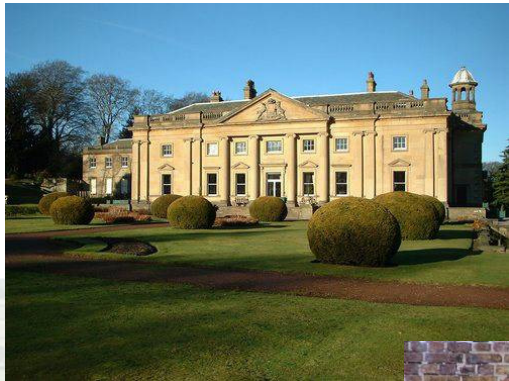


**WORTLEY VILLAGE**  
**DESIGN & ACCESS STATEMENT**



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## **CONTENTS**

### **1.0 Introduction**

### **2.0 Site Assessment**

#### **2.1 Location**

#### **2.2 Background**

#### **2.3 Photographic Survey**

#### **2.4 Site Survey**

#### **2.5 Site Investigation**

#### **2.6 Drainage**

##### **2.6.1 Flood Risk**

##### **2.6.2 Existing Sewers**

#### **2.7 Access**

#### **2.8 Ecology**

#### **2.9 Trees**

#### **2.10 Archaeology**

#### **2.11 Geo-technical Report**

### **3.0 Planning Policy**

#### **3.1 Development in the Green Belt**

#### **3.2 Sustainability**

### **4.0 Involvement and Evaluation**

### **5.0 The Proposals**

#### **5.1 Description**

##### **5.1.1 Background**

##### **5.1.2 Ownership**

##### **5.1.3 Residential**

##### **5.1.4 Commercial**

##### **5.1.5 Allotments**

##### **5.1.6 Highways**

##### **5.1.7 Development Sites**

##### **5.1.8 Schedule of Development Sites and Phasing**

### **6.0 Site Specific Information**

### **7.0 Summary**

### **Appendices**

#### **Appendix 1 Photographic Survey**

#### **Appendix 2 Identification Plans**

<b>2.1</b>	<b>P20 Rev B</b>	<b>Wharnccliffe Estate Identification Plan</b>
<b>2.2</b>	<b>P21</b>	<b>Development Policies (based on BMBC UDP)</b>
<b>2.3</b>	<b>P22 Rev A</b>	<b>Existing and Proposed Woodland/Planting</b>
<b>2.4</b>	<b>P23</b>	<b>Past Village Development</b>
<b>2.5</b>	<b>P24 Rev A</b>	<b>Selected Development Sites</b>
<b>2.6</b>	<b>P25 Rev A</b>	<b>Sewer Records Plan</b>

## **1.0 Introduction**

Chris Carr Associates have been instructed by the Wharnccliffe Estate to prepare design proposals to support a Planning Application for the future redevelopment of Wortley Village.

Wortley, an estate village owned by the same family since the twelfth century, is at the centre of an agricultural estate which extends to Crane Moor at the north, Howbrook at the east, Oughtibridge to the south and to Chapeltown in the west. The Estate has been passed down through the generations and the present owners are anxious to agree "master plan" proposals for Wortley which will ensure its protection, enhancement and improvement in the future.

The applications are part Outline, part Detailed and change of use as agreed with Development Control, subject to the nature of the proposals but, as a whole, form part of a "master plan" to be linked by a Section 106 Agreement.

This design and access statement, which has been prepared in accordance with National guidance, provides a detailed assessment of the existing village and makes proposals for the protection, alteration, extension and redevelopment of the built fabric, roads and footpaths and enclosing landscape.

The submission of this Planning Application follows long and detailed discussions with the owners, the Local Planning Authority, the Parish Council and the village as to how future need can be met and how Wortley Village can be improved for future generations.

## 2.0 Site Assessment

### 2.1 Location

Wortley Village straddles the busy A629 Halifax Road and is at the centre of the Wharnccliffe Estate, approximately 12.5 km from Sheffield, 8 km from Barnsley and 7 km from Penistone.

The village is less than 0.5 km from the A616 Stocksbridge by-pass, which links traffic from Manchester via the Woodhead Pass and the Pennines to South Yorkshire and the M1 motorway at Junction 36.

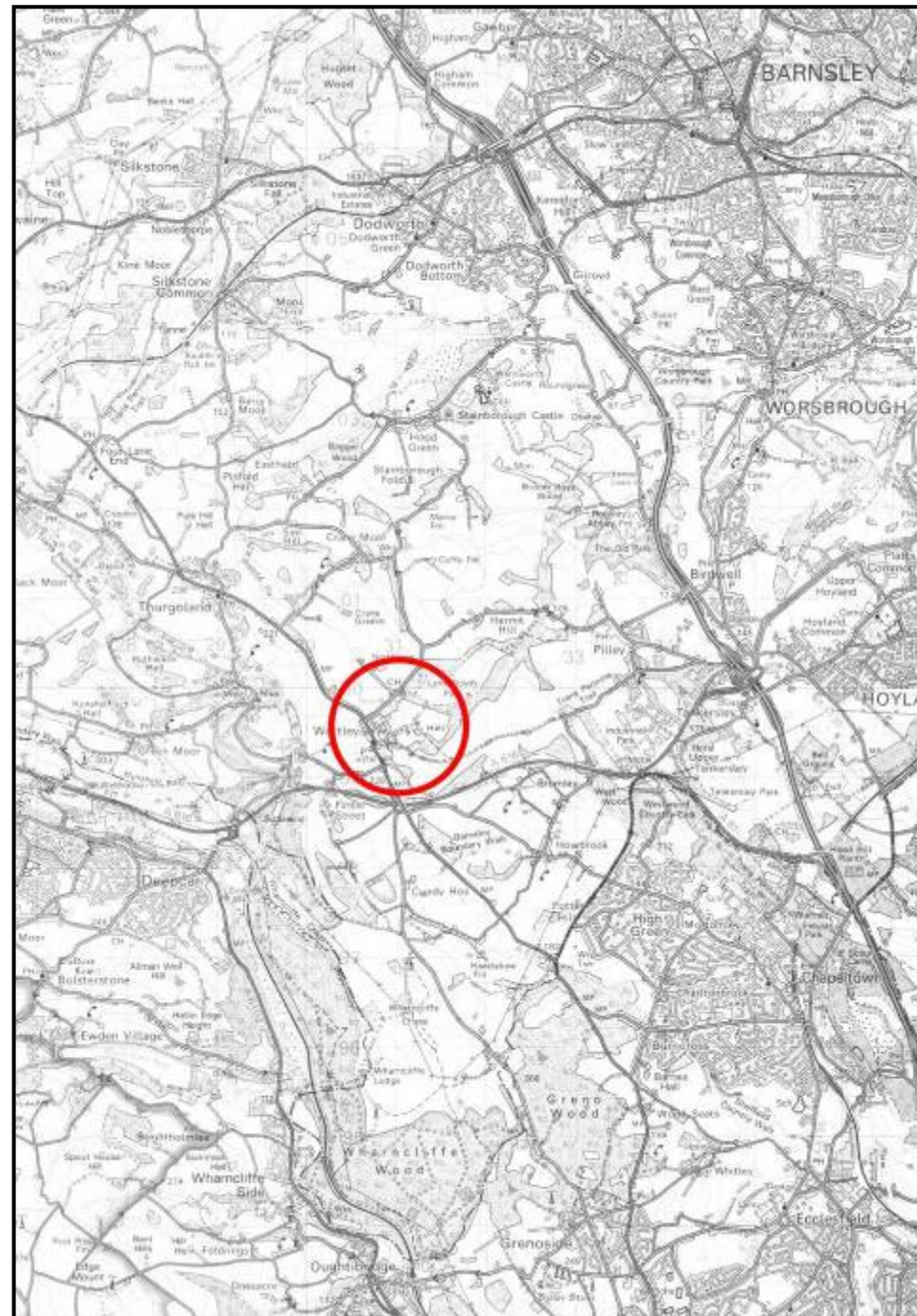


Fig 1. Regional Plan

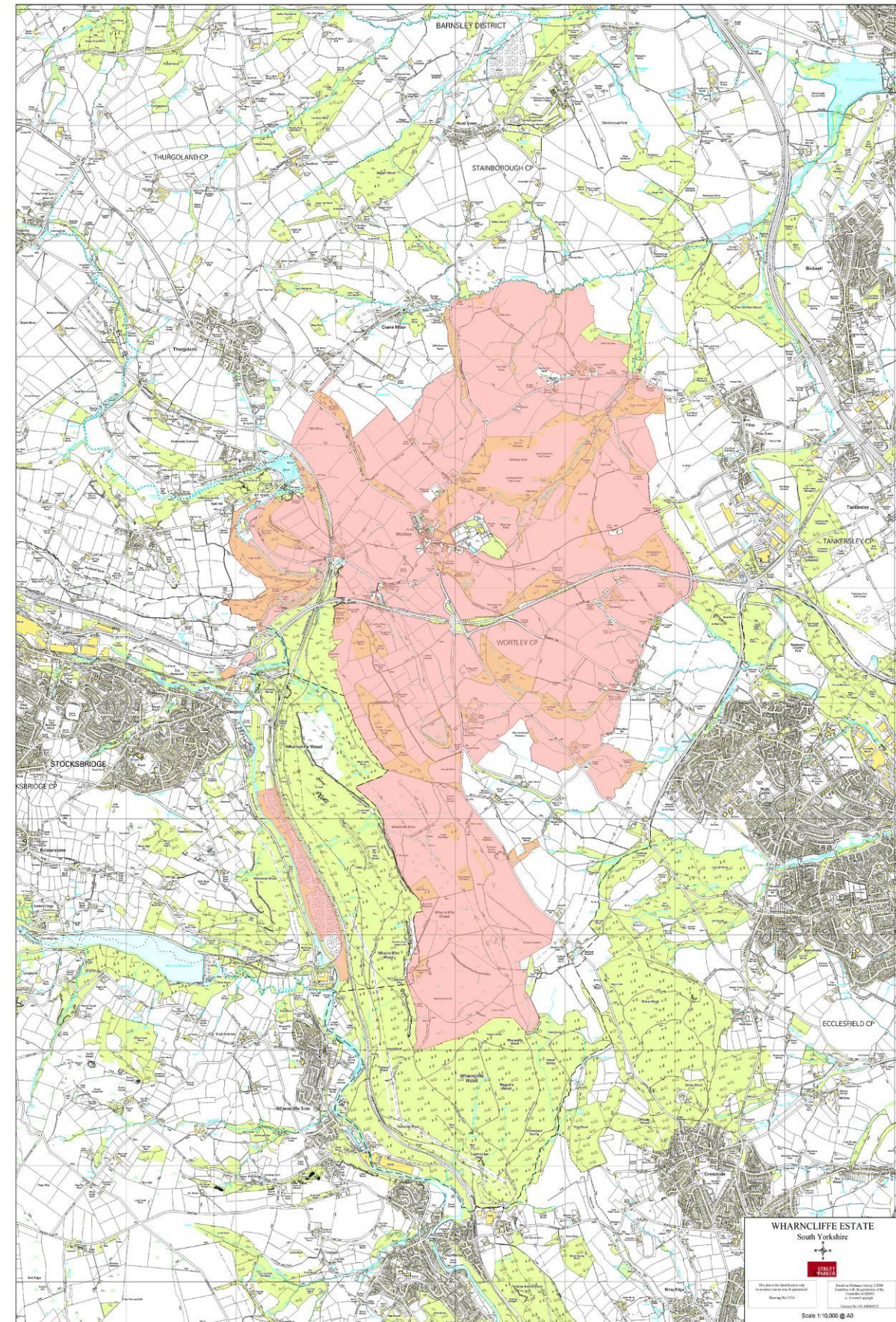


Fig 2. Identification of the Wharnccliffe Estate

## 2.2 Background

Wortley Village, Wortley Hall and the surrounding agricultural estate have been owned by the Wortley family since the twelfth century. Although the Hall, the park and parts of the village had been sold during recent times, the Wharncliffe Estate is still a substantial land owner and the family, who live in the village, remain actively involved in the day to day management of the Estate.

Despite the ups and downs of history, the present owner, Lady Rowena Stuart-Wortley, her Trustees and professional advisers, remain committed to ensuring that the Estate and, in particular, Wortley Village are protected and, where appropriate, redeveloped in such a way that well maintained property supporting a vibrant local economy and thriving community is passed on to the next generation.

## 2.3 Photographic Survey

A photographic survey is attached at Appendix 1. The survey includes a walk-through inspection of Wortley Village with photographs taken at regular intervals to illustrate the existing streetscape, critical building and landscape details and to highlight sites within the village where future development might be considered. The individual photographs are annotated and a description provided to confirm the direction from which they were taken.

## 2.4 Site Survey

A detailed topographical survey of the whole of the village has not been undertaken. Design proposals are therefore based upon the Ordnance Survey together with site specific surveys and levels where these were felt necessary to establish the accurate position of existing trees or important features or to confirm site levels.

## 2.5 Site Investigation

Wortley Village has been the subject of a Phase 1 site investigation report by Eastwood & Partners, consultant engineers. The report has looked at all potential development sites and provides advice with regard to likely ground conditions, past, present and future mining activity and the likelihood of contamination. The report advises that there are no geo-technical reasons to restrict future development.

A copy of the engineers' report is attached with the Planning Application.

## 2.6 Drainage

### 2.6.1 Flood Risk

Wortley Village is not within an area affected by flooding.

The Environment Agency flood map shown below illustrates in dark blue the line of the River Don, which, at its closest point, is approximately 1.2 km to the south west of the village centre within the valley, some 70m below the average ground level within the centre of the village. Areas of land susceptible to flooding are shown by light blue colouration. The village and its surroundings are not at risk from flooding. There are no other water courses local to the village that are illustrated on the EA plans which are likely to cause any additional risk of flooding.

