban creep.
- 4.2.4. Due to the site topography and the depth of the existing sewers, it is necessary to pump the surface water flows.
- 4.2.5. It is proposed to discharge the foul water flows from the development to the existing 150mm diameter combined sewer in Bloomhouse Lane serving Manor House.

## **Appendix A Existing Site**

Drawing 1234-001 Site Location Plan

APS Topographical Survey (Oct 2025)

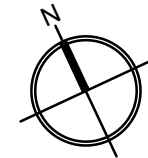
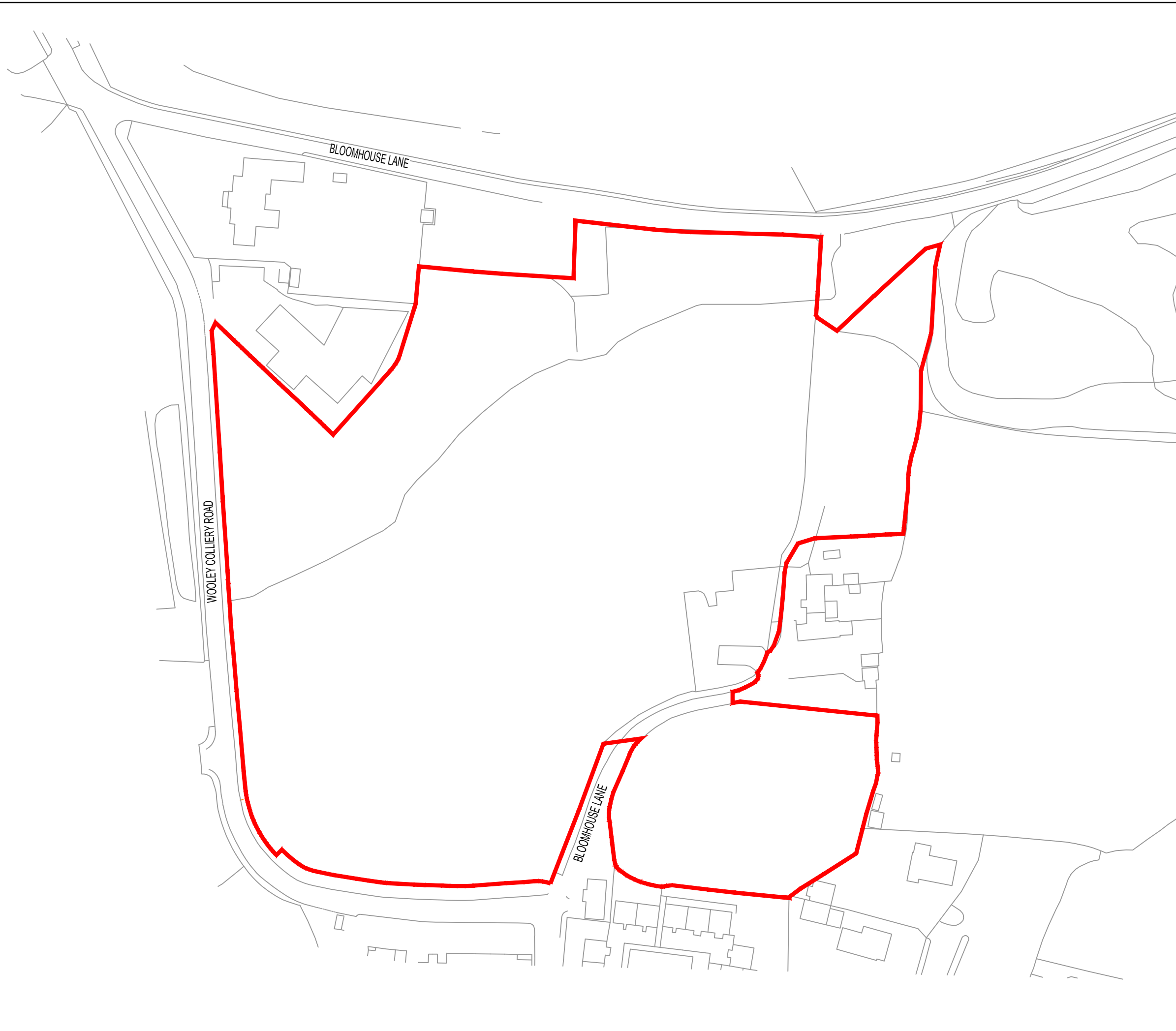
Drawing 1234-002 Existing Drainage Networks

Yorkshire Water Sewer Records

Jet Aire CCTV Survey FJ00455913 (Nov 2025)

Drawing 1234-003 Existing Surface Water Catchment Plan

C:\Users\Andrew\OneDrive - FORTEM\FORTEM Projects\1234 - Bloomhouse Lane, Darton\2\_Drawings\1\_FORTEM\Drawings\1\_Current\1234 - 001 Site Location Plan.dwg 03 Mar, 2026 - 5:25pm



**NOTES:**

- THIS DRAWING IS BASED UPON:
  - HOMES BY HONEY VIABILITY LAYOUT DRAWING BL-D-012 REV B (FORTEM AMENDED);
  - APS SURVEYING SERVICES TOPOGRAPHICAL SURVEY REV A DATED OCTOBER 2025;
  - ORDNANCE SURVEY MAPS.
- OS GRID REFERENCE: E:431347, N:410414

**KEY:**

— DEVELOPMENT BOUNDARY

Rev	Date	Amendments	By

Drawing Status: **INFORMATION**

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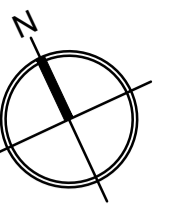
Project  
**BLOOMHOUSE LANE, DARTON**

