
2021/1196

Ms A Montgomery

Erection of single storey extension to rear of dwelling

388 Burton Road, Monk Bretton, Barnsley, S71 2QE

Site Location & Description

The end terraced property is located on a busy arterial route within the borough, linking Monk Bretton to the West Green Bypass which serves the north east of the borough. The stone fronted property fronts onto Burton Road and is set higher than the highway with steps leading to a small front paved garden and the entry to the property. To the south west of the property a small modern development of stone fronted semi-detached properties are located.

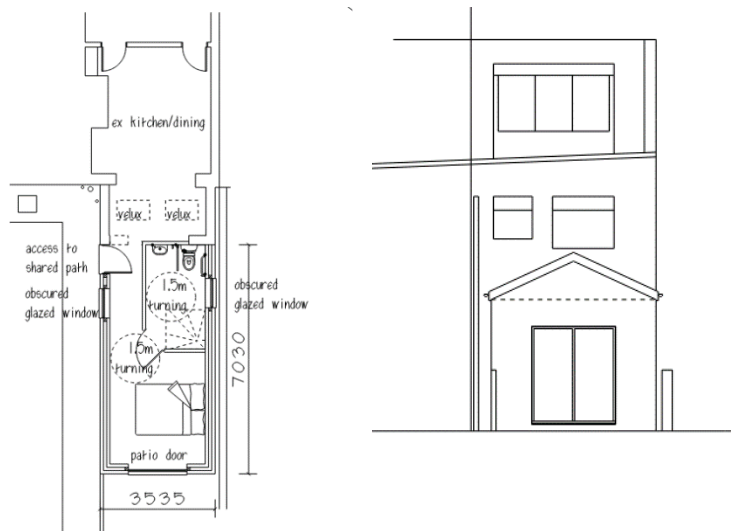
The garden is accessed from patio doors to the rear, which a small terrace area directly beyond the rear elevation with steps up to the paved garden beyond, which is approximately 0.8m higher than the area directly beyond the rear elevation of the dwelling as extended.

An approximately 2.8m timber fence separates the application property with the adjoining property and an approximately 2.8m red brick wall with timber trellis separate the application property with the dwelling to the south west.



Proposed Development

The applicant seeks permission for the erection of a single storey rear extension. The single storey extension is to be located on the north western rear elevation and would project 7m from the rear elevation of the existing rear extension, resulting in a cumulative projection of 8.8m and is to extend the full width of the property.



Policy Context

Planning decisions should be made in accordance with the local plan unless material considerations indicate otherwise and the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Council has also adopted a series of Supplementary Planning Documents and Supplementary Planning Guidance Notes, which are other material considerations.

NPPF

The NPPF sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

In respect of this application, relevant policies include:

Section 12: Achieving well designed places - The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

It is important to plan positively for the achievement of high quality and inclusive design for all development, including individual buildings, public and private spaces and wider area development schemes.

Within section 12, paragraph 134 is the most relevant which indicates that permission should be refused for development that is not well designed, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes.

Local Plan

The site is allocated as Urban Fabric within the Local Plan Proposals Maps and therefore the following policies are relevant:

Policy GD1 General Development

Proposals for development will be approved if:

- There will be no significant adverse effect on the living conditions and residential amenity of existing and future residents;
- They are compatible with neighbouring land and will not significantly prejudice the current or future use of the neighbouring land;
- They will not adversely affect the potential development of a wider area of land which could otherwise be available for development and safeguards access to adjacent land;
- They include landscaping to provide a high quality setting for buildings, incorporating existing landscape features and ensuring that plant species and the way they are planted, hard surfaces, boundary treatments and other features appropriately reflect, protect and improve the character of the local landscape;
- Any adverse impact on the environment, natural resources, waste and pollution is minimised and mitigated;
- Adequate access and internal road layouts are provided to allow the complete development of the entire site for residential purposes, and to provide appropriate vehicular and pedestrian links throughout the site and into adjacent areas;
- Any drains, culverts and other surface water bodies that may cross the site are considered;
- Appropriate landscaped boundaries are provided where sites are adjacent to open countryside;
- Any pylons are considered in the layout; and
- Existing trees that are to remain on site are considered in the layout in order to avoid overshadowing.