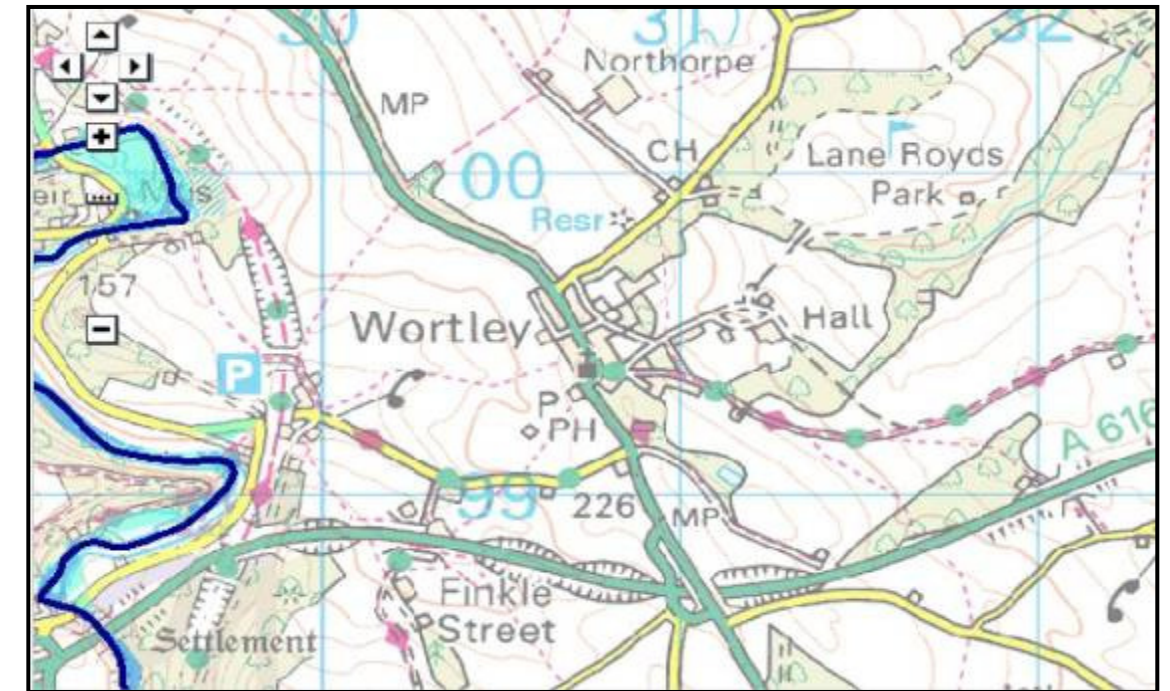


Fig 3. Environment Agency indicative flood zone map for the Wortley Area

Surface water from proposed development should be treated with due regard to SUDS, therefore reducing the possibility of new development contributing to flooding elsewhere.

### 2.6.2 Existing Sewers

Foul and surface water drainage within the village flow out of the village to the north east past Wortley Hall and to the south west, with the A629 Halifax/Sheffield Road forming the separation of the two systems as shown on Dwg P25 Rev A in Appendix 2. Sewers to the east flow to beyond Wortley Hall and Garden Cottage before heading north to a Sewage Treatment Works located 300m north of Wortley Hall in woodland between Wortley Park and the Golf Course. All sewers to the west collect to a second Sewage Treatment Works approximately 230m to the south west of St Leonard's Church just at the north corner of the sports ground. Verbal responses from Yorkshire Water indicate that these installations are actually pumping stations and not sewage treatment works.

Foul drainage from development sites will connect directly to the existing sewer network by gravity. Site 1 adjacent The Flats may require a package pumping installation to allow foul discharge to connect into the existing foul sewer crossing The Flats some 120m to the

north west of the site. Sites 8, 10 and 11 will require the installation of a new sewer, the approximate position of which is identified on Dwg No P25 Rev A within Appendix 2.

There are no separate surface water sewers indicated on the Yorkshire Water Sewer Records maps, but the sewers are combined and provide both foul and surface water drainage to the majority of the historic buildings within the village.

Drainage of surface water from new development will need to be considered at detailed stage on a site by site basis. Consideration must be given to the hierarchy outlined in the Building Regulations Approved Document H3 which states that soakaways and infiltration systems, together with other forms of sustainable drainage systems (SUDS) are to be adopted where possible in advance of sewer connections or discharge directly to a water course.

The Phase 1 site investigation report undertaken by Eastwood & Partners indicated that "It is likely that the soils underlying the site will be relatively impermeable and therefore soakaways are unlikely to be suitable for surface water drainage within any of the proposed developments. However, sandstone is expected below any clayey materials across most of the village, which may be more permeable. Infiltration tests would be required to confirm the suitability of soakaway drains".

The development of sites will be subject to detailed drainage design, the principles of which should ensure that no additional discharge of surface water drainage is made into the combined sewer network without mitigation, and by first considering the principles of SUDS. Individual sites will be subject to percolation tests in conjunction with the use of permeable paving materials allowing natural drainage where possible. Where positive drainage is necessary and a connection to existing sewers may be unavoidable, the approval of the Local Authority and Yorkshire Water would be necessary and flow attenuation may be required.

## **2.7 Access**

An initial highways assessment has been prepared by PAH Highway Consultants. Their report looks at the existing highway network within the village and proposes a number of improvements. The consultants' report has been used to inform and guide the outline design proposals.

A copy of the highway consultants' report is attached with the Planning Application.

## **2.8 Ecology**

A protected fauna survey was undertaken by Whitcher Wildlife Ltd in September 2010 which covered a number of the sites involved. The consultants' report looks at the likely impact of future development on existing trees, protected species and bio-diversity enhancement. It was produced in advance of the preparation of further design proposals and therefore is useful in identifying important elements in relation to various development sites, but the descriptions of new individual sites to be developed are no longer relevant.

Discussions were held between the applicant, Local Authority Planning and Natural England which has resulted in the preparation of individual bat surveys for a number of sites which involve alterations, conversion or demolition of existing buildings. The work was carried out by Eric Bennett Consultancy in March 2011 and inspections of sites 2, 4, 7, 10, 11 and 12 were completed. A copy of the report of the bat survey is included as part of the application documents.

Reference is made to the surveys within the site specific design and access statements in Section 6.0 of this report. The report concludes that no activity was identified and a bat roost was not identified in any of the buildings. A further dusk survey is recommended in respect of sites 4 and 12 to positively confirm the findings of the initial survey.

## **2.9 Trees**

Trees within the village have been the subject of an initial inspection by James Royston, arboricultural consultant. It is proposed that, wherever possible, existing trees should be retained, maintained as necessary and supplemented with new tree planting where appropriate. Trees are very much a feature of the landscape surrounding Wortley Village and the "master plan" proposals highlight where new planting with either individual specimen trees, formal avenues or blocks of woodland could be added to enhance the Conservation Area or the setting of the village within the surrounding Green Belt.

Drawing No 21/70 P22 Rev A in Appendix 2 illustrates proposals for possible future woodland planting, formal avenues of trees and individual specimen trees.

All individual development sites highlighted by the Planning Application have been the subject of a further tree survey. Wherever possible, development proposals allow for the protection of existing trees and removal is only proposed in isolated cases where it can be clearly demonstrated that the individual tree is diseased, a danger to the public, is undermining the foundations of adjoining buildings, or where the loss can be justified or mitigated by replacement planting.

A copy of the consultant's tree survey, arboricultural implication assessment and method statement are attached with the application. A summary of the details in respect of individual sites is provided within the text of the site-specific details.

## **2.10 Archaeology**

An initial heritage statement has been undertaken by Chris Scurfield of CS Archaeology. The report has considered all potential development sites within the village and has highlighted that archaeological interests are unlikely to be affected by the proposals, but that more detailed desk-based assessments are required. A copy of the consultant's report is provided on the following page.

Drawing No 21/70 P21 illustrates the village Conservation Area and Listed buildings.

## **CS Archaeology - Wortley Village Heritage Statement (July 2010)**

*Wortley is a nucleated rural settlement, characterised by a cluster of cottages set around St Leonard's Church. The main road from Sheffield to Huddersfield (A629) detours around the church via two 90° bends. The village lies between amalgamated fields and Wortley Hall's historic deer park.*

*Settlement at Wortley extends into at least the Anglo-Saxon period. At the time of the Domesday Survey of 1086, it was an established manor. The manor was recorded, as Wirtleie and is believed to have meant a clearing used for growing vegetables.*

*The village is positioned on the top of a ridge/escarpment formed by the River Don to the east, and this forms a natural north-south routeway, probably from the prehistoric period.*

*During the Middle Ages, Wortley was one of the region's principal settlements. It held a Sunday market which had been granted by the King in 1250, and was on a par with Penistone, Sheffield and Barnsley. The settlement was located near to the Sheffield to Halifax road where the saltway from Cheshire to Rotherham intersected.*

*In 1252, the Wortley family were granted free warren by the King. The first recorded Wortley was Alan who, in the early twelfth century, was father to the first of a series of Nicholas de Wortleys. They erected a chapel-of-ease and created a hunting chase on Wharnccliffe to the south of the present village. A deer park was created by Thomas Wortley during the fifteenth century. Thomas Wortley held high office under successive kings and was put in charge of the North Yorkshire castles of Richmond and Middleham. During the fourteenth century, the Wortley family moved residence to Hemsworth (S Yorks) and Hardwick (Derbyshire) but, by the end of the fourteenth century, Wortley became the family's chief residence. A southern extension to the deer park across Wharnccliffe Crags led to violent opposition and the ballad of the Dragon of Wantley. The deer park was still a landscape feature during the sixteenth century.*

*During the eighteenth century, the principal road through the village was formalised by the Halifax and Sheffield Turnpike Trust. On the Wortley tithe map of 1840, the road was labelled the "Old Turnpike" and represents the first detailed plan of the village. The 1840 plan features the two sharp bends around the church, a feature still evident today. In the plan, houses are depicted scattered around the church and arrayed along either side of the road. However, by 1850, a certain degree of rationalisation had occurred with apparently reduced numbers of houses.*

*Some of the village houses and cottages date to at least the eighteenth century and form an eclectic mix of traditional and modern constructions with correspondingly varied roofs. Most houses date from the mid- to late-nineteenth century. Three eighteenth century buildings are designated heritage assets (Grade II Listed buildings): Top Lodge, Wortley Arms and Ivy Cottage and enjoy statutory protection. The village also features two designated assets; these are the crossbase just south of the church and Wortley Hall's gate piers.*

*Areas of proposed development are positioned around the periphery of the village's historic core, and most areas are outside Wortley's Conservation Area. The allotment garden development lies within Wortley's Conservation Area and is potentially archaeologically sensitive as it lies in the vicinity of the church, and could straddle the alignment of the potential historic and mediaeval road as well as unknown archaeological assets.*

## **2.11 Geo-technical Report**

A Phase 1 geo-technical report has been prepared by Eastwood & Partners. The report is based upon an examination of historical maps together with geological and mining records. The consultants have advised that it is unlikely that there is any contamination and that reinforced traditional strip foundations will be suitable for new buildings. Whilst Radon precautions are not required, gas monitoring will be.

A copy of the consultants' report is provided with the application in electronic format.

### 3.0 Planning Policy

During the preparation of the “master plan” proposals for Wortley Village and the attached Planning Application, consideration has been given to both Local and National planning policy and, in particular, Barnsley Metropolitan Borough Council’s current Unitary Development Plan (UDP) and the emerging Local Development Framework (LDF).

The Unitary Development Plan proposes new build residential development over an area of approximately 3.25Ha at the south east of the village. See drawing 21/70 P21 in Appendix B. Housing in this location would have a major impact upon the character of the landscape surrounding Wortley and, in particular, the historic deer park.

The “master plan” accepts the guidance provided by the emerging LDF and proposes that new housing should be relocated to smaller individual sites throughout the village, where it will have significantly less impact upon openness and character.

Wortley Village is surrounded by countryside within the Green Belt and an area of outstanding landscape interest. Most of the development, highlighted by the attached Planning Application, is located outside the Green Belt and within the Wortley Village boundaries. Where development is proposed within the Green Belt, as in the case of limited new build housing adjoining The Avenue, The Flats and to the north of Beech Villa, it is justified on the grounds that it represents an exceptional circumstance and that it will not have a detrimental effect upon the openness and/or character of the Green Belt. The limited development of sites that lie within the Green Belt should be seen as a part of the overall “master plan” proposals and not in isolation. They are required to provide essential funding to permit the improvements to the infrastructure within the village.

The redevelopment of an estate village, as is proposed at Wortley, is, indeed, an exceptional circumstance and warrants a bold, broad-brush approach which considers how the village might be developed in such a way that new build proposals enhance the Conservation Area, do not impact upon Listed buildings, do not require the removal or cause damage to important trees and do not have a negative impact upon openness and/or character.

A substantial part of Wortley Village is enclosed within a Conservation Area. There are a number of important Listed buildings and Wortley represents a relatively rare managed estate village built to support the domestic, agricultural and industrial interests of the Wortley family. New build development should be designed to enhance the setting of the Conservation Area and existing Listed buildings whilst protecting existing public amenity. All new development should be designed to reflect local vernacular detail and materials and detailed design proposals should refer to the Wortley Village Design Guide which has been prepared by Chris Carr Associates as a guide to future development and is submitted in support of the Planning Application.

Whilst in a rural location, Wortley Village should be regarded as sustainable. The village is well located, in close proximity to major trunk roads, benefits from a regular bus service and supports a village pub, club, hotel, wedding and conference centre venue, post office and shops. St Leonard’s C of E Church stands at the centre of the village and local transport links are available through the village to the adjacent towns of Thurgoland, Penistone, Huddersfield and Barnsley to the north and west, High Green, Chapeltown,

Stocksbridge and Sheffield to the south. The Planning Application highlights how local employment could be improved by the construction of new workspace units and improvements to the existing village centre and tourist facilities.

Villages like Wortley should not be seen as an historic museum but as a living community which needs to adjust and adapt to changing circumstances, thereby delivering improved property, amenity, employment and leisure facilities to the inhabitants with the constraints of an historic environment.

### 3.1 **Development in the Green Belt**

PPG2: Green Belts, advises that:

- the purpose of including land in the Green Belt is to check unrestricted urban sprawl
- to prevent neighbouring towns from merging into one another
- to assist in safeguarding the countryside from encroachment
- to preserve the setting and special character of historic towns and
- to assist in urban regeneration, by encouraging the recycling of derelict and other urban land.

The primary purpose of the Green Belt is to protect openness regardless of the quality of the land within the Green Belt.

Where existing villages are surrounded by Green Belt countryside but inset, limited development, including infilling and/or expansion, is permitted subject to that development having no detrimental impact upon openness and character.

There is a presumption against inappropriate development in the Green Belt. Inappropriate development should not be approved, except in very special circumstances. Inappropriate development is, by definition, harmful to the Green Belt. It is for the applicant to show why permission should be granted.

The construction of new buildings inside the Green Belt is inappropriate unless it is for the following purpose.

- Limited infilling in existing villages, limited extension, alteration or replacement of existing dwellings, the provision for the occupation of people employed in agriculture or forestry or for essential outdoor sports and/or recreational facilities.

The re-use of existing buildings inside the Green Belt is not inappropriate development, provided that it does not have a materially greater impact than the present use, there are strict controls with regard to any proposed extensions, the existing buildings are of a permanent and substantial construction and the form and bulk and general design of the buildings are in keeping with their surroundings.