Drawing Title.  
**SITE LOCATION PLAN**

Drawn: LS	Scale: 1:1250 @ A3
Checked: RD	Date: FEB 2026

Drawing No.	1234 - 001	Rev.	-
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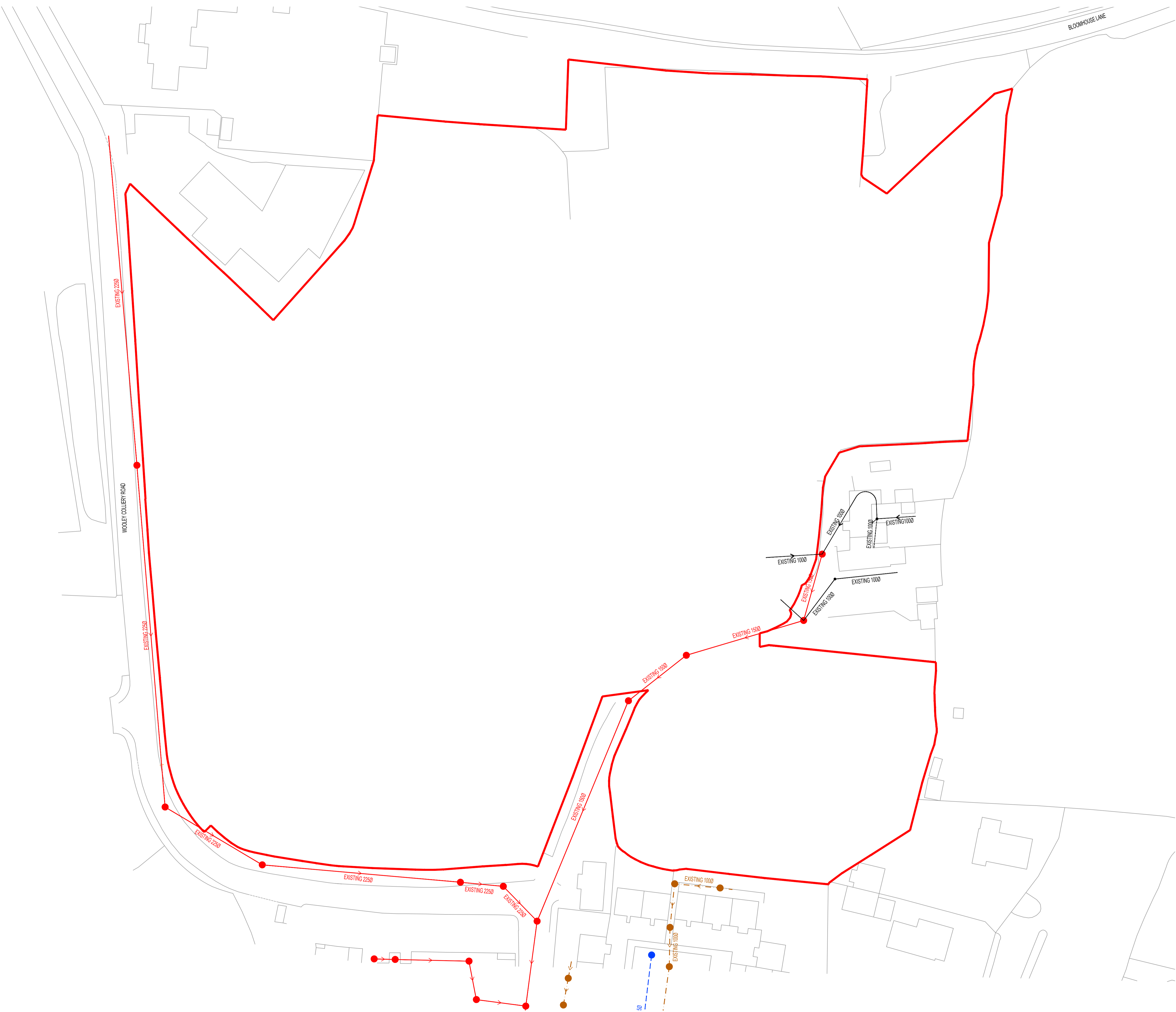


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  - JET AIRE CCTV SURVEY DRAWING FJ00455913 DATED NOVEMBER 2025;
  - YORKSHIRE WATER RECORDS;
  - ORDNANCE SURVEY MAPS.


**KEY:**

- DEVELOPMENT BOUNDARY
- EXISTING PUBLIC FOUL WATER SEWER / MANHOLE
- EXISTING PUBLIC SURFACE WATER SEWER / MANHOLE
- EXISTING PUBLIC COMBINED WATER SEWER / MANHOLE
- EXISTING PRIVATE COMBINED DRAIN / MANHOLE
- EXISTING PRIVATE SURFACE WATER DRAIN / MANHOLE



Rev	Date	Amendments	By
Drawing Status: <b>INFORMATION</b>			
<b>FORTEM</b>			
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Client: <b>HOMES BY HONEY</b>			
Project: <b>BLOOMHOUSE LANE, DARTON</b>			
Drawing Title: <b>EXISTING DRAINAGE NETWORKS</b>			
Drawn: JOH	Scale: 1:500 @ A1		
Checked: RD	Date: FEB 2026		
Drawing No. <b>1234 - 002</b>	Rev. <b>-</b>		



<p>431156 : 410294</p>  <p><b>YorkshireWater</b></p>	<p>Map Name : SE3110SW</p> <p>Yorkshire Water, PO Box 500, Halifax Road, Bradford BD6 2LZ Contact Name : R Thornton Contact Tel :</p>	<p>Title</p> <p>Notes</p> <p>(Ody) COPYRIGHT STATEMENTS: Reproduced by permission of Ordnance Survey on behalf of HMSO © Crown copyright and database 2024. All rights reserved Ordnance Survey Licence number AC0000813445</p>	<p>Partial Key</p> <p>Foul Sewer = F Combined Sewer = C Surface Water Sewer = SW Trade Sewer = TD Partially Separate = PS</p> <p>Date Req : 12/11/2025, 14:29:36</p> <p>Source : Sewer Network Enquiry</p>	<p>This plan is furnished as a general guide only and no warranty as to its correctness is given or implied. This plan must not be relied upon in the event of excavations or other works made in the vicinity of public sewers. No house or property connections are shown.</p> <p>Date Gen : 12/11/2025, 14:29:43</p>
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**Key:**

ACO (Slot Drain)	— ACO
Assumed Route	- - - - -
Combined Water Line	— — — — —
Foul Water Line	— — — — —
Surface Water Line	— — — — —
Trade Effluent Line	— — — — —
Backdrop	— — — — —
Capped Line	— — — — —
Collapse	— — — — —
Fence	— — — — —
Gate	— — — — —
Gully (GY)	— — — — —
Manhole/IC	— — — — —
Outfall	— — — — —
Rodding Eye	— — — — —
RWP (RWP) Rest bend	— — — — —
Survey Abandoned	— — — — —
Trap	— — — — —

**Abbreviations:**

ACO	Slot Drain (ACO Channel)
AR	Assumed Route
BL	Branch/Branches (e.g. B1, B2, B3, etc.)
BD	Backdrop
CL	Cover Level
CP	Catch Pit
CW	Combined Water
D	Depth
DH	Drain Head
DT	Dye Tested
EOT	End Of Trace
FGR	Foul Gully
FT	Flow Test
FW	Foul Water
GY	Gully
IC	Inspection Chamber
IL	Invert Level
LH	Lampole
MH	Manhole
NRV	Non-Return Valve
OF	Outfall
PS	Pump Station
RE	Rodding Eye
RWP	Rain Water Pipe
SA	Survey Abandoned
SK	Soakaway
SVP	Soil Vent Pipe
SW	Surface Water
TER	Taken From Records
TW	Trade Effluent Water
UTGA	Unable To Gain Access
UTL	Unable To Locate
UTR	Unable To Raise (RT)
UTS	Unable To Survey
UTT	Unable To Trace
VP	Vent Pipe
WMA	Water Meter
WD	Wash Out Valve

**Disclaimer:**  
 This drawing & layout is for guidance purposes only. The accuracy and location of the drainage system cannot be guaranteed. To be read in conjunction with the associated survey reports.

