

Application Reference: 2026/0239

Site Address: 3 Avondale Drive, Carlton, Barnsley, S71 3EN

Proposal: Erection of single storey garage and store building to replace existing garage.

Relevant Site Characteristics

The property is a semi-detached dwelling within the Carlton area. The surrounding area is characterised by predominantly semi-detached and terraced dwellings along with occasional detached dwellings and semi-detached bungalows. Brickwork is predominately used along with some stone properties. Pitched roof forms are commonly used. The majority of properties in the street scene have detached garages and outbuildings in the rear garden space.

The site provides a modest driveway to the front and side of the dwelling providing access to a detached garage to the rear the site. A modest garden is located to the rear of the dwelling. The rear of the site provides a tall boundary wall due to the topography of the surrounding area. The site dwelling is constructed from yellow brickwork and features a pitched roof.

Reference Number	Description	Decision
B/76/1560/BA	10 bungalows and 14 houses with garage spaces	Historic

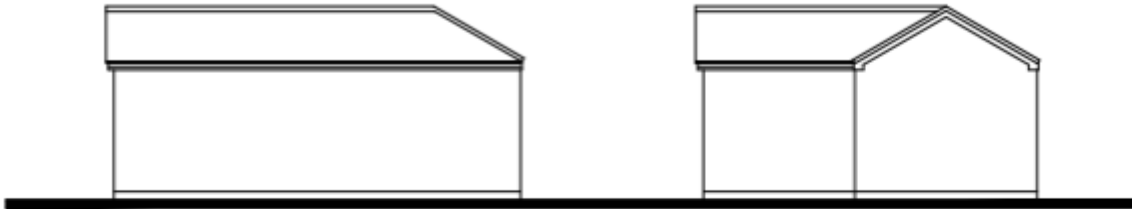
Detailed description of Proposed Works

The applicant is seeking permission to erect an outbuilding in the rear garden space. The outbuilding would be 'L-shaped' with a gable roof form. An approximate eaves height of 2.3 metres is proposed along with an approximate ridge height of 3.4 metres. The outbuilding would provide both a garage area and a store area. A width of 3.2 metres is proposed to the front garage area along with an approximate width of 7.2 metres to the rear elevation. The garage would have an approximate length of 5.9 metres. A garage door is detailed to the front elevation spanning approximately 2.4 metres. A second door is detailed to the front elevation of the store area. Matching materials have been proposed.



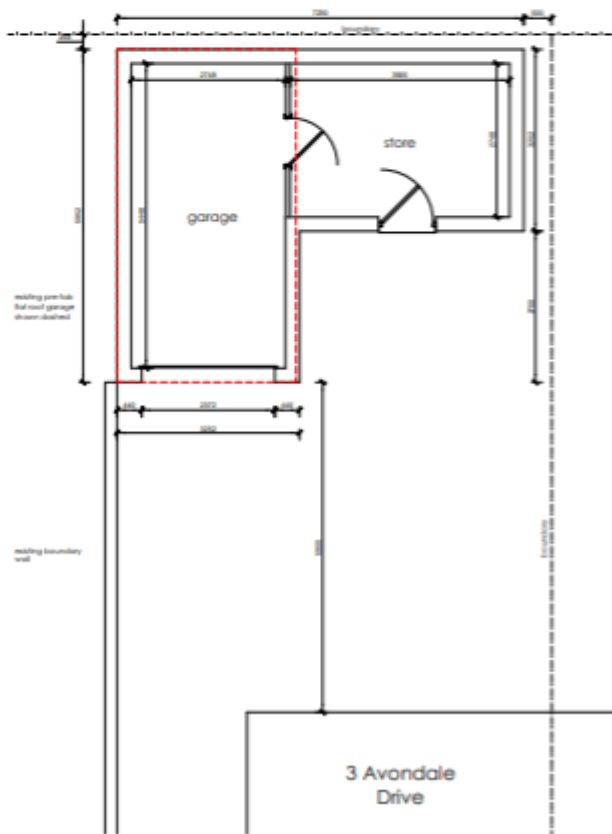
front elevation

side elevation



rear elevation

side elevation



location plan
1:1250



site plan
1:500

A: 27.03.26 Existing garage footprint and type confirmed
Revision

Proposed Garage & Store at 3 Avondale Drive, Carlton for Mr & Mrs Winstanley

scale 1:50 @a2 - date march 26 - dwg no. CA/01 A

Relevant policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

No representations have been received.

Highways – No Objection

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle

The site falls within Urban Fabric where extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Scale, Design and Impact on the Character

The Supplementary Planning Document for House Extensions states 'Detached garages and outbuildings should relate sympathetically to the main dwelling in style, proportions and external finishes. In most cases, it will not be appropriate for a garage to be sited between the house and the road.

