



## Heritage Statement:

Proposed Fenestration Alteration  
& External Store Replacement,  
102 Manchester Rd, Thurlstone,  
Sheffield S36 9QW

Value Added Design  
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## Introduction

This Heritage Statement forms part of that application to 102 Manchester Rd, Thurlstone, Sheffield S36 9QW, and should be read in conjunction with all the submitted information.

The site is located to the south-west of Thurlstone Conservation Area, that covers the majority of the village, and stretches along Manchester Rd encompassing several historic properties such as the application site in a gateway position to the west of the village centre. The application building itself is not Nationally or Locally Listed, nor considered a Building of Local Interest, yet nonetheless forms a pleasant semi-detached, late 19 century dwelling, in coursed natural stone and slate pitched roof, with ordered fenestration to the front replaced with modern UPVC windows, a notable stone cantered bay window to the left of the front elevation, and irregular fenestration to the rear. The building, positioned on a steeply falling site on the valley of the River Don, has the appearance of a two-storey building from the frontage on Manchester Road, however, has a lower ground level with single aspect to the rear (south) approximately aligned with the much lower Saville Lane. The property has an existing timber storage structure to the rear of the driveway at the western side, that appears to have been altered and repaired over a number of years and as such has a somewhat deteriorated appearance.

The application as proposed seeks consent to enlarge the structural opening of three existing windows to the lower ground floor at the rear of the property, to create a single large glazed patio door opening providing direct access to the garden amenity, and the removal of a balcony and staircase accessing the garden from ground floor level. The proposal also includes the demolition of the existing single storey timber store to the side of the property, to be rebuilt in stone with a slate roof, matching the materials of the property.

This Heritage Statement, aims to examine the history of the area, along with the significance of the existing windows, storage, and appropriateness of the proposed alterations to the setting of the Thurlstone Conservation Area.



Building Frontage Manchester Road



Site Location Plan

## Site History

The village of Thurlstone was originally a small rural farming community positioned next to the larger settlement of Penistone, focussed on agriculture and sheep farming until industrial development from the 18th century. By the late 19th century, the main trades in the village were connected to the wool trade and making of fabrics from wool, with Thurlstone reported as having had 40 weavers, 21 clothiers, 4 cloth dressers, a slubber, a yarn maker and a dyer. This history is represented in the village through the large proportion of weavers' cottages still evident within Thurlstone. During the last quarter of the century, the preparation and spinning processes along with corn milling and wire drawing, became mechanised by water power systems based on the River Don in the valley beneath the village, with various mills located along the river.

One such woollen mill, Plumpton Mill, appears on the first available Ordnance Survey Map of 1854 (illustrated below), positioned to the southwest of the application site, at the end of what is now Saville Lane. At this time, a number of buildings have been developed along Manchester Road, likely worker cottages for the mills, however the application building is not visible until the later Ordnance Survey Map of 1894.