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**Client:**  
 Homes By Honey Ltd

**Site:**  
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 S75 5HZ

**Project:**  
 FJ00455913 - CCTV Survey

<b>Surveyor:</b> JP	<b>Drawn By:</b> CV	<b>Originator:</b> LW
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**Survey Date:**  
 10/11/2025

<b>Scale:</b> NTS @ A1	<b>Sheet Number:</b> 1 Of 1
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**Appendix B Proposed Development**  
JRP Site Layout 25-5808-01 (Feb 2026)  
Drawing 1234-004 Proposed Drainage Strategy  
Attenuation Calculations



BLOOMHOUSE LANE DARTON 25-5808-01									
AFFORDABLE									
NAME	TYPE	BED	STOREY	NO PLOTTED	TOTAL SQ FT				
2B4P	MID	2	2	786	PS	1	786		
	END	2	2	789	PS	7	5523	50	
2B4P	END	2	2	870	PS	4	3480		
OPEN MARKET									
NAME	TYPE	BED	STOREY	NO PLOTTED	TOTAL SQ FT				
AVOCADO	END	2	2	754	PS	8	6032	8	
CHESTNUT	END	3	2	923	PS	16	14768		
	END	3	2	931	PS	4	3224	40	
CLOVER	DET	3	2	967	PS	7	6769		
DANDELION	END	3	2	1008	PS	2	2016		
	DET	3	2	1008	PS	4	4032		
EUCALYPTUS	DET	3	2	1054	PS	5	5270		
OREGANO	DET	3	2	1311	PS	1	1311		
JARRAH	DET	4	2	1209	SDG	4	4836		
MAGNOLIA	END	4	3	1214	PS	12	14568		
LAVENDER	DET	4	2	1239	INT	7	8673		
LINDEN	DET	4	2	1274	SDG	8	10192	52	
PRIMROSE	DET	4	2	1290	SDG	4	5160		
POPPY	DET	4	2	1329	INT	8	10632		
ROSEMARY	DET	4	2	1369	SDG	6	8154		
						95	105306	100	
						119	128322		
						COVERAGES		16048	
						DFH		37	
						GROSS AREA		41161 4.1 10.2	
						NET AREA		32383 3.2 8.0	
						POS		3647 0.4 0.9	
						AFFORDABLE		20	
						MIX		6	
						POS		9	

Designer Risk Assessment				
Criteria	Location	Who's At Risk	Consequence	Mitigation
Trenches and excavation	Whole Site	Construction Staff	1. Risk of collapsing excavation 2. Falling objects into excavation 3. Risk associated with working in confined spaces	Contractor to determine safe methods of working in confined spaces, where necessary. Contractor to provide appropriate protection barriers. Workers to wear high visibility clothing.
Working Adjacent to Live Traffic	Site boundaries adjacent to Woolley Coltery Road	1. General Public 2. Construction Staff	1. Risk of Obstruction/Blocking Passing vehicles 2. Risk of being struck by Plant machinery	Contractor safe method of working, implementation of signing and traffic control measures. Contractor to provide appropriate protection barriers. Workers to wear high visibility clothing.
General Public / Children trespassing on site	Whole Site, specifically PROCV running North to South	1. General Public	Risk of public injury on site from slips, falls, falling from height, uncovered manholes / benches	Ensure the site is properly secured and inform the surrounding public of site location and boundaries. Give advance warning of the start of construction. Contractor to consider and put in place methods to protect PROCV through the site, and maintain its use unless alternative has been agreed prior to construction.
Effects of noise, dust or vibration of construction works	Whole Site	1. General Public 2. Adjacent Properties 3. Construction Staff	1. Annoyance to General Public 2. Risk of health problems to General Public 3. Risk of health problems to Construction Staff	Contractor to determine safe methods of working through construction methods/sequences. Site staff to be provided with appropriate PPE relative to their nature of work. Work may also be undertaken at specific times, in sensitive areas to minimise disruption to adjacent properties.
Contaminated Ground	Whole Site	Construction Staff	Health risks to Construction Staff	It is always possible that contaminated land may be uncovered during the construction phase. The contractor should determine safe methods of working if contaminated land is encountered.
Retained Trees	Whole Site	1. General Public 2. Construction Staff	Risk of serious injury from falling branches.	The survey required to establish condition of trees and recommended works. Any recommended works to be carried out with high priority works on unsafe trees carried out as soon as is reasonably practicable.
Low-level Electric Overhead Power Lines	Intersecting site at various points	1. General Public 2. Construction Staff	1. Risk of death or serious injury from electrocution	Contractor to produce a plan of work that where possible eliminates the danger by avoidance of work and site traffic at or near the overhead lines. If the danger cannot be eliminated, the risk must be managed by controlling access to, and work beneath overhead power lines.
Water Mains	Intersecting site at various points	1. General Public 2. Construction Staff	1. Risk of serious injury	Contractor to produce a plan of work that where possible eliminates the danger by diverting the water mains or by avoidance of work and site traffic at or near the water mains.

01 / SITE LAYOUT

Rev Date Description Drawn Check

CLIENT: HOMES BY HONEY  
PROJECT: BLOOMHOUSE ROAD, DARTON  
DRAWING: SITE LAYOUT

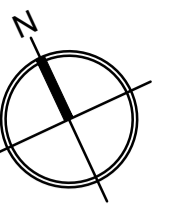
DRAWING NUMBER: 25-5808-01  
SCALE @ A1: 1:500

DRAWN: JP  
CHECKED: VS  
DATE: FEB '26  
DATE: FEB '26

JRP Associates  
14 Mariner Court,  
Calder Park, Wakefield, WF4 3FL

T: 01924 383322  
E: info@jrpassoc.co.uk  
W: jrpassoc.co.uk

Do not scale off this drawing - Only figured dimensions to be taken from this drawing. Drawings based on Ordnance Survey and/or existing record drawings - Design and Drawing content subject to Site Survey, Structural Survey, Site Investigations, Planning and Statutory Requirements and Approvals.



**NOTES:**


- THIS DRAWING IS BASED UPON:
  - HOMES BY HONEY VIABILITY LAYOUT DRAWING BL-D-012 REV B (FORTEM AMENDED);
  - APS SURVEYING SERVICES TOPOGRAPHICAL SURVEY REV A DATED OCTOBER 2025;
  - JET AIRE CCTV SURVEY DRAWING FJ00455913 DATED NOVEMBER 2025;
  - YORKSHIRE WATER RECORDS;
  - ORDNANCE SURVEY MAPS.
- THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH FORTEM FLOOD RISK ASSESSMENT.