Detached garages and outbuildings should be single storey structures and the eaves height should not normally exceed 2.5 metres from ground level, whilst the ridge height should not exceed 4 metres. Proposals for garages will be assessed using the reference of a standard size for a single garage as outlined in the South Yorkshire Residential Design Guide, which states the internal floor area for garages should be 3m by 6.5m. For double garage proposals a standard floor area size is considered to be 6.5m x 6.5m. It is not considered appropriate for detached garages to include dormer windows as a way of accommodating

rooms in the roof space, however, in some circumstances (e.g. where the garage is set within a large curtilage) it may be possible to utilise the roof space for ancillary accommodation/storage but not as an annex/granny annex. Where the privacy of neighbouring residents would not be compromised it may therefore be possible to install roof lights.'

The outbuilding proposes a gable roof form which is sympathetic to the existing dwelling. A modest eaves and ridge height is proposed which is acceptable against the House Extensions and Other Domestic Alterations SPD. Although the internal floorspace of the garage does not meet the 3 x 6.5 metres required to qualify for a garage, the proposed floorspace is the same as the existing garage on site. The garage and store would provide an approximate internal floorspace of 25 square metres and is modest when compared to the maximum 39 square metres outlined in the House Extensions and Other Alterations SPD. The use of matching materials allows the proposal to remain in keeping with the character of the site and surrounding area.

The outbuilding would be to the rear of the garden space however would be adjacent to Woodroyd Close. Woodroyd Close is situated higher than the location of the outbuilding reducing the dominance of the proposal in the street scene. The outbuilding proposes a modest eaves height and is significantly screened by a fence which would reduce the impact of the outbuilding on the street scene. Additionally, it is acknowledged other outbuildings of similar size and scale are located in neighbouring gardens as well as the existing garage which would have a similar impact to the proposal on the street scene.

It is therefore considered that the proposed garage and store building is acceptable in terms of visual amenity and in compliance with Local Plan policy D1: High Quality Design and Place Making and as such carries considerable weight in favour of the application.

Impact on Neighbouring Amenity

The proposed garage and store to the northwest of 1 Avondale Drives' existing outbuilding. The outbuilding would be in the same location as the existing garage. The impact of the garage would be increased by the addition of gable roof form, however given the eaves height nearest to boundary with 1 Avondale Drive would be a modest 2.3 metres, the garage would not have a detrimental impact on neighbouring residential amenity. Additionally, substantial boundary treatment is in place which would screen the proposal.

The proposal would be erected to the southeast of 5 Avondale Drives' rear amenity space. The store would be distanced approximately 0.5 metres from the boundary and is significantly screened by the existing boundary treatment. The proposal would therefore have a limited impact on the residential amenity of neighbours to the north.

Due to the topography of the surrounding area, the site is significantly set down from the road to the rear of the site and is significantly screened. The garage/store would therefore have little impact on neighbours to the rear of the site. Furthermore, no rear elevation gazing is proposed, preventing any opportunity for overlooking towards neighbours on Woodroyd Close.

It is therefore considered that the proposal would not result in a significant increase in overlooking, overshadowing or reduce levels of outlook to a detrimental level and is in compliance with Local Plan Policy GD1 General Development. This carries considerable weight in favour of the application.

Highways

The proposal would not increase the number of bedrooms on site or reduce the existing onsite parking facility. Additionally, highways have raised no objections to the proposal.

As such the proposal is considered acceptable in terms of its impact on highway safety and in compliance with Local Plan Policy T4 New Development and Transport Safety. This carries substantial weight in favour of the application.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

Amendments have not been requested during the application process.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.

Conditions

- 1) The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.
Reason: In order to comply with the provision of Section 91 of the Town and Country Planning Act 1990.

- 2) The development hereby approved shall be carried out strictly in accordance with the amended plans

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and specifications as approved unless required by any other conditions in this permission.

Reason: In the interests of the visual amenities of the locality in accordance with Local Plan Policy D1 High Quality Design and Place Making.

- 3) The external materials shall match those used in the existing building.

Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.

- 4) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and/or re-enacting that Order), the garage and store building hereby permitted shall be retained as such and shall not be used for any purpose other than storage and the garaging of private motor vehicles associated with the main dwelling (3 Avondale Drive, Carlton, Barnsley, S71 3EN) without the grant of further specific planning permission from the Local Planning Authority. It shall not be used for any trade/business purposes, nor used as a separate residential use/annex and shall not be severed at a later date to create a separate planning unit.

Reason: To ensure that the residential use of the site is not intensified, contrary to sustainable development and Local Plan Policy T3 New Development and Sustainable Travel.

Informatives

- 1) The granting of planning permission does not in any way infer that consent of the landowner is given. Therefore, the consent of all relevant landowners is required before proceeding with any development, including that of the Council as landowner.

If it should transpire that the applicant does not own any of the land included in this consent, then it is the responsibility of the applicant to seek all necessary consents and approvals of the landowner.

- 2) This permission shall not be construed as granting rights to carry out works on, under or over land not within the ownership, or control, of the applicant.