The proposed redevelopment of Wortley Village as described in this design and access statement is aimed at restoring, enhancing and protecting a major heritage asset in the long-term. Where parts of development sites Nos 1, 8, 9, 11 and 12 infringe the Green

Belt, they do not have any detrimental impact upon openness and/or character and involve either infilling, the conversion of existing buildings or the replacement of existing structures with new build development which will reduce the overall footprint, scale and mass.

The combined proposals for Wortley Village are an unusual and exceptional circumstance.

### **3.2 Sustainability**

PPS1 provides guidance on delivering sustainable development.

PPS7 considers sustainable development in rural areas.

Sustainability is far more than its proximity to local services and avoiding the use of the motor car. It is building sustainable development, about maintaining and enhancing a sense of place, about protecting, enhancing and re-using existing buildings and, in particular, heritage assets (PPG5), and about helping to ensure that existing rural communities are strengthened for the future. Existing housing stock and redundant buildings should be re-used and building standards should seek to achieve Code 3 or better under the Guide for Sustainable Homes. The proposals encompassed within this design and access statement meet these objectives.

### **4.0 Involvement and Evaluation**

The redevelopment proposals for Wortley Village have been the subject of extensive informal negotiation with the Local Planning Department, the Parish Council and, via a public meeting, with the inhabitants of the village.

Prior to preparing draft design proposals in support of the Planning Application, the village has been the subject of a number of surveys including a walk-over photographic survey, geo-technical report, measured surveys, an initial tree report, ecological appraisal, highways assessment and drainage study. These reports, together with feedback from consultees, have been used to inform the design process.

Design proposals for the development of sites around Wortley Village were presented to the Barnsley Urban Renaissance Design Advisory Panel on 15 March 2011 and the scheme was well received. The Panel made a number of specific recommendations as follows.

- *"Incorporating a sustainability strategy and ethos into the design guide for the village.*
- *Locking the potential for the cricket field by getting the paddock formally designated as urban green space.*
- *Ensuring that all the detailed development of individual proposals remain of their time but fully sensitive to their context to avoid any criticism of pastiche.*
- *The timing of some aspects of the development which could be critical such as the implementation of the one way vehicular traffic route to the rear of the Wortley Arms and the WMC.*

*The Panel found that the proposals in the development strategy were thoughtful and restrained, that they work well and are capable of developing the settlement organically and that they are an ethical response to the village as a living organism of place. The Wortley village strategy is commended by the Barnsley Design Review Panel."*

The design proposals and supporting information take account of the recommendations

## **5.0 The Proposals**

### **5.1 Description**

#### 5.1.1 Background

The “master plan” proposals for Wortley Village have looked closely at the infrastructure of the village, considers where there is need, how that need might be met and proposes solutions for sites throughout the village where new build housing, sheltered cottages, offices and workshops, allotments, car parking, future commercial development and general improvements to highways, footpaths and the village landscaping would be appropriate.

The “master plan” is informed by background survey, detailed discussions with the owners, Planning Authority, Parish Council and the village and takes account of the newly prepared Village Design Guide which seeks to establish standards in respect of design, materials and finishes.

A substantial part of Wortley Village is still owned by the Wharnccliffe Estate, and the family is anxious to ensure that it remains an attractive and vibrant place to live and work and that it retains and improves upon existing commercial, employment, retail and tourist facilities. Drawing No 21/70 P20 Rev B in Appendix B illustrates the different uses of buildings and land which form part of the Estate’s ownership within the village centre.

Wortley stands within open Green Belt countryside to the west of Barnsley and retains a distinct character unique to rural estate villages. This design and access statement and the Village Design Guide, which have been used to inform the redevelopment proposals, provide clear guidance with regard to the character of the existing settlement which is centred around St Leonard’s Church and the village Conservation Area.

Drawing No 21/70 P24 at Appendix 2 illustrates how Wortley Village has developed in the past. The village core, constructed around St Leonard’s Church and the Wortley Arms Hotel, and coloured green on the plan, includes houses, terraced cottages, previous farm buildings, workshops, the village smithy, the school, a number of shops and the Old Vicarage, all of which were constructed to meet the needs of the Estate and to provide accommodation, schooling, employment and leisure facilities for their employees. More recently, new build development to the north and south of the village, including both private and Local Authority housing, has been constructed around Halifax Road and The Flats.

#### 5.1.2 Ownership

Drawing No 21/70 P20 Rev B at Appendix 2 illustrates the applicants’ ownership within the village and its immediate surrounds. It can be clearly seen from the plan that the Wharnccliffe Estate continues to own the majority of properties within the Conservation Area and, with the exception of Wortley Hall, its formal gardens and immediate policies, all farmland and woodland surrounding the village.

#### 5.1.3 Residential

The Estate owns a total of eighty residential houses and cottages, of which a substantial number are within the village of Wortley. These include large detached properties, the original gate lodges to the park, and a mix of two, three and four bedroomed terraced property. The majority of tenants are long-standing, and there is relatively low turn-over of rented property. There is no purpose-built retirement or disabled accommodation and the building stock requires constant refurbishment, modernisation and improvement.

The applicants believe that there is an opportunity to construct a mix of new housing within the village which will encourage new residents, provide specialist almshouses and improve flexibility with regard to the existing houses and cottages by allowing relocation, including down-sizing, which will allow under-occupied, larger properties within the village to be made available to families.

#### 5.1.4 Commercial

Existing commercial property includes Wortley Hall, the Wortley Arms Hotel, Restaurant and Public House, the village club, the post office, tea room, flower shop and the most recent addition, the new Wortley Village Farm Shop. These businesses form a vibrant hub at the centre of the village and the “master plan” proposals seek to improve the facilities available to residents and visitors. Specific works are described which include reorganisation of existing car parking, the provision of new public and private open space, the reorganisation of vehicular access points and the provision of a new roadway, together with the refurbishment and extension of existing property.

Immediately outside the Conservation Area and to the north of Home Farm Court, there are a number of single storey workshops including the village garage and old smithy. The majority of these buildings are unused and some have become dilapidated. They no longer provide the type of space that is required and the “master plan” proposes redevelopment of this site for use together with the development of a small range of purpose-built workshops and offices on the site of redundant agricultural buildings to the north east providing an alternative location for employment opportunities.

#### 5.1.5 Allotments

Existing allotment gardens to the south of the Wortley Arms Public House have been under-used for many years but are currently enjoying a resurgence of interest. The site of the allotment gardens was the subject of a Detailed Planning Permission and Section 106 legal agreement for residential development. Ref B/03/0587/WO Planning Permission allowed for the relocation of allotments to a smaller site immediately to the north of Beech Villa and adjoining the existing village workshops. The previous Planning Approval to develop proposed the loss of 0.45Ha of allotment gardens within the centre of the village. to be replaced by 0.22Ha elsewhere in the village. This would have created a loss of 0.23Ha of allotment space. The current proposals indicate a loss of 0.3Ha and replacement allotments having an area of 0.15Ha equating to an overall reduction of 0.15Ha, 0.8Ha less than the previously approved scheme. The current plans also illustrate the potential for further allotment gardens (0.12Ha) that could be made available, subject to demand.

The proposal to develop the allotment gardens was prepared prior to the preparation of the village "master plan" and a more detailed consideration of the village has highlighted the need for a more flexible approach including the need to provide car parking close to the commercial centre. The current Planning Application proposes that the previous permission and Section 106 agreement should be superseded by a Planning Permission linked to a new Section 106 agreement covering the whole of the village.

### 5.1.6 Highways

The Estate continues to own roads, tracks and parking courtyards throughout the village. These include The Avenue, The Flats, School Lane, Liberty Lane and Reading Room Lane. The "master plan" proposes a number of improvements, including the provision of a new access roadway to the commercial centre, the pedestrianisation of Reading Room Lane, the provision of new village car parking and the closure or improvement of existing access points to Halifax Road. Further information is provided within the Transport Assessment prepared by PAH Highway Consultants, a copy of which is provided as part of the application documents.

### 5.1.7 Development Sites

The assessment of future need in respect of residential, commercial, sports and leisure, agricultural, highways and landscape has highlighted a number of sites throughout the village where specific development is proposed. Fig 4 below illustrates these sites, Nos 1 to 17, and categorised according to use.

Each of the sites has been the subject of individual survey, including a detailed assessment of existing townscape and landscape and including a tree survey. Each form an integral part of the comprehensive Outline Planning Application and are individually described according to use.

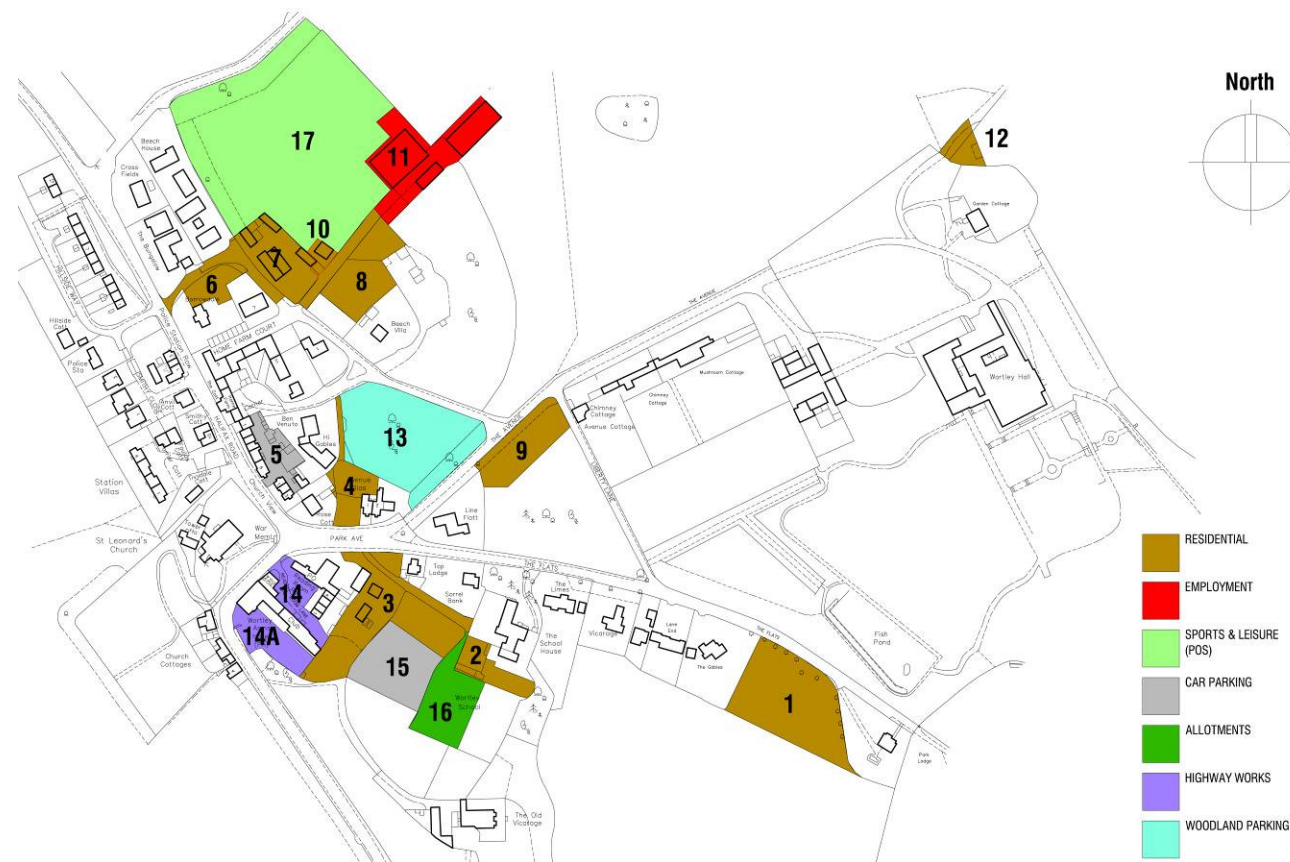


Fig 4. Selected Development Sites (Refer to P25 in Appendix 2 for larger scale copy of plan)

### 5.1.8 Schedule of Development Sites and Phasing

Site	Location	Area	Existing Use	Proposed Use	App Type
1	Land adjacent to The Flats	0.38Ha	Agricultural	<b>Residential</b> - erection of two dwellings	Outline
2	Land adjacent School House	0.08Ha	Garden land	<b>Residential</b> - erection of one dwelling	Outline
2a	Garages adjacent School House	0.04Ha	Residential garages and parking	<b>Residential</b> - re-build garages	Full
3	Village centre total	0.76Ha	Estate Office, allotment gardens and Club car park	<b>Mixed use</b> - residential dev village centre car park and allotment gardens	Outline
15	Car parking	0.20Ha			
16	Allotments	0.17Ha			
4	Land adjacent Avenue Villas	0.11Ha	Garden land	<b>Residential</b> - erection of one dwelling	Outline
5	Land to rear of Halifax Road and Church View Cottages	0.09Ha	Rear yards and outbuildings - informal parking	<b>Car parking</b> - demolition of some outbuildings and improvements to parking area	Full (car park)
6	Land adjacent Borrowdale House	0.08Ha	Garden to Borrowdale House	<b>Residential</b> - proposed new dwelling and parking space for Borrowdale House	Outline
7	Existing vehicle workshop and builder's store	0.2Ha	Disused outbuildings and vehicle workshops	<b>Residential</b> - erection of three dwellings	Outline
8	Paddock land adjacent to Beech Villas	0.23Ha	Paddock	<b>Residential</b> - erection of three dwellings	Outline
9	The Avenue, Wortley Park Drive	0.17Ha	Vacant land	<b>Residential</b> - erection of 6 No single storey terraced almshouses for elderly people	Outline
10	Outbuilding adjacent vehicle workshops	0.05Ha	Redundant outbuilding	<b>Residential</b> - erection of estate worker's cottage	Outline
11	Home Farm buildings	0.34Ha	Agricultural buildings	<b>Employment</b> - offices and workshops	Outline
12	Land adjacent to The Avenue	0.05Ha	Redundant animal shelter	<b>Residential</b> - conversion to holiday cottage	Full
13	Existing woodland adjacent The Avenue	0.47Ha	Woodland	<b>Car parking</b> - woodland car park	Change of use (car park)
14	Reading Room La	0.09Ha	Public House, club, roadways and parking	<b>Highway improvements</b> - improvements to vehicle access, parking and pedestrian facilities	Full
14a	PH car park	0.11Ha			
15	See above				
16	See above				
17	Home Farm land adjacent Hermit Hill	1.46Ha	Paddock	<b>Sports and Leisure</b> - reserved subject to local requirements	Change of use

Fig 5.