**KEY:**

- DEVELOPMENT BOUNDARY
- EXISTING COMBINED SEWER
- -●- - EXISTING FOUL SEWER
- -●- - EXISTING SURFACE WATER SEWER
- -●- - PROPOSED SURFACE WATER SEWER (INCLUDING DIA. AND INDICATIVE LEVELS)
- -●- - PROPOSED FOUL WATER SEWER (INCLUDING DIA. AND INDICATIVE LEVELS)
- - - - PROPOSED SURFACE WATER RISING MAIN
- ▭ PROPOSED SURFACE WATER ATTENUATION TANK




Rev	Date	Amendments	By
Drawing Status: <b>PLANNING</b>			
<b>FORTEM</b>			
FORTEM Civil Engineering Consultants Ltd T. 07377 556170 / 07748 982468 E. info@fortemconsultants.co.uk W. www.fortemconsultants.co.uk			
Client: <b>HOMES BY HONEY</b>			
Project: <b>BLOOMHOUSE LANE, DARTON</b>			
Drawing Title: <b>PROPOSED DRAINAGE STRATEGY</b>			
Drawn: JOH	Scale: 1:500 @ A1		
Checked: RD	Date: FEB 2026		
Drawing No. <b>1234 - 004</b>	Rev. <b>-</b>		

FORTEM Civil Engineering Consultants Ltd		Page 1
11 The Covert York YO24 1JN	Bloomhouse Lane Darton QSE 8.3ls	
Date 03/03/2026 File 260303 QSE 8.3ls 1620m3...	Designed by RD Checked by ADC	
XP Solutions	Source Control 2020.1.3	

Summary of Results for 100 year Return Period (+45%)

Storm Event	Max Level (m)	Max Depth (m)	Max Control (l/s)	Max Volume (m <sup>3</sup> )	Status
15 min Summer	73.254	0.754	6.8	490.1	O K
30 min Summer	73.511	1.011	6.8	657.0	O K
60 min Summer	73.786	1.286	6.8	836.0	O K
120 min Summer	74.068	1.568	6.8	1019.4	O K
180 min Summer	74.225	1.725	7.0	1121.5	O K
240 min Summer	74.326	1.826	7.1	1187.0	O K
360 min Summer	74.457	1.957	7.4	1272.0	O K
480 min Summer	74.540	2.040	7.5	1326.2	O K
600 min Summer	74.594	2.094	7.6	1361.4	O K
720 min Summer	74.629	2.129	7.7	1384.1	O K
960 min Summer	74.662	2.162	7.7	1405.5	O K
1440 min Summer	74.647	2.147	7.7	1395.7	O K
2160 min Summer	74.585	2.085	7.6	1355.1	O K
2880 min Summer	74.515	2.015	7.5	1309.9	O K
4320 min Summer	74.380	1.880	7.2	1221.9	O K
5760 min Summer	74.252	1.752	7.0	1139.1	O K
7200 min Summer	74.132	1.632	6.8	1060.8	O K
8640 min Summer	74.019	1.519	6.8	987.5	O K
10080 min Summer	73.913	1.413	6.8	918.2	O K
15 min Winter	73.346	0.846	6.8	549.8	O K
30 min Winter	73.634	1.134	6.8	737.2	O K


Storm Event	Rain (mm/hr)	Flooded Volume (m <sup>3</sup> )	Discharge Volume (m <sup>3</sup> )	Time-Peak (mins)
15 min Summer	129.471	0.0	470.2	27
30 min Summer	86.915	0.0	550.5	41
60 min Summer	55.699	0.0	842.1	72
120 min Summer	34.478	0.0	1023.5	130
180 min Summer	25.664	0.0	1080.6	190
240 min Summer	20.669	0.0	1089.9	248
360 min Summer	15.181	0.0	1093.2	368
480 min Summer	12.193	0.0	1094.5	486
600 min Summer	10.278	0.0	1096.4	606
720 min Summer	8.934	0.0	1099.4	724
960 min Summer	7.155	0.0	1110.0	962
1440 min Summer	5.223	0.0	1122.0	1372
2160 min Summer	3.804	0.0	2079.6	1712
2880 min Summer	3.034	0.0	2126.0	2104
4320 min Summer	2.202	0.0	1965.7	2940
5760 min Summer	1.752	0.0	2583.3	3752
7200 min Summer	1.466	0.0	2701.7	4608
8640 min Summer	1.268	0.0	2803.3	5440
10080 min Summer	1.123	0.0	2891.8	6256
15 min Winter	129.471	0.0	517.2	26
30 min Winter	86.915	0.0	540.8	41

FORTEM Civil Engineering Consultants Ltd		Page 2
11 The Covert York YO24 1JN	Bloomhouse Lane Darton QSE 8.3ls	
Date 03/03/2026 File 260303 QSE 8.3ls 1620m3...	Designed by RD Checked by ADC	
XP Solutions	Source Control 2020.1.3	

Summary of Results for 100 year Return Period (+45%)

Storm Event	Max Level (m)	Max Depth (m)	Max Control (l/s)	Max Volume (m <sup>3</sup> )	Status
60 min Winter	73.944	1.444	6.8	938.3	O K
120 min Winter	74.263	1.763	7.0	1145.8	O K
180 min Winter	74.442	1.942	7.4	1262.5	O K
240 min Winter	74.559	2.059	7.6	1338.3	O K
360 min Winter	74.713	2.213	7.8	1438.2	O K
480 min Winter	74.813	2.313	8.0	1503.8	O K
600 min Winter	74.882	2.382	8.1	1548.0	O K
720 min Winter	74.928	2.428	8.2	1578.3	O K
960 min Winter	74.980	2.480	8.3	1611.9	O K
1440 min Winter	74.992	2.492	8.3	1620.0	O K
2160 min Winter	74.913	2.413	8.1	1568.4	O K
2880 min Winter	74.832	2.332	8.0	1515.5	O K
4320 min Winter	74.646	2.146	7.7	1394.7	O K
5760 min Winter	74.459	1.959	7.4	1273.4	O K
7200 min Winter	74.280	1.780	7.1	1157.1	O K
8640 min Winter	74.112	1.612	6.8	1047.5	O K
10080 min Winter	73.952	1.452	6.8	943.5	O K

