

At the request of the Building Control Surveyor any existing structure affected by the proposal shall be exposed for inspection by the developer and shall be to his complete satisfaction or altered to be so.

**Foundations** 1:2.4 concrete strip foundation 600mm wide x 225mm thick reinforced with 1 layer of A193 Foundations 1:2.4 concrete strip foundation 600mm wide x 225mm thick reinforced with 1 layer of A193 2 layers of B783 mesh 50mm cover to all faces. All foundations to be taken at least 900mm deep in clay below the invert level of any drains within 1m and beyond the influence of any tree roots in accordance with NHBC guidance whichever is deepest all to the complete satisfaction of the District Building Surveyor. Full cavity wall width 7 Newton block to ground level.

**Ground Floor** 100mm concrete trowelled smooth and level with the existing on 100mm of Kingspan floor insulation on 1200g DPM lapped to the DPC on 50mm of sand blinding and at least 150mm of compacted stone. Because of the step down from existing to proposed turn the dpm past the existing dpc and cover with dry lining onto the existing wall or insert an additional dpc into the existing brickwork at floor level. Existing drive concrete to remain 100mm new concrete floor over 1200g dpm in garage area. Any existing air grates enclosed by garage to be sealed and compensated on other elevations those enclosed by extension to be ducted to new air grates in the proposed external wall liner tray dpc over

**Walls** 100mm brickwork to match the existing 100mm cavity fully filled with rockwool batts 100mm blockwork 5 stainless steel wall ties m<sup>2</sup> spaced 750mm horizontally and 450mm vertically and every block to reveal. Reveals to have same U value as walls. Ties to have agreement certificate for wider cavity. 2000g DPC to each masonry leaf at least 150mm above ground level and to heads cills and jambs of all openings. IGHD insulated lintels to all openings 150mm end bearing. Bond existing to proposed with furze profiles and maintain cavity. All internal finishes to be plaster in 2 coats. Internal partition wall between dwelling and store to be constructed directly above a 2000g dpc and the exposed edge of the floor insulated and damp proofed with 2 coats of synthaproof. Wall to comprise 12.5mm plasterboard 5mm skim over 25mm kingspan that also protects the edge of the floor slab on 100mm x 50mm studs at 400mm centres fully insulated between with 100 mm kingspan insulation 25mm kingspan across the face of the studs 12.5 mm plasterboard 5mm skim wall to be taken full height and fire stopped. 100mm brick wall adjacent boundary to be constructed above a 225 wall comprising 7newton block inner leaf to ground level with pier brick bonded to outside leaf and tied to rafters with lateral restraint straps front wall above door to be 100mm brick outer leaf 100mm block inner leaf IG lintol 150mm end bearing suitable for wall width all exposed garage masonry jointed fair face. Vertical dpc at abutment of inner leaf to side brickwork

**Lean to Roof** Concrete interlocking tile suitable for pitch Redland Regent smooth face 100mm head lap at 12.5° laid in accordance with manufactures instruction on 25mm x 50mm tile battens and 1 layer of Tyvek breathable felt. Should the roof pitch be shallower than the chosen tile allows fasten Onduline sheets over the rafters first fixed in accordance with manufactures details to prevent penetration of water and tile as above. 50mm x 175mm rafters at 400 mm centres. Double rafter either side of velux roof lights

**Windows** category A UPVC double glazed windows and doors with units that have K or Low E glass and at least a 16mm spacer between panes argon filled to give a u value of 1.6wm<sup>2</sup>k. Opening lights to be 1/20<sup>th</sup> of the floor area and 8000mm<sup>2</sup> trickle vents to all rooms. All glazing in critical locations to be safety glass to BS6206 and stamped accordingly. Critical locations are doors, windows adjacent doors and any glass within 800mm of the floor. New external doors and operation to be manufactured to a design in accordance with clients instruction. Ditto garage door and frame high level window on boundary not to exceed one square metre in total area. Door between dwelling and garage to be a FD30 fire door self closing into rebates fitted with intumescent strips. Replace the enclosed wc door with a fire door as described. Provide 1 energy efficient lamp holder to the new room.