The table above provides a list of proposed development sites confirming area, location and use. The following pages provide more detailed information specific to individual sites.

The following phasing plan illustrates a draft phasing proposed for redevelopment. It allows for sales of development land to help fund following non-profitable uses and provides a draft timescale. It is issued for guidance only.

### **Phasing Plan**

- |         |     |   |
|---------|-----|---|
| 2011    | 1.  | Submit "master plan" proposals to Planning May 2011.                          |
| 2012    | 2.  | Agree detailed planning and sale of residential plots off The Flats (Site 1). |
| 2012    | 3.  | Prepare detailed design proposals for village centre (Sites 3, 4, 15 and 10). |
| 2013    | 4.  | Develop village centre (Sites 3, 14, 15 and 16).                              |
| 2013    | 5.  | Prepare detailed design proposals for the almshouses (Site 9).                |
| 2014    | 6.  | Agree detailed planning and sale of residential plots (Site 8).               |
| 2014    | 7.  | Prepare detailed design proposals for new offices/work space (Site 11).       |
| 2014/15 | 8.  | Commence development of almshouse cottages (Site 9).                          |
| 2015    | 9.  | Agree detailed planning and sale of residential plots (Site 7).               |
| 2015/16 | 10. | Commence development of new offices/workspace (Site 11).                      |

Note: Detailed proposals to be submitted for Sites 4, 5 and 6 between 2012-2014.

## **6.0 SITE SPECIFIC INFORMATION**

## Site 1 - Residential

This site, covering an area of approximately 0.38Ha, lies adjacent The Flats, close to the south east boundary of the village and between existing residential property at The Gables and Park Lodge. The site is within the Green Belt and subject to a farm tenancy which covers the adjoining parkland. The site is bounded on its north and easterly boundaries by existing mature trees and falls downwards in a north easterly direction. A topographical survey at 1:500 scale is included at Fig 1.5.

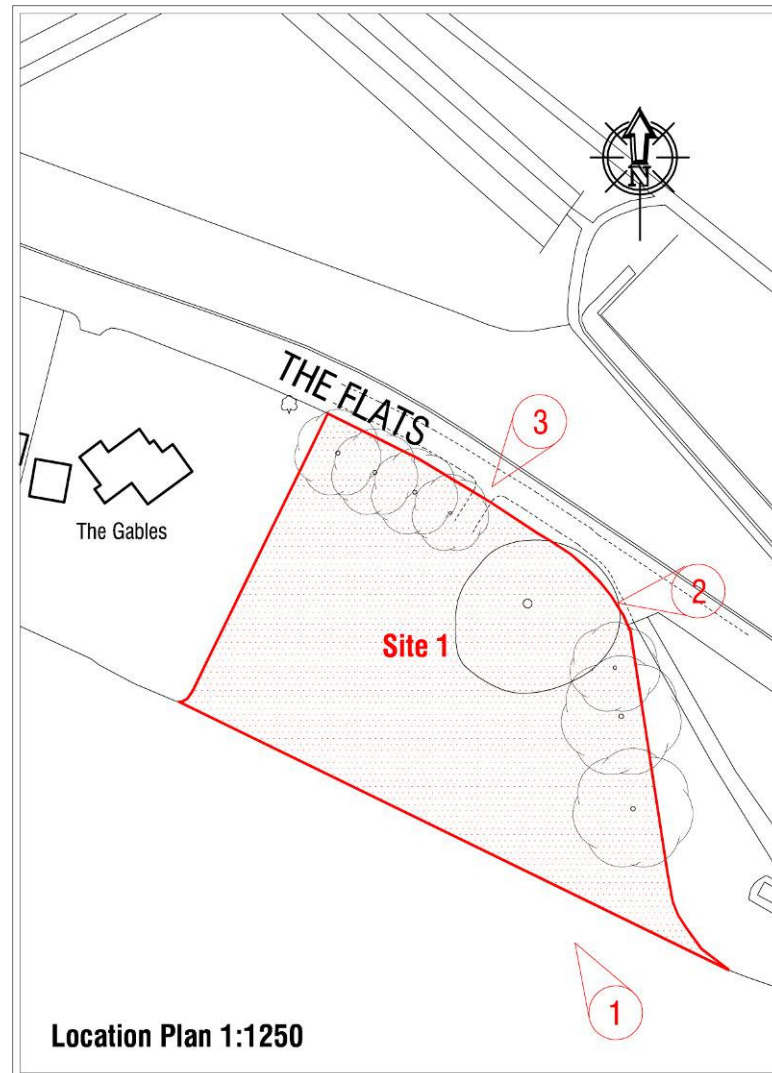


Fig 1.1



Fig 1.2 View 1



Fig 1.3 View 2



Fig 1.4 View 3

## Proposals

Fig 1.6, the proposed plans Ref No P1, illustrate how two large detached stone-built houses could be accommodated without impacting on existing trees and by excavating into the natural embankment, building to appropriate detail and in natural materials and providing enclosure with carefully planned landscaping, the development would not have a detrimental impact upon the openness and character of the Green Belt, would not detract from the privacy and amenity of adjoining property and, as a part of the wider redevelopment, the proposals for Wortley can be demonstrated to be an exceptional case justifying a departure from the Council's Green Belt policy.

The redevelopment of this site should not be seen as an isolated proposal but as a part of an overall village plan which requires an element of funding development capable of financing other elements of the overall scheme.

## Use

The site is currently agricultural land. It is allocated within the Barnsley MBC Unitary Development Plan as Green Belt. The proposed use is residential.

## Access

Both vehicular and pedestrian access to the site will be taken from The Flats via an improved driveway in the position of the existing field access gate. The access is located between existing trees and should be constructed using a free-draining gravelled finish over geo-textile ground stabilisation fabric. There should be no excavations within the area of tree root spread.

## Layout and Scale

The new houses are to be positioned on the site so that they are outside both tree canopy and critical tree root spread area; they form a logical extension of the existing residential development fronting The Flats and they do not impact on the privacy/amenity of existing residential property. The two houses should use a common access driveway terminating in separated parking and garage provision.

Dwellings should be a maximum of two storeys in height and the development should illustrate a hierarchy of building form with smaller, single storey garages and link buildings surrounding the houses.

## Appearance and Materials

Houses should be of traditional design with principal elevations facing The Flats and private rear gardens to the south west. The properties should be constructed in natural coursed stone with stone lintels and sills and traditionally detailed timber windows. Roofs, constructed to a minimum pitch of 35°, should be clad in natural stone or slate or an approved artificial alternative.

## Landscaping

Landscaping to the front gardens should be retained as open grassland beneath the canopy of existing trees. Enclosure, where shown, would be with beech hedges. Private gardens at the rear of the properties should be excavated into the slope of the surrounding landscape and should be constructed as a series of terraces with dry stone retaining walls and raised planting beds. All paths and terraces to be built using natural or approved artificial stone flags and gravel paths.

Existing trees dominate the frontage to The Flats. A tree survey and arboricultural implication assessment has been prepared. This suggests that the development will not require tree removal and there should be no change to the amenity value of the trees on or near the site.

## Sustainability

The site lies within the confines of the village and is therefore in a sustainable location. Wortley is well served by public transport and has a good range of shops and other public facilities. The new dwellings are capable of being constructed to achieve a minimum Code 3 for Sustainable Homes, should be insulated to a high standard and could include ground or air source heat pumps and/or photo-voltaic panels.





**Fig 1.6**

**THE WHARNCLIFFE ESTATE**

**WORTLEY VILLAGE DEVELOPMENT PROPOSALS**

**SITE 1 - THE FLATS**



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**SITE PLAN 1:200**

These are two sites located on land adjacent the Old School House. They are referred to as Site 2 and Site 2a.

### **Site 2 – Residential**

This site, located immediately to the south of the Old School House, is partially within the garden of the School House and the adjoining access/parking courtyard and has a total area of 0.08Ha. A topographical survey showing the position of significant features, landscaping, trees and levels is shown in Fig 2.5.

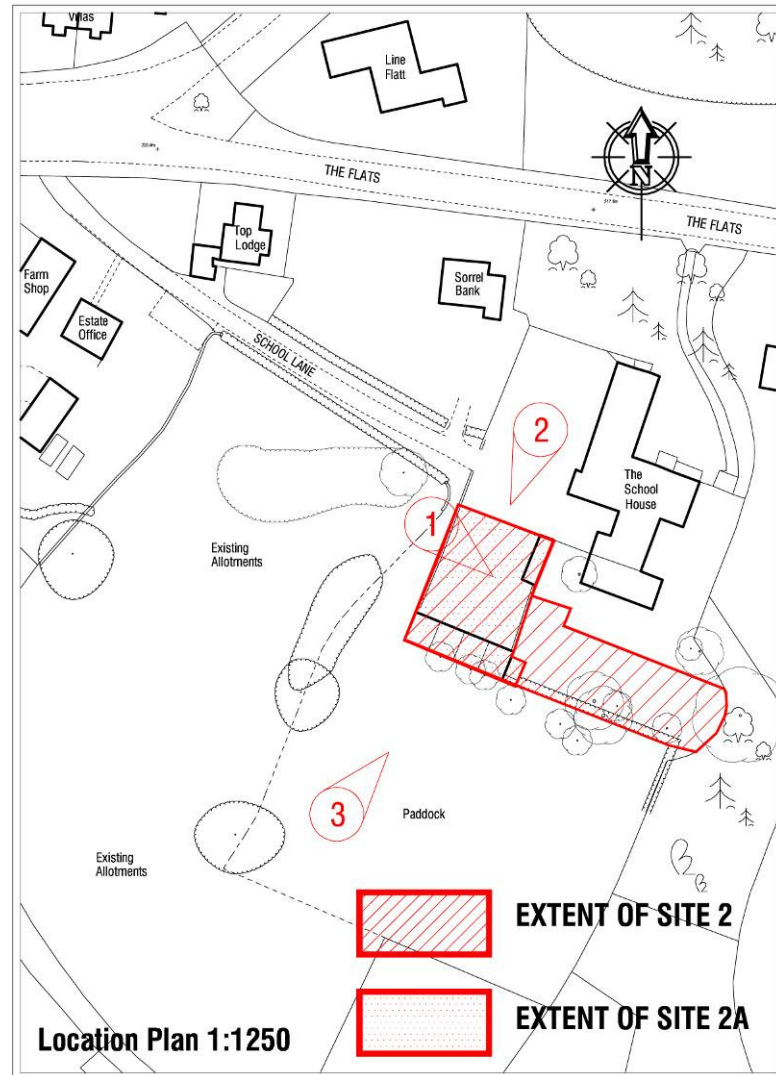


Fig 2.1

### **Proposals**

#### **Site 2 – Residential**

Drawing No P2 Revision A provides details of the new dwelling which is part of the Outline Planning Application. It is proposed to build a detached, three bedroomed cottage of traditional design with a single lean-to garage to the gable wall, facing the common access courtyard and with a private garden to the rear.

#### **Site 2a – Residential**

Drawing Nos S2A and P2A illustrate the existing and proposed open-fronted garaging which forms part of the Full Planning Application. Site 2a has an area of 0.04Ha and lies within the main courtyard space where an

existing single storey outbuilding is to be demolished and replaced with a new single storey, open-fronted garage building providing an additional four car parking spaces for adjoining properties.

**Use** - The existing use of the land is residential, forming part of the garden to the existing converted School House. The Barnsley MBC Unitary Development Plan identifies the site as Housing Policy. The proposed use is residential.

#### **Access**

Access to the new house is to be taken via School Lane which currently serves the School House from the junction with Park Avenue and to the west of Top Lodge. The development of this site is affected by the proposals for a new access road to serve the village centre car park taken from Park Avenue, but the development of the site is dependent upon these alterations.

#### **Layout and Scale**

The new dwelling should be of traditional, two storey cottage proportions with a wide frontage and double pitched roof. The replacement garage building will be single storey, constructed to a similar design as the existing building in terms of height and mass but with a smaller footprint reduced from 86.3m to 74.9m. The existing building has insufficient depth to allow fully covered parking and whilst the new building has a smaller footprint, it is deeper and provides generous fully covered parking for the same number of vehicles as the existing building.

#### **Appearance and Materials**

The proposed dwelling should be constructed in natural coursed stone with exposed stone lintels and sills with a centrally placed front entrance door and traditional casement windows to either side. The roof should be clad with natural stone or blue slate. The re-built garages will be in stone with a blue slate roof as shown on the detailed plans.

#### **Landscaping**

Hard landscaping surrounding the cottage should include dry stone boundary walls with simple vertically boarded access gates, stone or approved artificial stone flagged paths, gravel, and approved setts to the parking area in front of the garage. Private gardens to the rear are to be enclosed with hedges.

#### **Existing Trees**

There is a group of fruit trees (G10) and a silver birch (T9) to the rear, south of the existing garages as identified in the tree survey. These are all shown as Category C trees and it is proposed to remove the fruit trees and retain the silver birch. The arboricultural implication assessment states that the fruit trees are dilapidated and of extremely low value and their removal would have no significant impact.

#### **Protected Species**

The bat survey, prepared by Eric Bennett Consultancy, concluded that there was no evidence to suggest the presence of a bat roost within the building and that no negative impact was predicted in order to implement the works.

It was noted that the building is used by nesting swallows. The works, which involve the reconstruction of open-fronted garages, are designed in such a way that the completed building would remain available for use by swallows. Works should be undertaken outside the bird breeding season, in which case impact will be negligible.

#### **Sustainability**

The site is within the Conservation Area, close to the centre of Wortley Village and is in a sustainable location. New build construction should aim to achieve a minimum level 3 under the Code for Sustainable Homes.