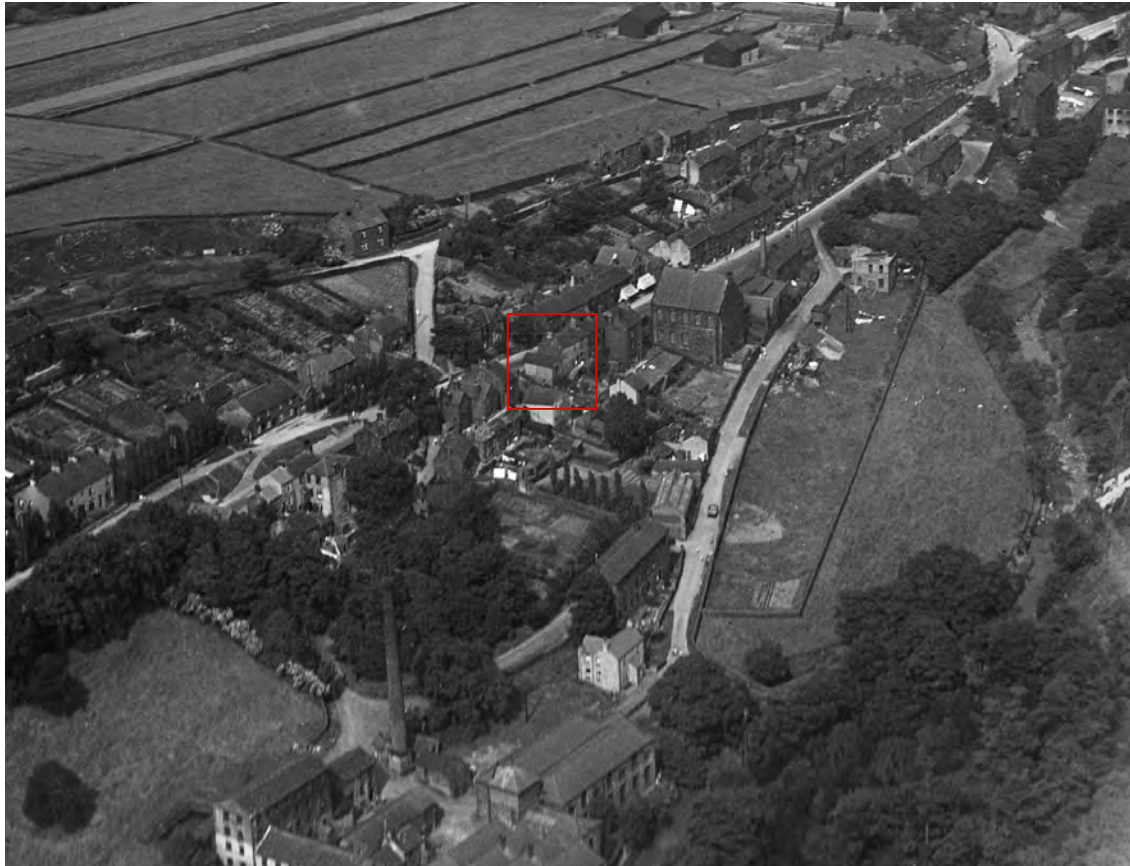


Ordnance Survey Map of 1854



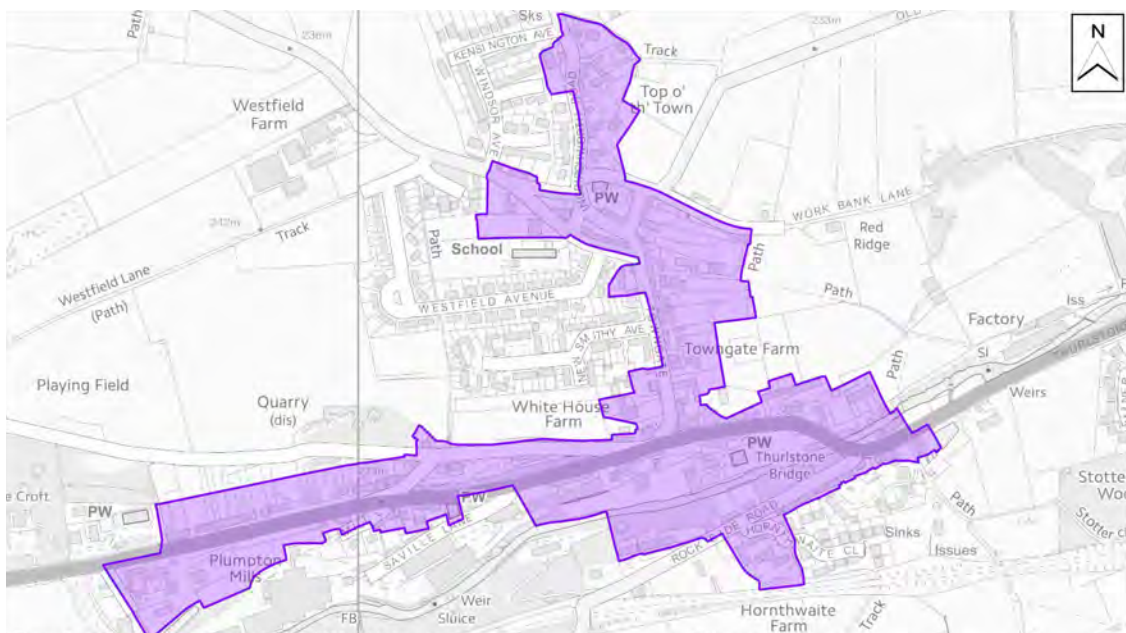
Ordnance Survey Map of 1894

The application building on the Ordnance Survey Map of 1894, appears to show an empty gap between the building and its western boundary, suggesting the storage to the side (or any structure preceding it) was not originally included in the development. However, aerial photography of the site from 1926 indicate the store was historically deeper, spanning from the front to the rear of the property.



Aerial Photography, Historic England (Aerofilms), 14 July 1926

### Conservation Area



Thurlstone Conservation Area



The village of Thurlstone, has undergone some infill development over recent years, along with an amount of encroachment from relatively new developments around Smithy Drive and Westfield Avenue, tending to be either semi-detached or detached housing, along with a number of small commercial properties as well as large industrial units, yet still retains many of the older stone-built houses in the historic core, with a mix of terraced housing and large detached Victorian villas.

Much of the historic settlement excluding this modern infill development falls within the Thurlstone Conservation Area, which includes the application site to the southwest of the Conservation Area, with the extents of the application site forming part of the southern boundary to the Conservation Area. Thurlstone Conservation Area can be roughly divided into two character zones, with the old village area high to the north above Manchester Road stretching along Towngate and Ingbirchworth Road, containing a number of seventeenth and eighteenth century houses, with locally characteristic weavers' windows (long rows of upper floor windows) inserted during the nineteenth century. The second character area, to which the application site is located, developed during the 19th century along Manchester Road and the area backing onto Plumpton Mills. The conservation area is dominated by sandstone (often stained black) built residential properties, predominately with stone slate, grey slate or Welsh slate, many of which exhibit the characteristic long rows of upper floor windows.