All electrical work to be carried out in accordance with part P of the Building Regulations. The work shall be designed installed and tested by a competent person being a member of a competent persons scheme who shall issue a certificate in accordance with BS7671 on completion.

All construction shall be robust.

**Drains** All drains to be lintoled over where walls cross using Monks concrete lintols. 50mm movement space between pipe and masonry flexibly sealed with rocker pipes. Any existing redundant drains to be sealed with concrete. Existing inspection chamber enclosed by garage to be fitted with a heavy duty double seal screw down cover Kitchen waste to discharge to a sealed gully. Rain water to discharge to and in order of priority A) soakaway 1m<sup>3</sup> in capacity 5m from any building B) water course C) existing on site system through trapped gullies all in accordance with Building Control Surveyors instruction and agreed on site.

**Alterations** remove the existing kitchen window and rear door and make good the permanent openings in plaster finish to match existing fit mechanical extract to enclosed wc discharging at a rate of 3 air changes per hour to external air or replace the existing window as above with one that has an opening light

All electrical work to be carried out in compliance with current addition of the IEE regulations with level of provision agreed with client prior to commencement. All electrical work to be carried out in accordance with part P of the Building Regulations. The installation shall be designed installed and tested by a competent person who is a member of the competent persons scheme and capable of issuing a certificate in accordance with BS7671 on completion of the work. All heating/plumbing work to be carried out by a suitable qualified gas safe engineer. The appointed installer shall check the system suitable for additional capacity and confirm any design requirements with client prior to commencement. All hot water pipes to be insulated with foam equivalent to outside diameter of pipe. Radiators to have thermostatic valves. All decoration and joinery items and fittings to be agreed with the client and builder prior to commencement of work.

These notes and all drawings are to be checked and verified by the contractor prior to commencing work on site. Workmanship and materials are to comply with the Building Regulations, British Standards and all codes of practice etc. All materials shall be fixed, applied or mixed in accordance with all manufacturers instructions and specification. All materials shall be suitable for the purpose that they are used for. The contractor shall take into account everything necessary for the proper execution of the works and to the satisfaction of the Local Authorities Building Inspector, whether or not indicated on the drawings or in the specification.

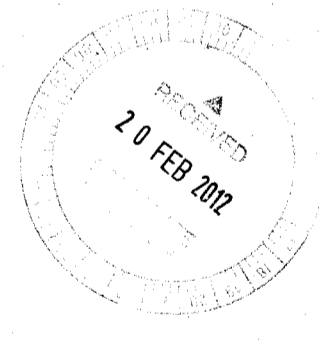
These plans and details have been prepared for the purposes of obtaining Town Planning and Building Regulations approval only. Builder to check and to clarify all levels, dimensions, drainage, construction and specification prior to any work on site and to bring to the clients attention any variations perceived omissions or deviations for written confirmation before being carried out on site. All dimensions are approximate and are to be confirmed on site, before project commences. All lines and levels, invert depths etc of all drainage are only approximate and must be confirmed and verified by the builder at beginning of the contract. When appropriate it is the owners responsibility to serve notice on the adjoining/adjacent neighbours for the proposed works under the Party Wall Act 1996. The explanatory booklet can be obtained free of charge from ODPM free literature PO Box 236 West Yorkshire LS23 7NB. Telephone 0870-122-6236. Email [odpm@wotnet.press.net](mailto:odpm@wotnet.press.net).

Construction (Design & Management) Regulations 1994 - Applicable to all projects except work to a persons own house other than that carried out by the developer.

The client shall be advised that all projects lasting for more than 30 days or include more than 4 people engaged on the construction on site at any one time shall be subject to the above regulations.

The client shall take all reasonable steps to ensure that the appointed contractors have the competence and adequate resources sufficient to manage the construction work and comply with the above regulations.

If the project is subject to the above regulations the client shall appoint a planning supervisor and ensure that notice is served on the health and safety executive at tender acceptance stage using form 10.



SCALE 1-100 1-50

**PROPOSED SINGLE STOREY REAR EXTENSION AT 18 TINGLEBRIDGE LANE HEMMINGFIELD**