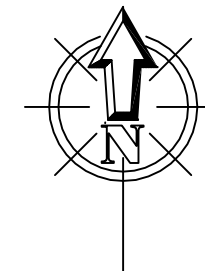
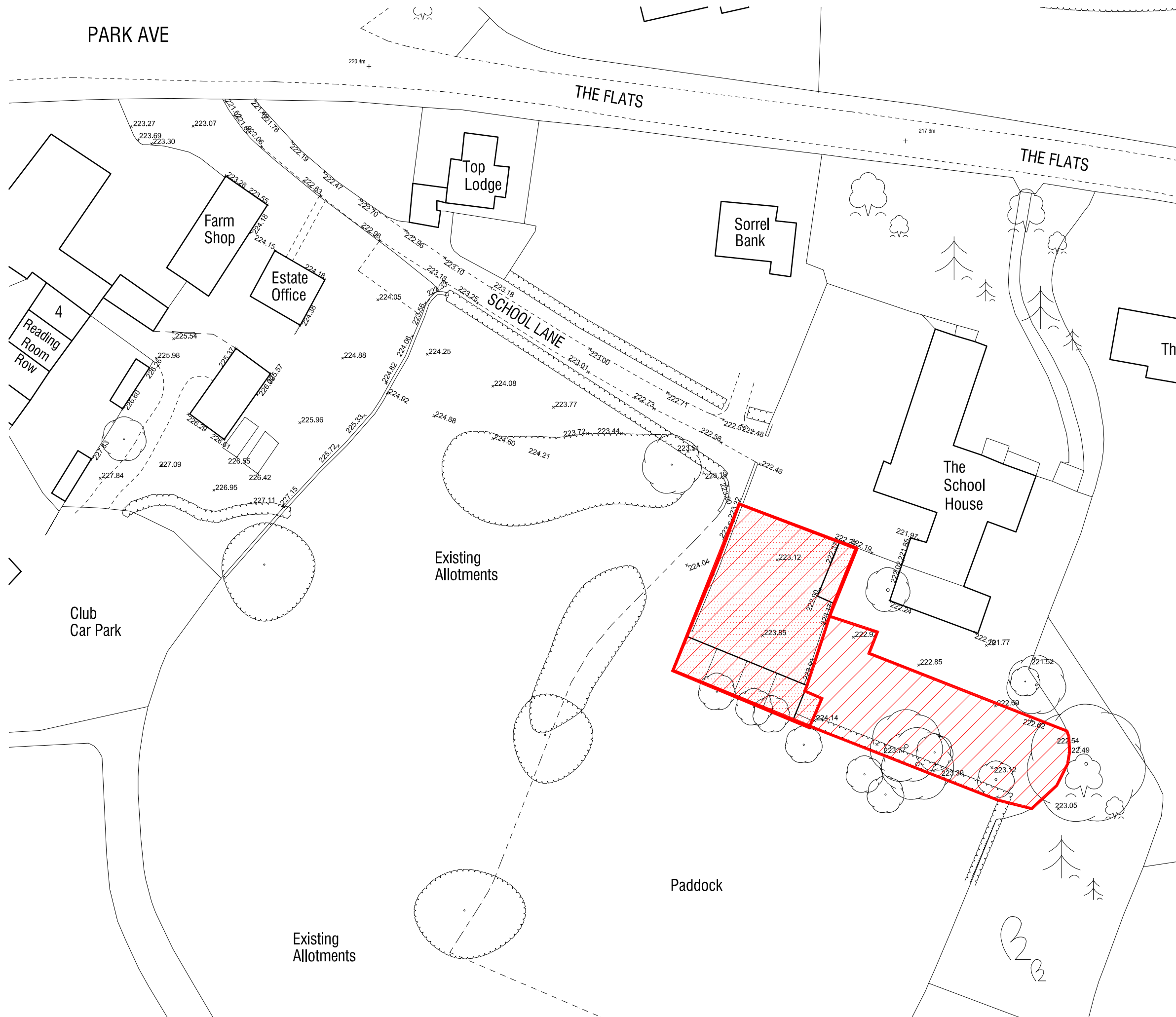
Fig 2.2 View 1





Fig 2.3 View 2



Fig 2.4 View 3



-  EXTENT OF SITE 2
-  EXTENT OF SITE 2A

**Fig 2.5**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITES 2 and 2A  
LAND ADJ THE OLD SCHOOLHOUSE

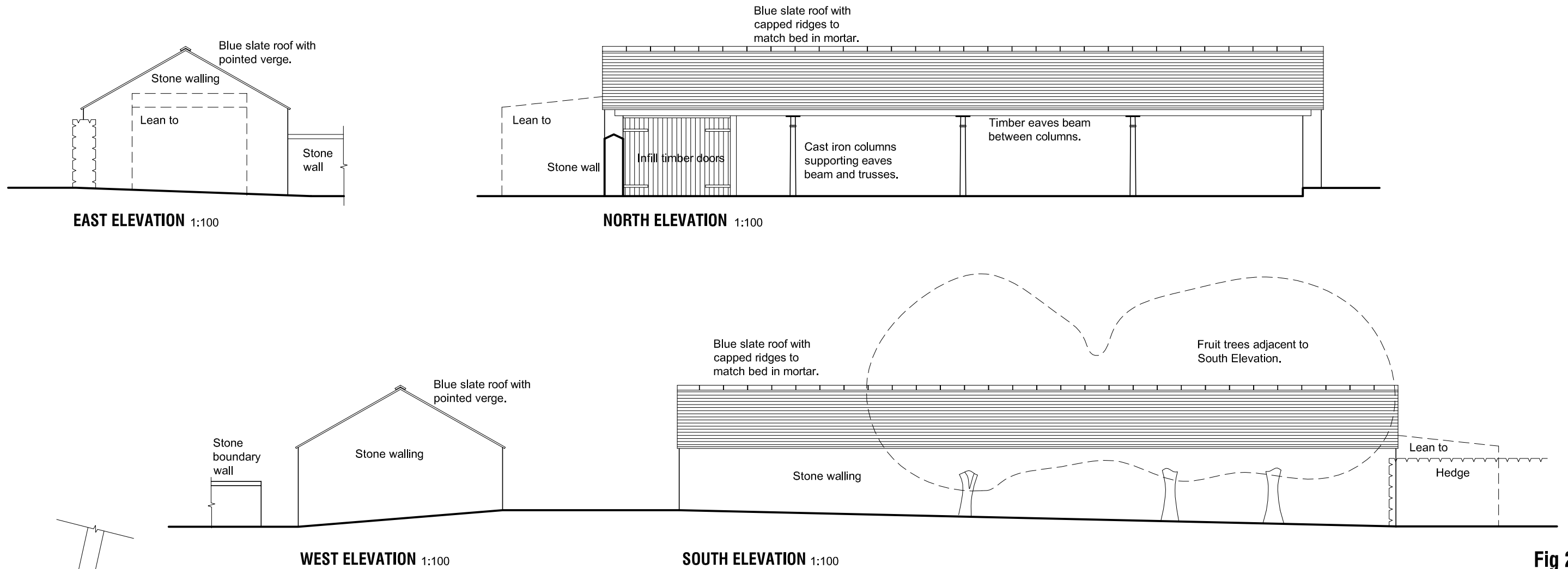


**Chris Carr Associates**  
ARCHITECTS

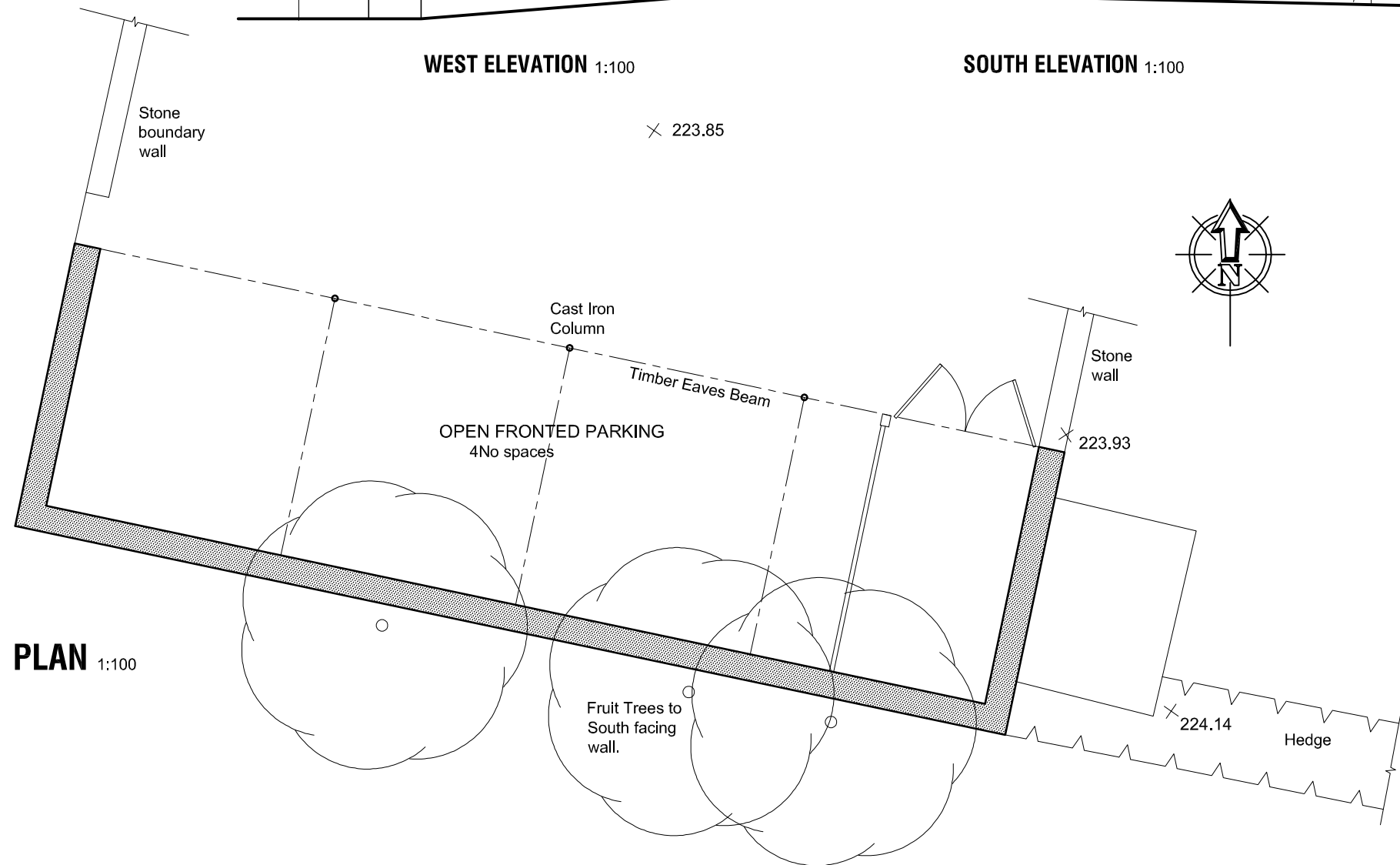
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**Fig 2.6**

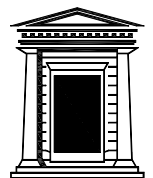


**PLAN** 1:100

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITE 2  
GARAGES ADJACENT THE OLD SCHOOLHOUSE

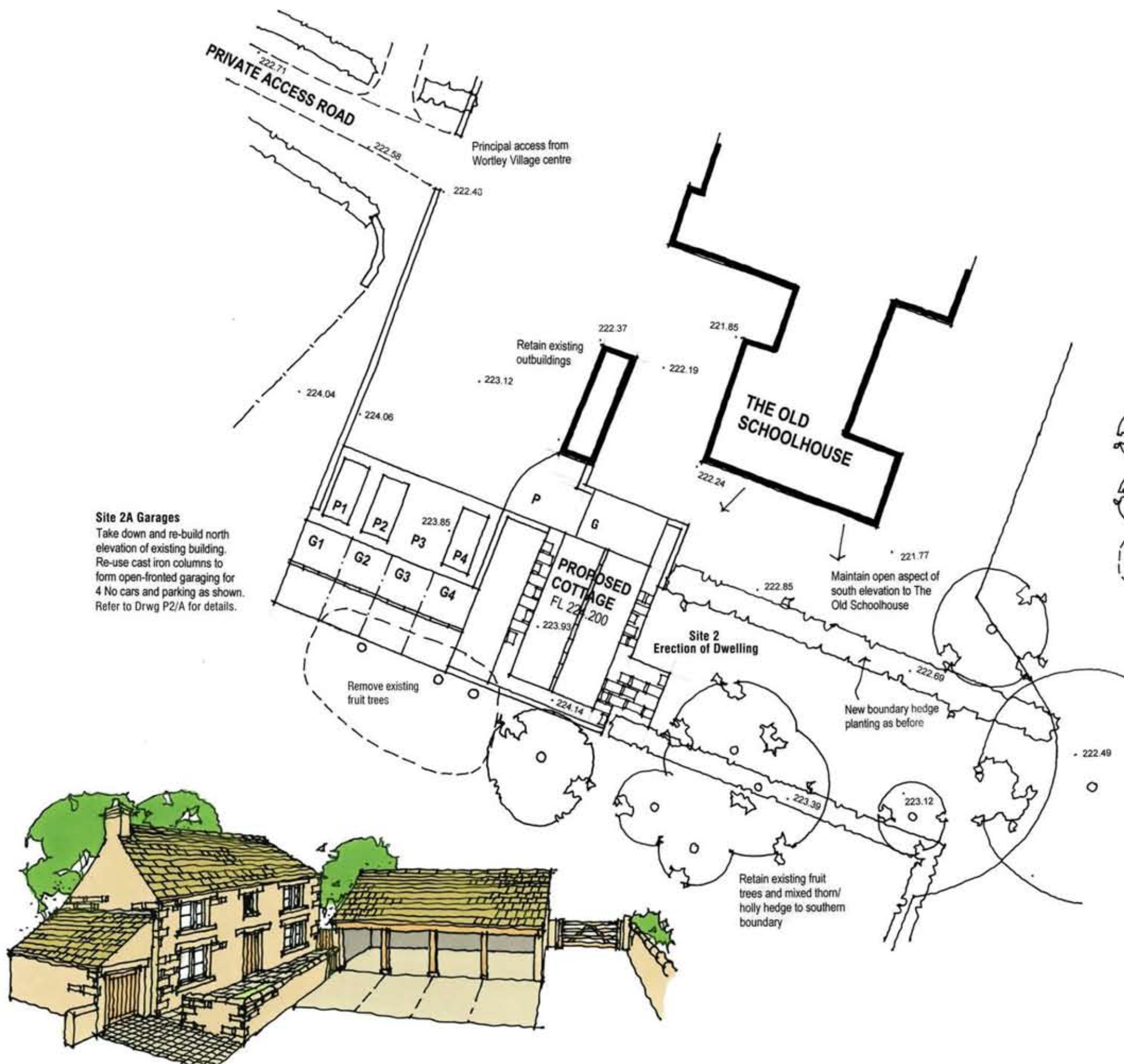
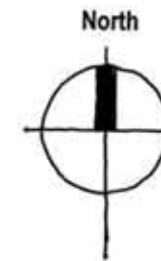


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**Site 2A Garages**  
 Take down and re-build north elevation of existing building. Re-use cast iron columns to form open-fronted garaging for 4 No cars and parking as shown. Refer to Drwg P2/A for details.