An aim of the Conservation Area is to protect architectural features from degradation, and effort should be made to encourage householders to retain historic features such as windows and doors, rather than replace them with inappropriate modern substitutes in locations where this would be harmful to the character of the conservation area, particularly in regard to views into and out of the conservation area, the setting of positive buildings and the character of the landscape. Where new or replacement windows and doors are proposed within the Conservation Area, appropriate traditional design and materials are encouraged to ensure that the proposed replacement windows retain the special character of this area, are sensitive to the historic context, and of complimentary design in order to prevent potential impact to the Conservation Area. It is notable however, that the application building does not retain any original windows, with all having previously been replaced with modern alternatives. As such, their retention and repair would not be an appropriate consideration in the overall assessment of the proposals acceptability, and instead the assessment will focus on the suitability of the proposed windows within the given context.

### Listing

Thurlstone, has a number of nationally Listed Buildings, linked to the village's textile industry past. These include 9 Ingbirchworth Road (NHLE 1314706, Grade II) and 15, 17 and 19 Towngate (NHLE 1192094, Grade II) which was formerly a row of weavers' cottages but is now one house. 1-9 Tenter Hill (NHLE 1151837, Grade II) is an attractive row of 5 cottages that have the typical continuous weavers' windows that stands overlooking the road and is a notable building on approach to Thurlstone. However, these listed buildings are not positioned within the wider context of the application site, and the proposals cannot be considered to impact their setting in any way.



Listed Buildings Around The Application Site

As can be seen in the above extract from the Historic England Listed Buildings Register map for the area surrounding the application site, the application site is not Listed, nor does it fall within the wider curtilage or context of a nationally Listed Building. As such, the proposed development is not subject to additional statutory constraints above that of any other site located within a Conservation Area, and the assessment of any impact deriving from the proposed window alteration or reconstruction of the external store will be in the context of how they impact the setting of the Conservation Area.