Storm Event	Rain (mm/hr)	Flooded Volume (m <sup>3</sup> )	Discharge Volume (m <sup>3</sup> )	Time-Peak (mins)
60 min Winter	55.699	0.0	938.3	70
120 min Winter	34.478	0.0	1085.4	128
180 min Winter	25.664	0.0	1100.8	186
240 min Winter	20.669	0.0	1106.1	244
360 min Winter	15.181	0.0	1115.5	362
480 min Winter	12.193	0.0	1127.3	478
600 min Winter	10.278	0.0	1142.0	594
720 min Winter	8.934	0.0	1158.9	710
960 min Winter	7.155	0.0	1180.2	936
1440 min Winter	5.223	0.0	1188.5	1378
2160 min Winter	3.804	0.0	2252.7	1804
2880 min Winter	3.034	0.0	2211.5	2224
4320 min Winter	2.202	0.0	2085.2	3160
5760 min Winter	1.752	0.0	2893.3	4048
7200 min Winter	1.466	0.0	3025.7	4968
8640 min Winter	1.268	0.0	3138.8	5872
10080 min Winter	1.123	0.0	3235.8	6752

FORTEM Civil Engineering Consultants Ltd		Page 3
11 The Covert York YO24 1JN	Bloomhouse Lane Darton QSE 8.3ls	
Date 03/03/2026 File 260303 QSE 8.3ls 1620m3...	Designed by RD Checked by ADC	
XP Solutions	Source Control 2020.1.3	


Rainfall Details

Rainfall Model	FSR	Winter Storms	Yes
Return Period (years)	100	Cv (Summer)	0.750
Region	England and Wales	Cv (Winter)	0.840
M5-60 (mm)	19.000	Shortest Storm (mins)	15
Ratio R	0.353	Longest Storm (mins)	10080
Summer Storms	Yes	Climate Change %	+45

Time Area Diagram

Total Area (ha) 2.050

Time (mins)		Area	Time (mins)		Area	Time (mins)		Area
From:	To:	(ha)	From:	To:	(ha)	From:	To:	(ha)
0	4	0.683	4	8	0.683	8	12	0.683

FORTEM Civil Engineering Consultants Ltd		Page 4
11 The Covert York YO24 1JN	Bloomhouse Lane Darton QSE 8.3ls	
Date 03/03/2026 File 260303 QSE 8.3ls 1620m3...	Designed by RD Checked by ADC	
XP Solutions	Source Control 2020.1.3	

Model Details

Storage is Online Cover Level (m) 76.000

Tank or Pond Structure

Invert Level (m) 72.500

Depth (m)	Area (m <sup>2</sup> )	Depth (m)	Area (m <sup>2</sup> )	Depth (m)	Area (m <sup>2</sup> )
0.000	650.0	2.500	650.0	2.501	0.0

Hydro-Brake® Optimum Outflow Control

Unit Reference	MD-SHE-0113-8300-2500-8300
Design Head (m)	2.500
Design Flow (l/s)	8.3
Flush-Flo™	Calculated
Objective	Minimise upstream storage
Application	Surface
Sump Available	Yes
Diameter (mm)	113
Invert Level (m)	72.500
Minimum Outlet Pipe Diameter (mm)	150
Suggested Manhole Diameter (mm)	1200

Control Points	Head (m)	Flow (l/s)
Design Point (Calculated)	2.500	8.3
Flush-Flo™	0.492	6.8
Kick-Flo®	1.005	5.4
Mean Flow over Head Range	-	6.5

The hydrological calculations have been based on the Head/Discharge relationship for the Hydro-Brake® Optimum as specified. Should another type of control device other than a Hydro-Brake Optimum® be utilised then these storage routing calculations will be invalidated

Depth (m)	Flow (l/s)	Depth (m)	Flow (l/s)	Depth (m)	Flow (l/s)	Depth (m)	Flow (l/s)
0.100	3.9	1.200	5.9	3.000	9.0	7.000	13.5
0.200	6.0	1.400	6.3	3.500	9.7	7.500	14.0
0.300	6.5	1.600	6.7	4.000	10.3	8.000	14.4
0.400	6.8	1.800	7.1	4.500	10.9	8.500	14.8
0.500	6.8	2.000	7.5	5.000	11.5	9.000	15.2
0.600	6.8	2.200	7.8	5.500	12.0	9.500	15.6
0.800	6.4	2.400	8.1	6.000	12.5		
1.000	5.5	2.600	8.4	6.500	13.0		

## **Appendix C Flood Risk Mapping**

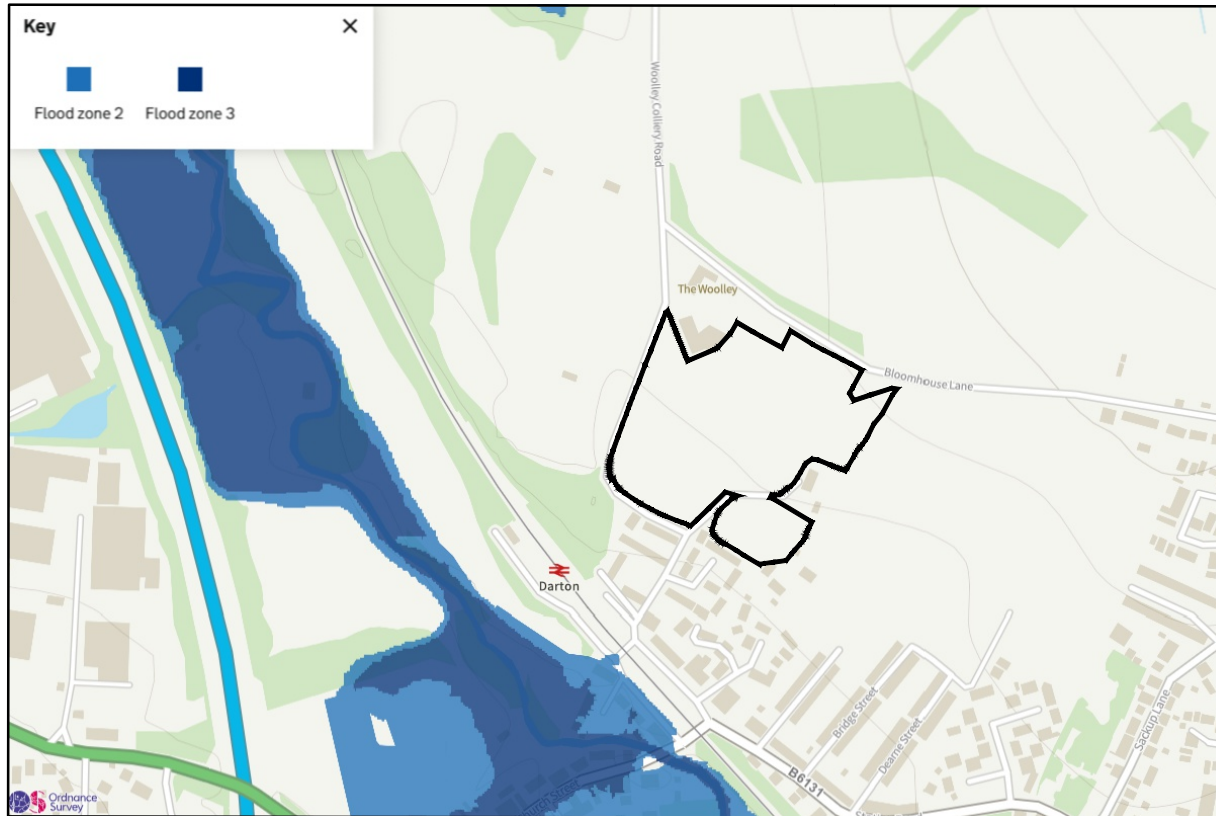
Gov.uk Map – Risk from Rivers or Sea

Gov.uk Map – Risk from SW – 1in1000 (Low)