- Existing Trees
- Proposed Trees
- Trees to be removed



Fig 2.7

THE WHARNCLIFFE ESTATE  
 WORTLEY VILLAGE DEVELOPMENT PROPOSALS  
 SITE 2 ERECTION OF DWELLING  
 SITE 2A REPLACEMENT OF GARAGE BUILDINGS

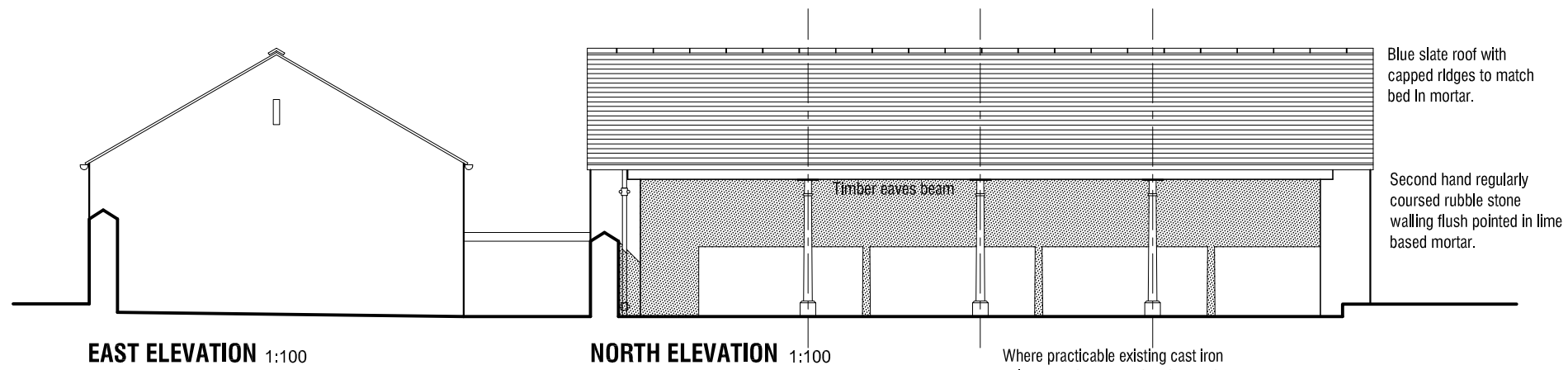


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SITE PLAN 1:200

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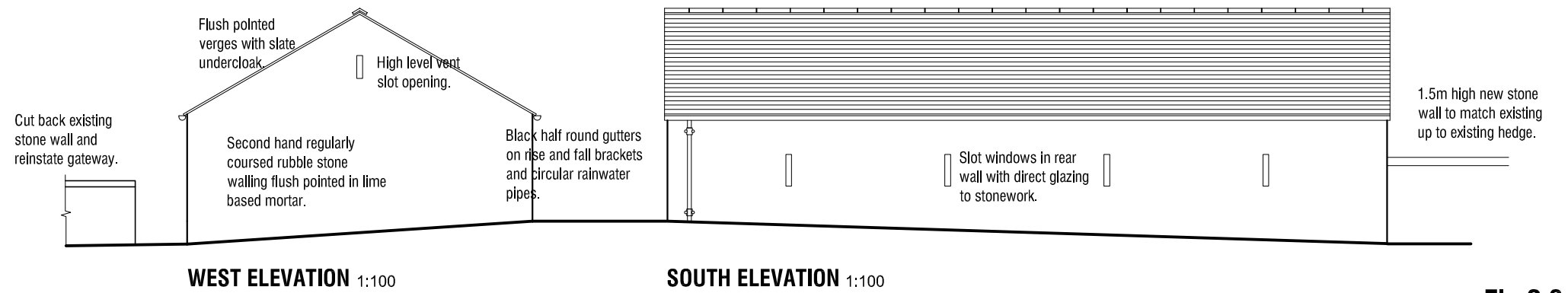
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Blue slate roof with capped ridges to match bed in mortar.

Second hand regularly coursed rubble stone walling flush pointed in lime based mortar.

Where practicable existing cast iron columns to be retained and reused in conjunction with stone bases to support non loadbearing outer timber eaves beam over garages.



Flush pointed verges with slate undercloak.

High level vent slot opening.

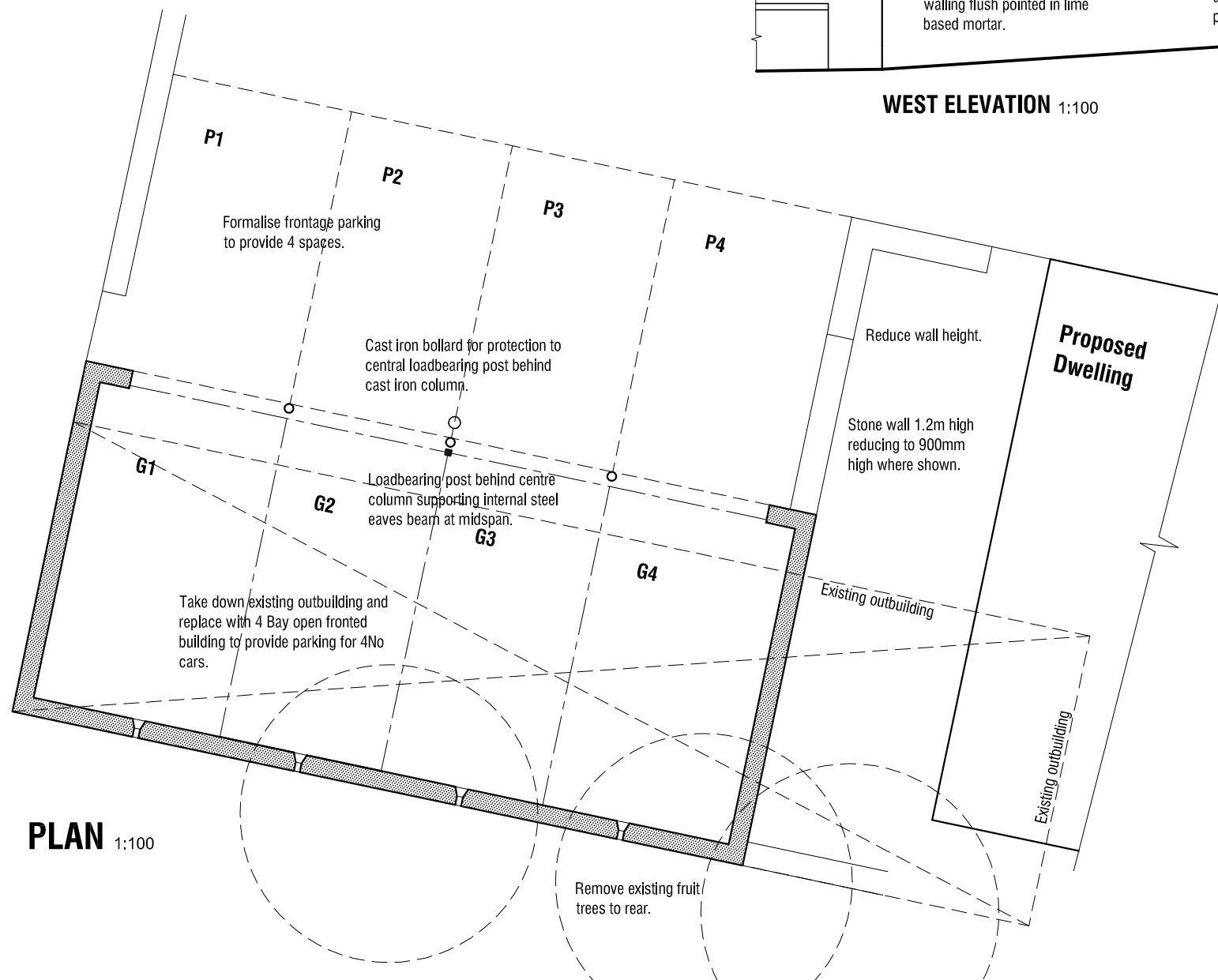
Cut back existing stone wall and reinstate gateway.

Second hand regularly coursed rubble stone walling flush pointed in lime based mortar.

Black half round gutters on rise and fall brackets and circular rainwater pipes.

Slot windows in rear wall with direct glazing to stonework.

1.5m high new stone wall to match existing up to existing hedge.

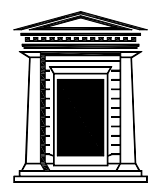


**Fig 2.8**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**PROPOSALS**

SITE 2  
GARAGES ADJACENT THE OLD SCHOOLHOUSE



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### Site 3 - Residential

Site 3 is part of a larger proposal for the village centre incorporating adjacent sites 15 and 16 which are inter-dependent and therefore submitted as a grouped Outline Planning Application. The parking arrangements included within the new village centre car park (Site 15) serve new dwellings in Site 3, and the allotments in Site 16 compensate for allotments lost as part of the Site 3 development.

Sites 3, 15 and 16 include an area of land close to the centre of Wortley Village, partially fronting School Lane and encompassing the area of the existing Estate Office, existing garages, the village allotment gardens and car parking to the rear of the village club. It has a total area of 0.76Ha. A survey drawing is included at Fig 3.5. The developable area for new residential development, excluding the Estate Office, village car park and replacement allotments, amounts to 0.36Ha which is well below the threshold for affordable housing. Site 15, the proposed village car park, has an area of 0.20Ha and Site 16, the proposed allotments, has an area of 0.17Ha.

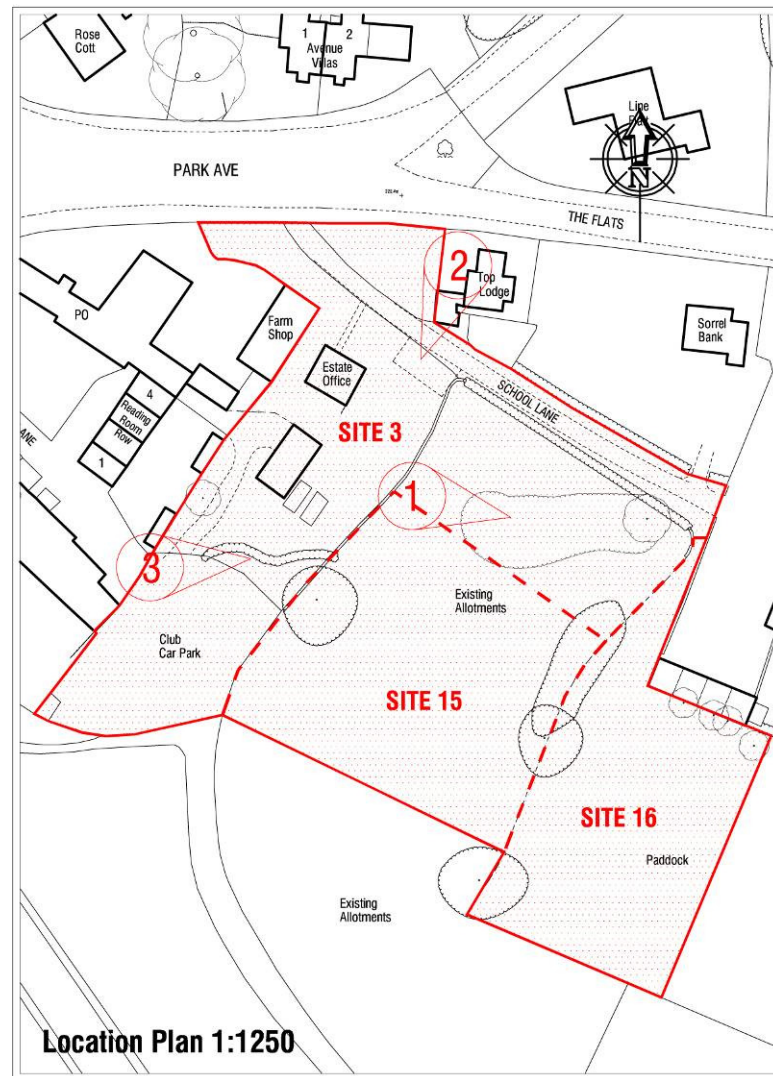


Fig 3.1

#### Proposals

Immediately adjoining School Lane, it is proposed to construct a total of 6 No three bed roomed terraced houses in two groups of three with frontage and pedestrian access directly from School Lane and with private rear gardens having a pedestrian footpath link to designated car parking spaces at their rear. On the opposite side of the proposed new village access road, which will service these cottages, it is proposed to construct a further 2 No two bed roomed terraced properties and to create replacement car parking spaces for the existing Estate Office. The construction of these two and three bed roomed terraced properties close to the centre of the village will provide an opportunity to create much needed new rental property, ideally suited to first time buyers, small facilities or the more active elderly. The development will require access and turning facilities for refuse and emergency vehicles and this, in turn, will necessitate the relocation of



Fig 3.2 View 1



Fig 3.3 View 2



Fig 3.4 View 3

existing car parking. The site area includes a proposal for a new village car park which provides for a total of fifty car parking spaces, most of which will be required to service the new housing and replace existing spaces lost to the village club and adjoining residential property.

Whilst the proposals allow for the retention of a part of the existing allotment gardens, new allotments are required to replace those that have been displaced. The application boundaries encompass the area of the new allotments. The possibility to further extend the allotment space within the remainder of the agricultural land to the south east does exist and is within the ownership of the Wharnccliffe Estate, subject to demand.

#### Use

The site is currently used for allotment gardens, the Estate Office and car parking. It is allocated by Barnsley MBC within the Unitary Development Plan as a mix of housing policies and housing proposal as shown on drawing No P21 in Appendix B. The proposed use is for residential development with associated highways, car parking and relocated allotment gardens.

#### Access

Vehicular access is to be taken from the proposed new village access which passes over land adjoining the existing Estate Office and connects with Park Avenue. The new roadway has been designed to incorporate a turning head for refuse and emergency vehicles and to provide access to the proposed car parking.

As a result of the design proposals shown for Site 3, it will be necessary to re-assess the status of Reading Room Lane and the car parking and access provision to the Wortley Arms Public House. Separate Detailed Planning Applications are submitted in respect of both proposals, Ref Sites 14 and 14a, and the three sites (3, 15 and 16) jointly form part of a comprehensive village centre redevelopment.

Existing car parking at the centre of the village is not adequate. The Wharnccliffe Estate have received regular representations over the years to provide improved facilities to avoid the congestion which occurs on Park Avenue, at the junction of Park Avenue with Halifax Road and the unauthorised parking which takes place on both Park Avenue, The Flats and The Avenue. A new village car park would resolve most of these difficulties and would allow the existing car parking on Park Avenue to be retained as short stay spaces only for people visiting the village shops. New car parking within the existing allotments could be accommodated within existing stone boundary walls and in such a way that it was invisible to the remainder of the village and the surrounding Green Belt. Shelter belts with trees and low level shrubs would be incorporated in conjunction with retained trees as shown on the outline design proposals.