The supporting text to Policy GD1 states:

Further detail on some of these issues is set out in Policy D1 Design which sets the overarching design principles for the borough and associated Supplementary Planning Documents on Residential Amenity and the Siting of Buildings, Designing New Housing Development and Advertisements.

We want to make sure that the living conditions and residential amenity of people are protected, that development is set within high quality landscaping and that land is used efficiently by making sure that new development does not reduce development opportunities on neighbouring land.

We will assess impact on living conditions and residential amenity in relation to:

- Noise, smell, dust, vibration, light, air, surface water, groundwater or other pollution and disturbance from any proposed activity, including traffic related noise and the comings and goings of visitors to premises particularly when late evening activity is involved.
- Overlooking and privacy
- Outlook from dwellings including consideration of whether structures in close proximity to windows are considered visually over dominant.
- Daylight/sunlight and overshadowing and
- Landscaping and boundary treatments

Policy D1 High Quality Design and Place Making

Design Principles:

Development is expected to be of high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley, including:

- Landscape character, topography, green infrastructure assets, important habitats, woodlands and other natural features;
- Views and vistas to key buildings, landmarks, skylines and gateways; and
- Heritage and townscape character including the scale, layout, building styles and materials of the built form in the locality.

Through its layout and design development should:

- Contribute to place making and be of high quality, that contributes to a healthy, safe and sustainable environment;
- Complement and enhance the character and setting of distinctive places, including Barnsley Town Centre, Penistone, rural villages and Conservation Areas;

- Help to transform the character of physical environments that have become run down and are lacking in distinctiveness;
- Provide an accessible and inclusive environment for the users of individual buildings and surrounding spaces;
- Provide clear and obvious connections to the surrounding street and pedestrian network;
- Ensure ease of movement and legibility for all users, ensure overlooking of streets, spaces and pedestrian routes through the arrangement and orientation of buildings and the location of entrances;
- Promote safe, secure environments and access routes with priority for pedestrians and cyclists;
- Create clear distinctions between public and private spaces;
- Display architectural quality and express proposed uses through its composition, scale, form, proportions and arrangement of materials, colours and details;
- Make the best use of high quality materials;
- Include a comprehensive and high quality scheme for hard and soft landscaping; and
- Provide high quality public realm.

In terms of place making development should make a positive contribution to achieving qualities of a successful place such as character, legibility, permeability and vitality.

The supporting text to Policy D1 states:

Development should take account of the following design standards and guidance (and any future updates of these) which will be used (but not exclusively) to help assess the quality of design:

- Building for Life 12 (for residential developments of 10 or more dwellings).
- Secured By Design/ Safer Places- the Planning System and Crime Prevention.
- Manual for Streets (for residential developments).
- Manual for Streets 2- Wider Application of the Principles (which takes this guidance beyond just residential developments).
- The South Yorkshire Residential Design Guide.

Policy SD1 Presumption in favour of Sustainable Development

Supplementary Planning Document: House Extensions and Other Domestic Alterations (SPD)

Supplementary Planning Documents provide greater details on the policies within the Local Plan.

The SPD sets out the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations and indicates that these developments:

1. be of a scale and design which harmonises with the existing building
2. not adversely affect the amenity of neighbouring properties
3. maintain the character of the street scene and
4. not interfere with highway safety.

To combat the problems of loss of light, as well as loss of privacy and outlook, the size and projection of rear extensions need to be strictly controlled.

Single storey extensions to the rear of terraced houses should not exceed 3.5m in projection and where they exceed 3m in length the eaves height should not exceed 2.5m.

The position of an extension in relation to a neighbouring property and to the path of the sun can influence the level of daylight and sunlight received by that property. Extensions should not overshadow neighbouring properties or their gardens to an unreasonable degree. Extensions directly to the south and to the south east and south west of a neighbouring dwelling will generally have a greater impact than those located to the north, east, or west.

South Yorkshire Residential Design Guide (SYRDG)

Section B1.3 of the above document outlines external spacing standards for establishing acceptable dimensions to seek to solve significant design issues related to privacy, overshadowing, overbearing and loss of outlook.

For the purposes of daylighting and avoiding an overbearing relationship, back to side distances and the extent of rear extensions should be limited by the 45-degree rule.

Consultations

No consultations

Representations

Neighbour notification letters were sent to surrounding properties; no letters of representation have been received.

Assessment

Principle of development

The site falls within urban fabric which has no specific land allocation, however the site and surrounding area is made up principally of housing. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety.