Gov.uk Map – Risk from SW – 1in100 (Medium)

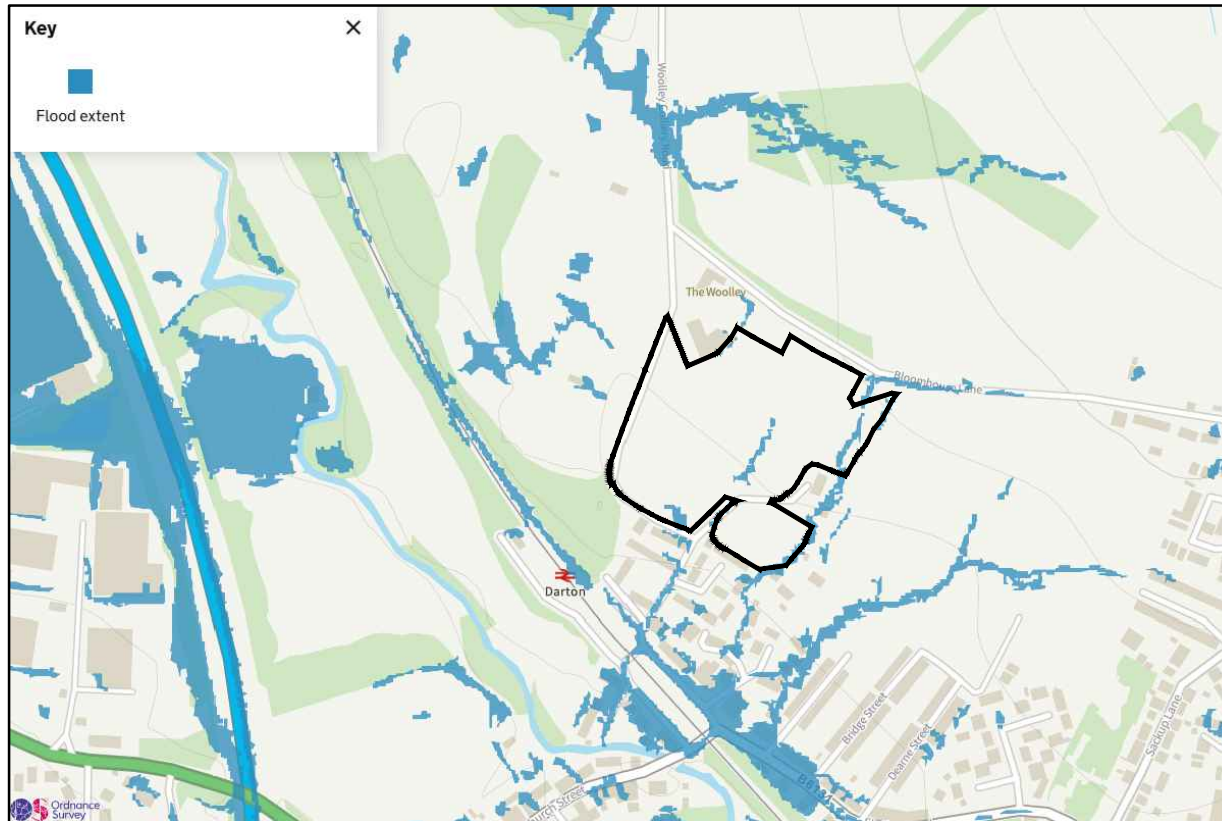
Gov.uk Map – Risk from SW – 1in30 (High)

— Development  
Boundary



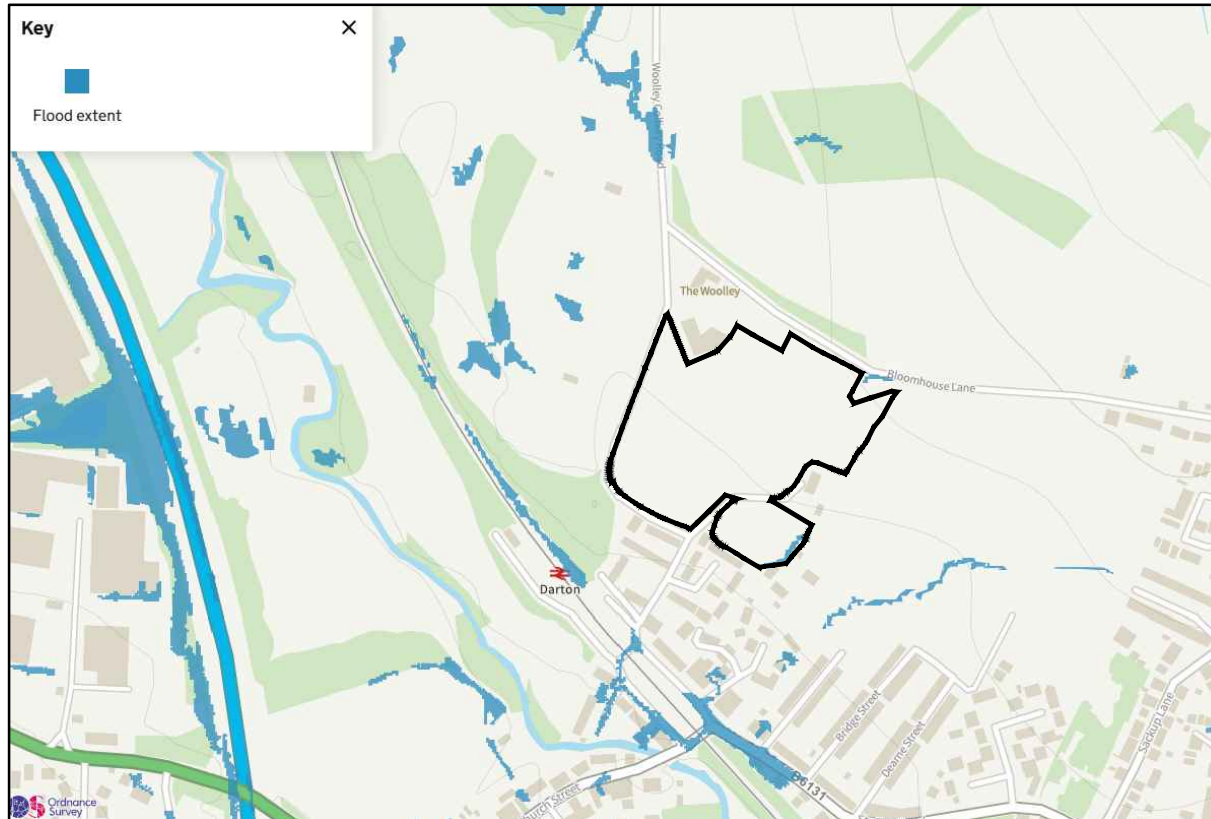
BLOOMHOUSE LANE, DARTON  
EXTRACT FROM ENVIRONMENT AGENCY MAPPING (GOV.UK)  
RISK OF FLOODING FROM RIVERS OR SEA  
EXTRACT TAKEN 12.01.2026 : NTS