#### Layout and Scale

The new dwellings are to be of traditional two storey construction built of natural stone with stone or blue slate roofs, constructed as traditional terraces close to the adjoining highway frontage and with private gardens to their rear. The new village car park, located to the south of the main terrace of dwellings, and providing car parking for new residential property, replacement car parking for spaces lost to existing residential property, replacement car parking for the village club, spaces for the adjoining allotments and new overspill spaces for villagers and the public will be contained within existing stone boundary walls and laid out in such a way that landscaping beds sub-divide the overall space.

#### Appearance and Materials

New build houses are to have centrally placed chimney stacks to gable and party walls, vertically boarded entrance doors and traditional casement windows to reflect the design advice provided within the Village Design Guide. The properties are to be built with coursed natural stone walls and boundaries are to be provided with stone walls and hedges. The new access roadway, turning and manoeuvring space and car parking is to be designed in accordance with the guidance provided by the Village Design Guide, maintaining the informal appearance of existing highways within Wortley Village and the tight enclosure provided by stone boundary walls.

#### Landscaping

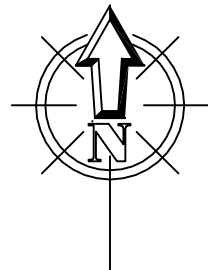
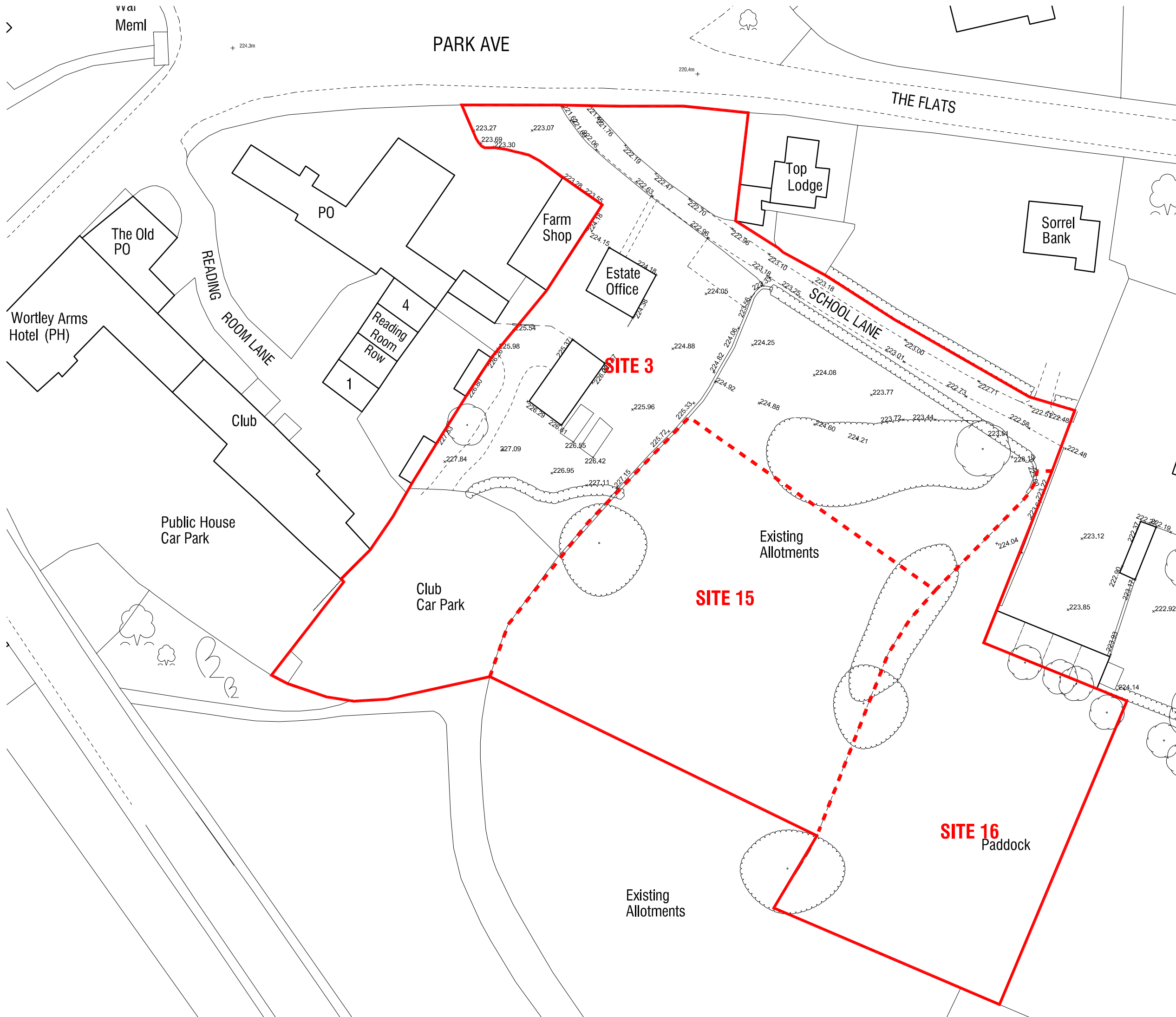
Natural stone boundary walls are to enclose residential properties at their frontage and to surround the new village car park and the private beer garden adjoining the Wortley club. All walls are to be constructed in accordance with traditional details found elsewhere within the village and as illustrated within the Village Design Guide. Paths, terraces and gardens are to be constructed as previously described with a mix of approved natural and/or artificial materials. Soft landscaping proposals and extensive tree planting will be provided as a part of a Detailed Planning Application.

**Existing Trees**

The proposals include the removal of an overgrown holly hedge which also contains a mix of other species. It is proposed to retain a single holly tree at the eastern end of the group Ref G11a. The removal of group G11 is necessary to facilitate development and can be mitigated by new planting in the adjoining village car park and/or elsewhere within the village proposals.

**Sustainability**

The site is in a sustainable location, close to the centre of the village. New build residential construction should achieve level 3 in the Code for Sustainable Homes.

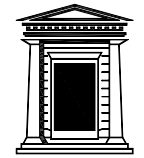


**Fig 3.5**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITE 3 15 and 16  
ESTATE OFFICE AND ALLOTMENTS



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Fig 3.6

**THE WHARNCLIFFE ESTATE**  
**WORTLEY VILLAGE DEVELOPMENT PROPOSALS**  
**SITES 3 15 AND 16 VILLAGE CENTRE PROPOSALS**



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## Site 4 - Residential

This site is located immediately to the north of Park Avenue and is accessed via a private driveway to the rear. The site area includes an existing stone barn, a part of the adjoining Rose Cottage, and provides the potential to create an attractive three bedroomed new build cottage with independent parking and generous private gardens. The access should be retained to the adjoining properties at Avenue Villas and Rose Cottage and additional parking spaces provided as required.

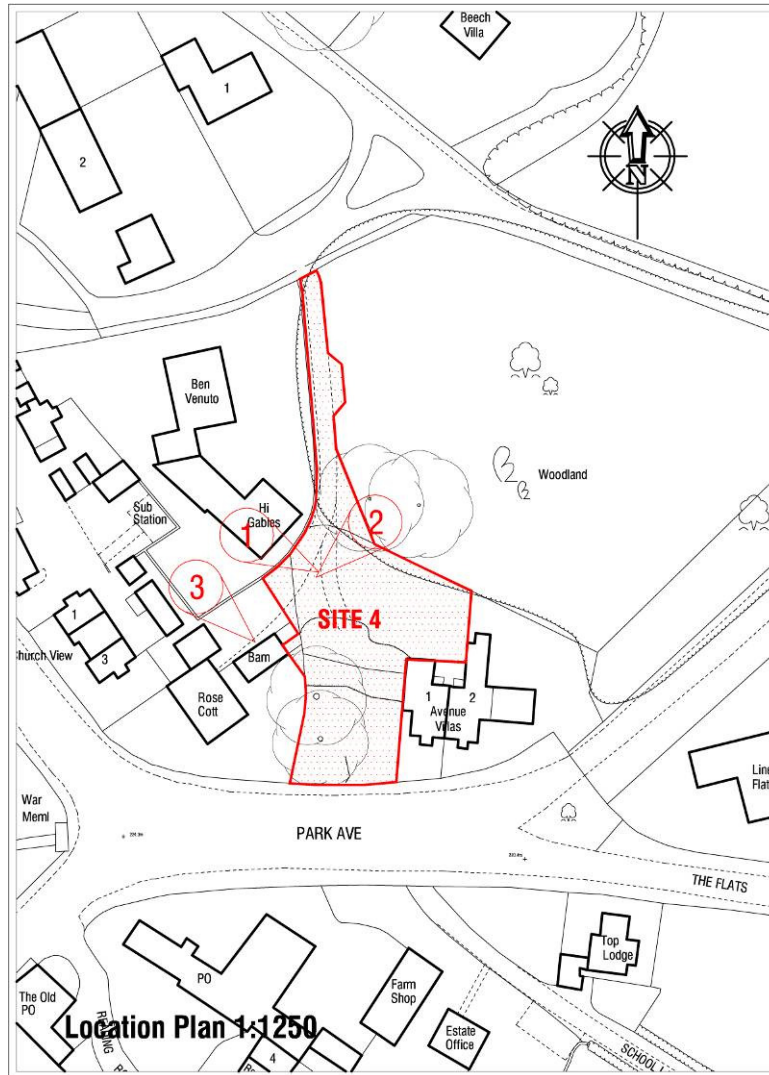


Fig 4.1

### Proposals

The new build cottage reflects the simple agricultural character of the adjoining barn and should be constructed in traditional materials to incorporate natural stone and a stone slate or natural blue slate roof. External doors should be vertically boarded, windows of traditional casement design with a paint finish and enclosure surrounding the new property should be provided with stone boundary walls.

The site area of 0.11Ha includes the private access road and rear gardens of the adjoining Avenue Villas. The topographical survey at Fig 4.5 illustrates the site, its major features, including trees and existing ground levels.

Proposals for this site have been amended from the original concept design to take account of comments received from the Local Planning Authority at pre-application stage.



Fig 4.2 View 1



Fig 4.3 View 2



Fig 4.4 View 3

### Use

The existing use as identified by the Barnsley MBC Unitary Development Plan is Housing Policy. The proposed use is residential.

### Access

Access, both vehicular and pedestrian, should be from the north via an existing private access roadway passing adjacent to retained woodland. The access road will be shared by the new property, Rose Cottage, and Nos 1 and 2 Avenue Villas and should be improved by the addition of a passing place along the lane, a turning space and additional car parking to adjoining properties. The private drive should be surfaced with a permeable material on a geo-textile or cellular ground reinforcement membrane to avoid impact on tree roots and to provide suitable surfaces for use by service vehicles.

### Layout and Scale

The layout and scale of the new build cottage should be such that it does not impinge upon the canopy or critical root spread area of adjoining trees which have been the subject of detailed survey. The new building should be placed on site in such a way that it does not compromise the privacy or amenity of adjoining properties, that it satisfies the minimum space standards as required by the Local Authority's planning guidance and that it reflects the scale of existing buildings.

### Appearance and Materials

The new build cottage should reflect the existing properties surrounding it, it should be constructed in matching natural stone with exposed stone lintels and sills with irregular, reclaimed quoin stones to the principal corners and with timber gutters and cast rainwater pipes.

### Landscaping

New build stone boundary walls should be constructed to enclose the cottage and to separate the access roadway serving Rose Cottage and Avenue Villas. Hard landscaping should feature a mixture of stone and approved artificial paving flags and gravel, softened by shrub planting facing the access roadway.

### Existing Trees

There is an existing tree, T15, referred to in the tree report 8.0m from the proposed dwelling at the closest point. The tree survey reports that the structural condition is "fair" and that the visual amenity value is medium. Some remedial work is recommended and the arboricultural implication assessment suggests that the extension will be constructed within the root protection area and the use of low impact foundations, such as a "house deck" or mini-piles and ground beams should be considered.

### Protected Species

The development proposals for the new cottage do not impinge upon the existing barn adjoining. As a precaution, a bat survey of the adjacent barn to the west was prepared by Eric Bennett Consultancy, and he concluded that there was no evidence to suggest the presence of any internal loft species such as Brown Long-eared bats but there is potential for a summer roost of Pipistrelle bats to the rear of the barn's fascia. This would be unaffected by the revised proposals which do not involve conversion/extension of the barn.

The limb cavity in an existing tree to the south east of the barn is likely to be attractive to bats, although this should not be affected by the works.

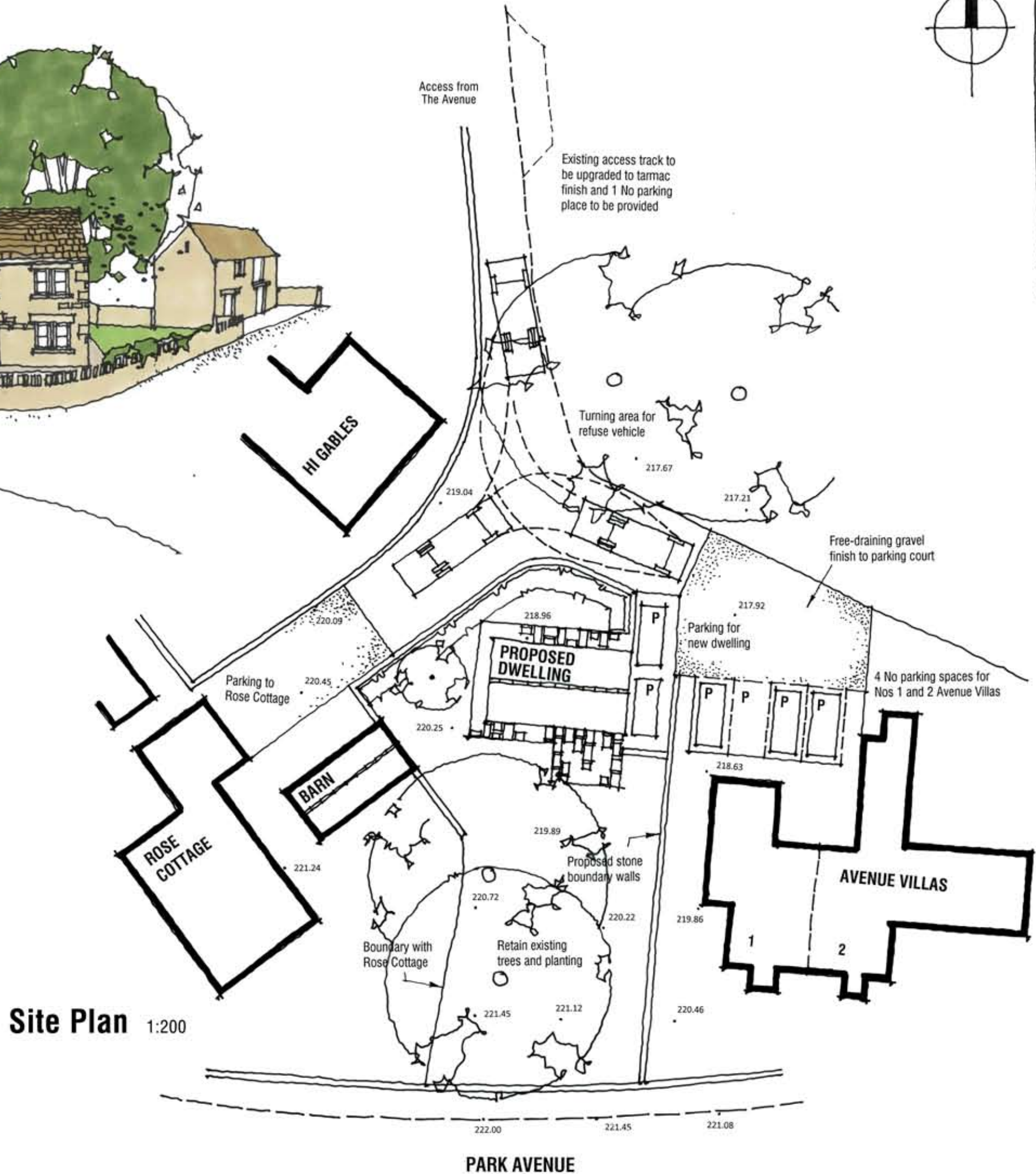
### Sustainability

The site is in a sustainable location, close to the centre of the village. New build construction is capable of achieving a minimum level 3 under the Code for Sustainable Homes.