### The proposal

The application seeks to form a single enlarged structural opening, by removing a section of wall between three existing openings of two windows and a door to the rear (south) of the property at lower ground floor level, in order to insert large glazed patio door (assumed to comprise three sliding panels). The patio doors, are to provide better direct access to and relationship with the garden amenity, while allowing for far greater levels of natural light to enter the property's, partially subterranean, single aspect lower ground floor. To facilitate the increased glazing to lower ground, the proposals also include the removal of a balcony and staircase that currently provides access the garden from ground floor level, which is elevated a storey above the ground at the rear of the building, but which would otherwise dissect the new glazed opening. The existing higher level door is proposed to be replaced with a window, raising the cill to the level of the adjacent window. The below illustrations indicate the existing alongside the proposed rear elevations indicating how the proposals will alter the appearance of the building.



In assessing this aspect of the proposals it is notable to identify that the existing windows are not original UPVC, and are of a modern design, suggesting they were wholly replaced at one time in the past. The proposals will partially remove a limited amount of historic building fabric, though it is noted that this could be utilised to partially infill other openings as proposed. The introduction of an oversized glazed opening to lower ground floor level will contrast the appearance of the significantly smaller windows to the other floors, however, the fenestration pattern of the building's rear elevation is entirely irregular in both size, positioning, and cill height, so this contrast does not disrupt any existing order in the elevation. Conversely, as the opening is formed from existing smaller openings, it is notable that the jambs of the opening will align with those of windows above, giving a rationality to the opening formed.

While the frontage of the application building itself forms a relatively prominent position along Manchester road, it is noted that the rear to which this aspect of the application relates has a limited contribution to views into and out of the Conservation Area, given its setting on the steeply falling Saville Lane, obscured behind a neighbouring property to the south, along with significant walled and landscaped boundary treatments as pictured below. It is noted that only glimpse views of the application building from the south are available from outside the application site itself, and it is only the upper floor that can be seen. As such, any potential impact the proposed window replacement at lower ground floor on the overall context of the Conservation Area, is considered entirely mitigated by its inherent lack of visibility.





Existing Rear (South) Elevation From Saville Lane. Only Partially Visible From A Single Location

To the front of the property, the proposal also seek consent for the demolition of an existing poor quality and incongruous, single storey timber store positioned to the rear of the parking drive at the side of the property at the upper ground level, accessed from Manchester Road. It is proposed to rebuild the structure on the same footprint in a more robust and in-keeping construction, rebuilt in stone with a slate roof, matching the materials of the property. The materials of natural sandstone and slate are identified a positive characteristic of the village in the Local Authority appraisal of the Conservation area. The existing store has its pitch perpendicular to the dwelling and road, creating a valley abutting the external wall of the building with the potential of causing damp issues, and it is proposed to relocate the pitch to run parallel with both, giving a more in-keeping aesthetic. The store is to locate a pair of double doors into the frontage, giving a simple restrained appearance.



Existing Rear (South) Elevation



Proposed Rear (South) Elevation

## Conclusion

The application building, while pleasant, is not Nationally Listed, nor identified by the Local Authority as providing an especially positive contribution to the Thurlstone Conservation Area. Its context, in a relatively high-density area of the village, prevent wider views to the application building from outside the application site, thereby mitigating any perceivable impact of the proposed alterations.

Overall, the alterations to the rear assessed as having very limited impact on the application building itself, with minimal impact on the historic fabric and later addition existing windows. Due to the relative inability to see the heavily obscured rear elevation of the application building, it is assessed in principle to be appropriate and of immaterial impact to the character or setting of the wider Thurlstone Conservation Area.

It is noted that the replacement of with timber store to the side of the property with more traditional and complementary materials and design, will be in a more visible position to be perceived within the context of the conservation area. However, is determined to be of no greater visual impact than that of the existing structure, and will be more harmonious in appearance with the surrounding structures, representing a positive impact on the wider setting.