— Development  
Boundary



BLOOMHOUSE LANE, DARTON  
EXTRACT FROM ENVIRONMENT AGENCY MAPPING (GOV.UK)  
RISK OF FLOODING FROM SURFACE WATER  
ANNUAL LIKELIHOOD OF FLOODING: 1 IN 1000 (LOW)  
EXTRACT TAKEN 12.01.2026 : NTS

— Development  
Boundary



BLOOMHOUSE LANE, DARTON  
EXTRACT FROM ENVIRONMENT AGENCY MAPPING (GOV.UK)  
RISK OF FLOODING FROM SURFACE WATER  
ANNUAL LIKELIHOOD OF FLOODING: 1 IN 100 (MEDIUM)  
EXTRACT TAKEN 12.01.2026 : NTS



## **Appendix D Correspondence**

Yorkshire Water Pre-Planning Enquiry Response, A/02912  
(12.11.25)

Yorkshire Water email (05.02.26)



YorkshireWater

**Fortem Civil Engineering Consultants Ltd**  
**4100 Park Approach**  
**Thorpe Park**  
**Leeds**  
**LS15 8GB**

**Your Ref:**  
**Our Ref: A/02912**

**Yorkshire Water Services**  
**Developer Services**  
**Sewerage Technical Team**  
**PO BOX 52**  
**Bradford**  
**BD3 7AY**

**Tel: 0345 120 8482**

**Email:**  
**Technical.Sewerage@yorkshirewater.co.uk**

**12th November 2025**

Dear Sir/Madam,

**Bloomehouse Lane, Darton, Barnsley S75 5HY - Pre-Planning Sewerage Enquiry X131971**

Thank you for your recent enquiry. Our charge of £585.60 plus VAT has been invoiced through invoice ref DS36316. The following comments reflect our view, with regard to the public sewer network only, based on a 'desk top' study of the site and are valid for a maximum period of twelve months:

Please find enclosed a complimentary extract from the Statutory Sewer Map which indicates the recorded position of the public sewers. Please note that as of October 2011 and the private to public sewer transfer, there are many uncharted Yorkshire Water assets currently not shown on our records. The following comments reflect our view, with regard to the public sewer network only, based on a 'desk top' study of the site and are valid for a maximum period of twelve months: The following comments reflect our view, with regard to the public sewer network only, based on a 'desk top' study of the site and are valid for a maximum period of twelve months:





YorkshireWater

### Existing infrastructure

There is a 225mm diameter combined sewer recorded on the site. In this instance, building-over may take place under the control of Part H4 Building Regulations 2010. No trees planted within 5 (five) metres of this public sewer. It may not be acceptable to raise or lower ground levels over the sewer, nor to restrict access to the manholes on the sewer. If you wish to have this sewer diverted under Section 185 of the Water Industry Act 1991 an application should be made in writing. To discuss this matter, please telephone 0345 120 84 82.

### Foul Water

The closest practicable point of discharge for foul will be the 225mm public foul water public sewer on Woolley Colliery Road, but at present it does not have adequate capacity available to accommodate the anticipated foul water discharge from the proposed site. Subject to the submission of a Formal Planning Application and robust build plan and start date, Yorkshire Water will carry out a feasibility study to determine suitable foul connection points, any available capacity in the public sewer network, together with timescales for any potential upgrading works required. This permission is not an acceptance in respect to any planning conditions imposed under the Grant of Planning Permission.

The cost for any feasibility/modelling/upgrade works will be at Yorkshire Waters cost up-front and recouped via the sites eventual infrastructure charges.

What are infrastructure charges? We levy infrastructure charges for all newly connected properties that have not been connected to our water or sewer network before. The charges are calculated to recover the cost of reinforcing our existing water and sewer networks needed to serve new developments. The charges are set to recover the costs over the whole of the Yorkshire Water area to increase capacity.

For more information <https://www.yorkshirewater.com/developers/developer-services-charge> Please review section 4 (page 68) of our New Connection Charging Arrangements 2023/2024 for an explanation of our infrastructure charges.

### Surface Water

The developer's attention is drawn to Requirement H3 of the Building Regulations 2010. This establishes a preferred hierarchy for surface water disposal. As the proposed site is currently undeveloped no surface water is known to have previously discharged to the public sewer network. As such, the local public sewer network does not have capacity to accept any surface water from the proposed site. If SuDS are not viable, the developer is advised to contact the Environment Agency/local Land Drainage Authority/Internal Drainage Board with a view to establishing a suitable watercourse for discharge.





YorkshireWater

## Other Observations

Any new connection to an existing public sewer will require the prior approval of Yorkshire Water. You may apply online or obtain an application form from our website ([www.yorkshirewater.com/developers/sewerage/sewerage-connections/](http://www.yorkshirewater.com/developers/sewerage/sewerage-connections/)) or by telephoning 0345 120 84 82.

Under the provisions of section 111 of the Water Industry Act 1991 it is unlawful to pass into any public sewer (or into any drain or private sewer communicating with the public sewer network) any items likely to cause damage to the public sewer network interfere with the free flow of its contents or affect the treatment and disposal of its contents. Amongst other things this includes fat, oil, nappies, bandages, syringes, medicines, sanitary towels and incontinence pants. Contravention of the provisions of section 111 is a criminal offence. .

The developer should note that the site drainage details submitted have not been approved for the purposes of adoption or diversion. If the developer wishes to have the sewers included in a sewer adoption/diversion agreement with Yorkshire Water (under Sections 104 and 185 of the Water Industry Act 1991), they should contact our Developer Services Team (Telephone 0345 120 84 82) at the earliest opportunity. Sewers intended for adoption and diversion should be designed and constructed in accordance with the WRc publication 'Sewers for Adoption - a design and construction guide for developers' 6th Edition, as supplemented by Yorkshire Water's requirements.