Residential Amenity

The SPD states that single storey rear extensions to terraced properties should be designed with a rear-wards projection of less than 3.5m, the SYRDG provides guidance in relation to daylighting and avoiding overbearing relationships and the extent of rear extensions.

For the purposes of daylight and to avoid an overbearing relationship with neighbouring properties, particularly adjoining ones, a 45-degree rule is applied to assess the impact a rear extension would have. A 45-degree quadrant is taken from the mid-point of the potentially affected window; if the extension falls within this area, then it is considered that the proposal would have an overbearing impact on the neighbouring dwelling.

The main impact of the proposed extension is on the adjoining terraced property to the north east of the application property, 390 Burton Road; however, there will still be some impact on the property to the south west, 380 Burton Road.

The proposed extension is to project 7m from the rear elevation of the existing rear extension, resulting in a cumulative projection of 8.8m from the rear elevation of the original dwelling.

SPD states that rear extensions to the rear of terraced properties should not exceed 3.5m and where they exceed 3m, the eaves height should not exceed 2.5m; in this instance the eaves height are approximately 2.8m, this in addition to the extension being located adjacent to the party boundary would have a detrimental impact on the amenity of the adjoining property.

It is acknowledged that the Town and Country Planning General Permitted Development Order 2015 (as amended) allows larger home extensions on terraced properties up to 6m and with an eaves height up to 3m where no neighbour objections are received, however the scheme put forward exceeds this by just under 3m which is considered to have a significant detrimental impact on the amenity of the adjoining property.

In addition to the excessive projection, the proposed extension is to intersect the 45-degree quadrant with 390 Burton Road by 6.7m and it is considered that the proximity of the extension to the party boundary and the substantial expanse of brick work will limit levels of outlook and have an overbearing impact on the adjoining property to the detriment of residential amenity.

The extension intersects the 45-degree quadrant with 380 Burton Road by 5.4m, this is less than the adjoining property, as 380 Burton Road is set away from the boundary with the application site, nevertheless the impact on the property would still be substantial and to the detriment of residential amenity.

The SPD states that the position of the extension in relation to a neighbouring dwelling and the path of the sun can greatly influence the level of daylight received and that extensions directly to the south or west will have a greater impact on than those to the north or east.

The proposed extension is to be located to the south west of the adjoining property and would directly interfere with the path of the sun which would result in overshadowing of the neighbouring dwelling and associated garden area during the mid-morning hours and into the afternoon. In addition, the extension is to be located on a north facing elevation, an elevation which already receives little direct sunlight due to the dwelling's orientation to the path of the sun and therefore it is considered that the proposed extension would have a detrimental impact on the residential amenity of the occupiers of the adjoining property.

Whilst there are windows proposed on both side elevations of the proposed extension, there are to be fitted with obscure glazing and those located on the rear elevation are located a sufficient distance from the rear boundary to limit any increase in overlooking of the properties beyond.

Whilst it is considered that the proposed extension would not have any significant detrimental impact on levels of overlooking, this does not warrant the approval of a scheme which would have a detrimental impact on the residential amenity of the adjoining neighbours by means of overshadowing, loss of outlook and being overbearing.

It is therefore considered that the proposal would result in an increase in overshadowing and a reduction in levels of outlook to a detrimental level and therefore fails to comply with Local Plan Policies GD1 – General Development and D1 - High Quality Design and Place Making, SPD: House Extensions and Other Domestic Alterations and the South Yorkshire Residential Design Guide

Visual Amenity

The proposed extension is to be located on the rear elevation of the dwelling and would not be highly visible from public vantage points. Furthermore, the extension has been designed to harmonise with the original dwelling in terms of roof style and pitch and detailing and is to be constructed from materials which match. It is therefore considered that the proposed extension is acceptable in terms of visual amenity and in compliance with Local Plan policy D1: High Quality Design and Place Making.

Highway safety

The proposal does not result in the loss of off street parking or the requirement for additional provision and as such is considered acceptable in terms of its impact on highway safety.

Conclusion

The proposed extension intersects the 45 degree quadrant by 6.7m, and given the proximity to the party boundary, it is considered to have a detrimental impact on the amenity of the adjoining residents by means of overshadowing, loss of outlook and being overbearing and as such is unacceptable.

Recommendation

Refuse