All the above comments are based upon the information and records available at the present time and are valid for a period of 12 months. The information contained in this letter together with that shown on any extract from the Statutory Sewer Map that may be enclosed is believed to be correct and is supplied in good faith. Please note that capacity in the public sewer network is not reserved for specific future development. It is used up on a 'first come, first served' basis. You should visit the site and establish the line and level of any public sewers affecting your proposals before the commencement of any design work.

Yours faithfully

**Reuben Thornton**  
**Land and a Planning Team**



## Andrew Calvert

---

**From:** Technical Sewerage <technical.sewerage@yorkshirewater.co.uk>  
**Sent:** 05 February 2026 13:43  
**To:** Lily Senior  
**Subject:** RE: A/02912- Bloomehouse Lane, Darton, Barnsley S75 5HY - Pre-Planning Sewerage Enquiry X131971

Good Afternoon Lilly

Thank you for the attached drawings. Based on this, If you can rule out surface water discharge by other means, I would accept surface water discharge to the public sewer network at a restricted rate of 8.3 litres per second .

This reduction would also alleviate the foul waste water capacity issues I outlined in the original letter.

I note you have sent me a couple of chaser email throughout the discussion of this site – Just so you know, my standard response time is within ten working days, though usually a bit faster than that.

Please let me know if you need anything further.

## Kind Regards



**Reuben Thornton**  
Town Planning Technician  
**Land and Planning**  
07790 616 373  
[yorkshirewater.com](http://yorkshirewater.com)  
*My working days: Monday - Friday*

---

**From:** Lily Senior <lily.senior@fortemconsultants.co.uk>  
**Sent:** 26 January 2026 15:53  
**To:** Technical Sewerage <technical.sewerage@yorkshirewater.co.uk>  
**Cc:** Matthew Lock <matthew.lock@fortemconsultants.co.uk>  
**Subject:** Re: A/02912- Bloomehouse Lane, Darton, Barnsley S75 5HY - Pre-Planning Sewerage Enquiry X131971

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If you suspect that this email is suspicious please report it to the Cyber Security Team using the "Report Message" button.

Good afternoon Rueben,

Not a problem - these are now attached as PDFs. The CCTV videos can also be provided upon request.

I can confirm that the existing property 'The Manor' is being retained and the redline boundary is staying as shown in the drawing 1190-009 - SK10. As the existing drains serving 'The Manor' discharge to the existing combined water sewer crossing the site, it will be necessary to divert these drains as part of the works, we are proposing to disconnect the property (foul and surface water) from the existing drainage, re-routing flows through the proposed development drainage, with surface water flows retained on site in accordance with the existing brownfield runoff, less 30% reduction.

I trust this clarifies the proposals, however if you require anything further or have any questions, please don't hesitate to get in touch.

Kind Regards,

**Lily Senior**

Trainee Engineering Technician

FORTEM

W: [www.fortemconsultants.co.uk](http://www.fortemconsultants.co.uk)

---

**From:** Technical Sewerage <[technical.sewerage@yorkshirewater.co.uk](mailto:technical.sewerage@yorkshirewater.co.uk)>

**Sent:** Monday, January 26, 2026 2:22 PM

**To:** Lily Senior <[lily.senior@fortemconsultants.co.uk](mailto:lily.senior@fortemconsultants.co.uk)>

**Subject:** RE: A/02912- Bloomehouse Lane, Darton, Barnsley S75 5HY - Pre-Planning Sewerage Enquiry X131971

Good Afternoon Lily

Unfortunately that link says the files have expired. I think often our virus protection software doesn't play well with file transfer sites, so I think it would be best to send me the pdf.s through email if possible.

Can I just clarify a point – you are expanding the site boundary to include 'the Manor,' which is being demolished, and you are doing a brownfield reduction based on this? If so, then any betterment to the combined sewer network is generally agreeable to Yorkshire Water.

I shall await your drawings in due course.

Please let me know if you need anything further.

**Kind Regards**



**Reuben Thornton**  
Town Planning Technician  
**Land and Planning**  
07790 616 373  
[yorkshirewater.com](http://yorkshirewater.com)  
*My working days: Monday - Friday*

---

**From:** Lily Senior <[lily.senior@fortemconsultants.co.uk](mailto:lily.senior@fortemconsultants.co.uk)>  
**Sent:** 15 January 2026 16:18  
**To:** Technical Sewerage <[technical.sewerage@yorkshirewater.co.uk](mailto:technical.sewerage@yorkshirewater.co.uk)>; Matthew Lock <[matthew.lock@fortemconsultants.co.uk](mailto:matthew.lock@fortemconsultants.co.uk)>  
**Cc:** Matthew Lock <[matthew.lock@fortemconsultants.co.uk](mailto:matthew.lock@fortemconsultants.co.uk)>  
**Subject:** RE: A/02912- Bloomehouse Lane, Darton, Barnsley S75 5HY - Pre-Planning Sewerage Enquiry X131971

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If you suspect that this email is suspicious please report it to the Cyber Security Team using the "Report Message" button.

Good afternoon Reuben,

I hope this email finds you well.

Further your correspondence with my colleague Matthew Lock, and following discussions with the developers, I can confirm that there is a requirement to disconnect the exiting property, Manhour House, and connect the existing foul and surface water outfalls to the development drainage prior to discharge to sewer, in accordance with the proposed layout attached.

We have reviewed the CCTV and drainage survey for Manor House, WeTransfer link below, to produce Existing Surface Water Catchment Plan, 1190-009-SK10, which confirms an impermeable area of 0.083ha currently discharging at 11.62l/s (140l/s/ha) to the combined sewer in Woolley Colliery Road.

<https://we.tl/t-1H6XMIZuA>

On this basis, I would be grateful if you could review the information provided and confirm acceptance of a discharge rate of 8.3l/s for the proposed development surface water flows - brownfield reduction of 30% (100l/s/ha).

If there is anything else that you require to complete your review, please do not hesitate to get in touch.

Kind Regards,

**Lily Senior**

Trainee Engineering Technician

FORTEM

W: [www.fortemconsultants.co.uk](http://www.fortemconsultants.co.uk)

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**From:** Technical Sewerage <[technical.sewerage@yorkshirewater.co.uk](mailto:technical.sewerage@yorkshirewater.co.uk)>  
**Sent:** 12 November 2025 14:32  
**To:** Matthew Lock <[matthew.lock@fortemconsultants.co.uk](mailto:matthew.lock@fortemconsultants.co.uk)>  
**Subject:** A/02912- Bloomehouse Lane, Darton, Barnsley S75 5HY - Pre-Planning Sewerage Enquiry X131971

Good Afternoon

Please find attached the PPSE response for the above site.

**Kind Regards**



**Reuben Thornton**  
Town Planning Technician  
**Land and Planning**  
07790 616 373  
[yorkshirewater.com](http://yorkshirewater.com)  
*My working days: Monday - Friday*

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