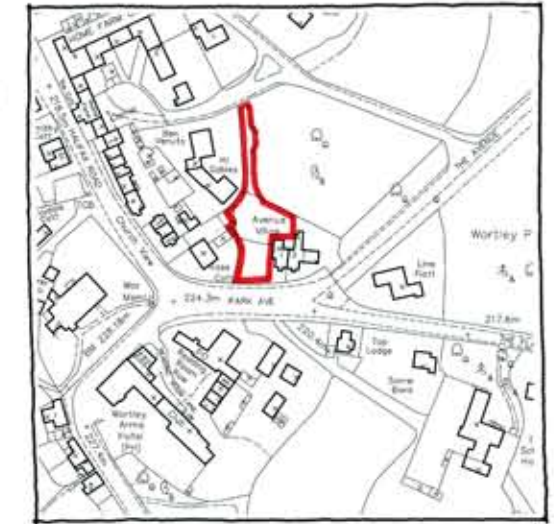




Perspective View from Access Road



Site Plan 1:200



SITE LOCATION PLAN 1:2500



Fig 4.6

A 14.04.2011 Redesign to show detached dwelling excluding existing barn which is to be retained with Rose Cottage.

THE WHARNCLIFFE ESTATE

WORTLEY VILLAGE DEVELOPMENT PROPOSALS

SITE 4 – PROPOSED DWELLING, THE AVENUE



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Date: APRIL 2011 Ref. No. 21.70

DWG. No. P4 Rev. A

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## Site 5 – Parking

Site 5 is located to the rear of existing terraced cottages to Halifax Road and Church View. The site has an area of 0.09Ha and is identified on the plan below. A further plan showing the extent of the existing site at 1:500 scale is shown in Fig 5.5.

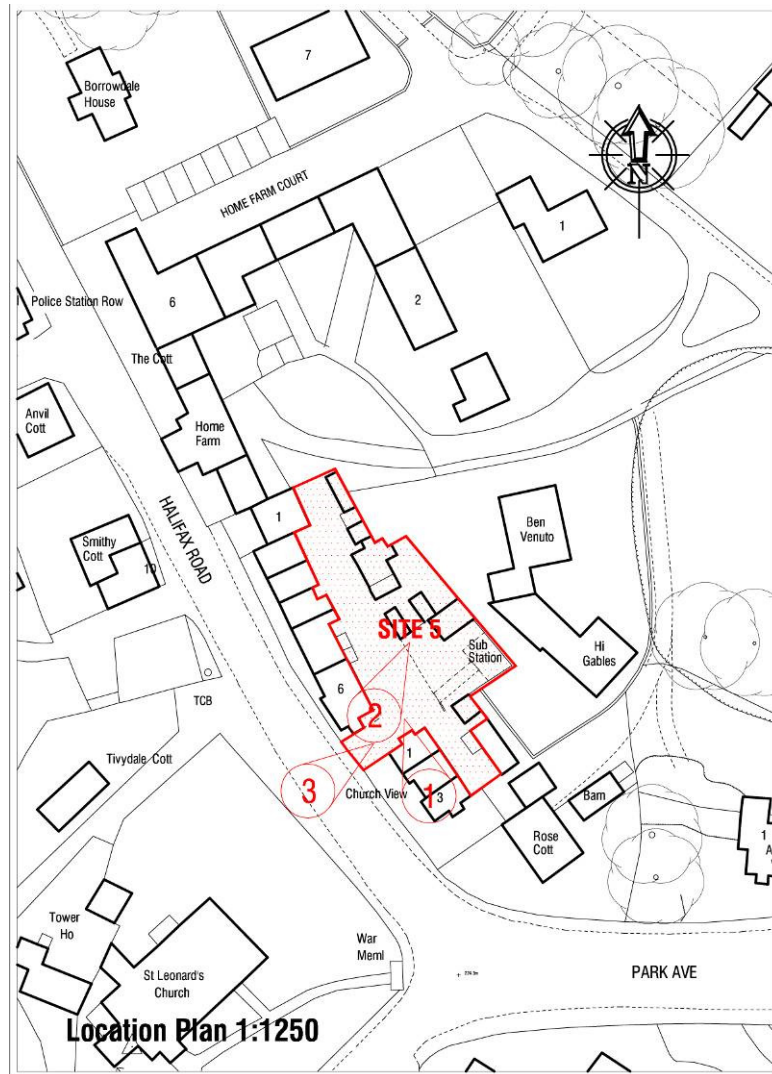


Fig 5.1

### Background

Numbers 1-6 Halifax Road and 1 to 3 Church View have no formal parking provision. Existing cottages have no, or very small, front gardens facing the public highway with shared access over a private drive to the rear. A number of cottages have outbuildings within the rear yard. Access to the rear yard is taken between No 6 Halifax Road and No 1 Church View. This area has been identified as having potential to enhance private space and provide improvements to the parking provision. An existing electricity sub-station is located at the eastern corner of the site.

### Proposals

Drawing No P5, a reduced scale copy of which is shown in Fig 5.6, illustrates the proposals.

The existing electricity sub-station at the eastern corner of the site is to be maintained and enclosed. A number of the existing outbuildings within the rear yard are to be demolished to allow for the construction of a formal parking area which will allocate 1 No parking space. This will also allow the creation of a footpath for use by residents to gain access to individual rear yards providing private yards to the rear of existing dwellings.



Fig 5.2 View 1



Fig 5.3 View 2



Fig 5.4 View 3

### Use

The existing use of the site is residential and identified within the Barnsley MBC Unitary Development Plan as Housing Policy. One of the cottages, No 6 Halifax Road, is a Grade II Listed building and the whole of the site lies within the Conservation Area. There are no proposals to change the existing use. It is accepted that as part of a detailed application, consent for demolition of existing outbuildings and Listed Building Consent for new rear boundary walls will be necessary. We consider that the proposed improvements to private space and the creation of formal parking will provide an enhancement to the location, use of shared space and setting of the Listed building, subject to detailed design.

### Access

The existing access taken between No 6 Halifax Road and No 1 Church View is adequate and no alterations are proposed.

### Layout and Scale

The works will allow terraced houses to benefit from private rear yards and be allocated with 1 No parking space per dwelling.

### Appearance and Materials

Private rear yards are to be enclosed by dry stone walls 1.2m high constructed in a traditional manner with irregular toppers set vertically. Openings are to be formed with larger quoin stones and fitted with wrought iron gates. Circulation areas for vehicles and pedestrians are to be in tarmac and bonded gravel as shown, and parking spaces are to be in block paving. A new stone wall will enclose the existing electricity sub-station and a pair of vertically boarded timber gates, which should have a black paint finish, will provide access for maintenance.

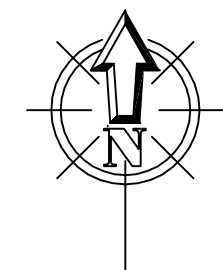
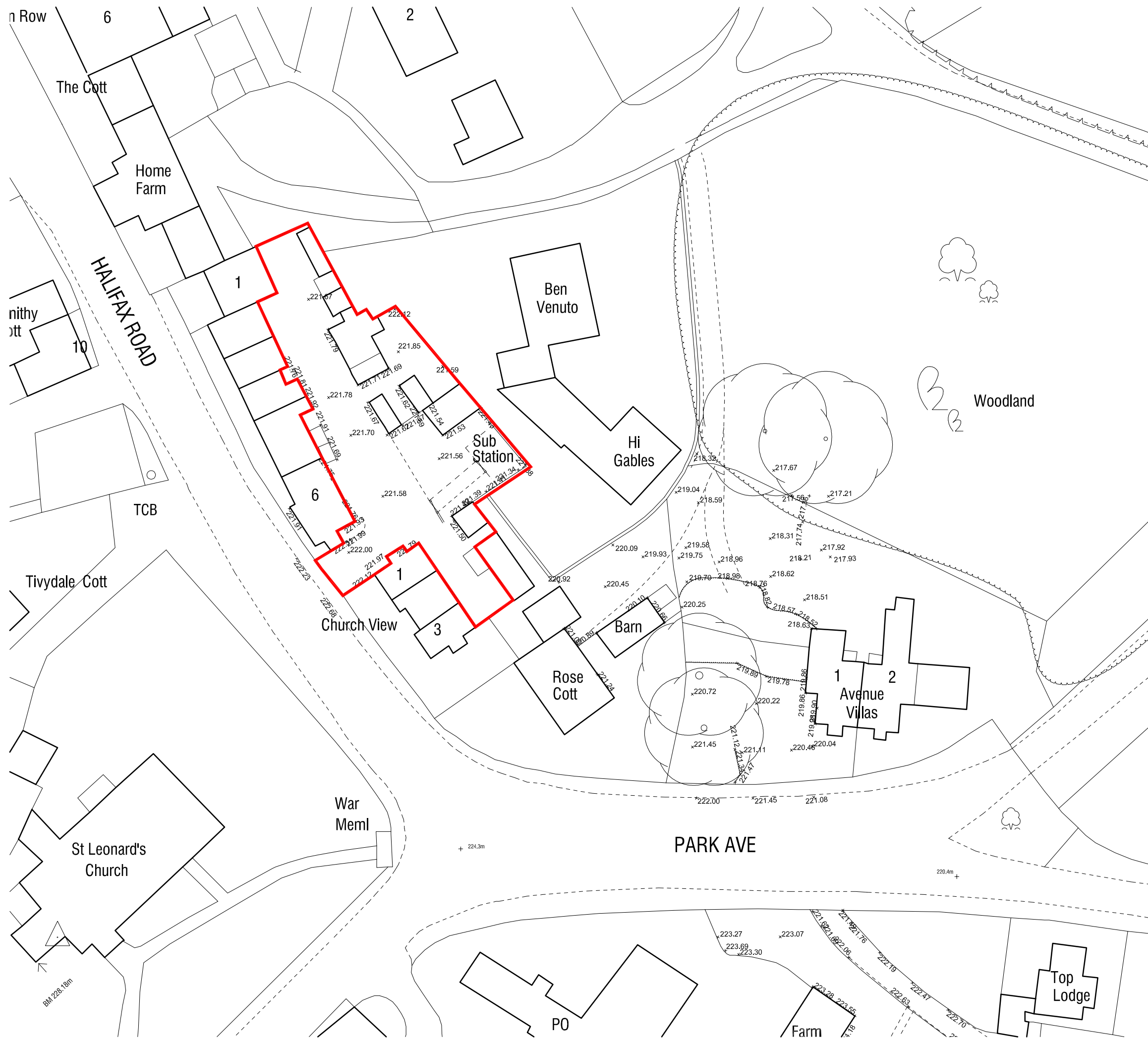
Boundary walls and existing outbuildings will be made good and re-pointed where necessary.

### Landscaping

Limited soft landscaping is proposed although the creation of private rear garden spaces does allow for domestic planting. Space has been allocated at the northern corner of the new parking area for tree/shrub planting to soften the appearance of the parking area. Landscaping information will be subject to detailed design.

### Trees

The tree survey and report prepared by James Royston confirms that there are no existing trees of significance on this site.

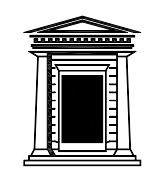


**Fig 5.5**

THE WHARNCLIFFE ESTATE  
 WORTLEY VILLAGE  
 SHEFFIELD

**SITE SURVEY**

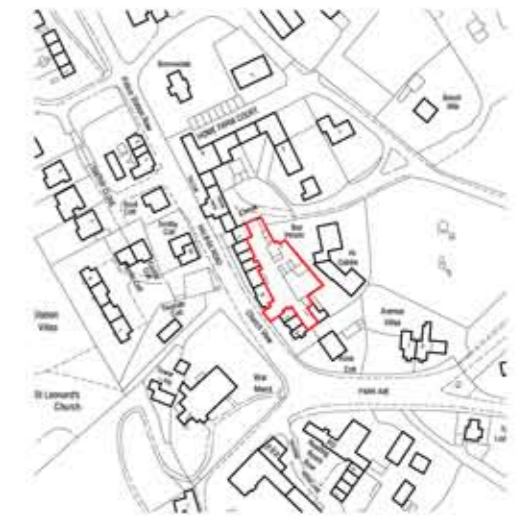
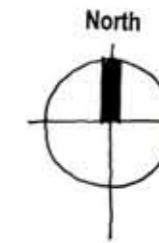
SITE 5  
 LAND TO REAR OF CHURCH VIEW COTTAGES



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**SITE LOCATION PLAN 1:2500**



**Fig 5.6**

A 07.04.2011 Amend house numbers.

**THE WHARNCLIFFE ESTATE**

**WORTLEY VILLAGE DEVELOPMENT PROPOSALS**

**SITE 5 – PARKING TO REAR CHURCH VIEW**



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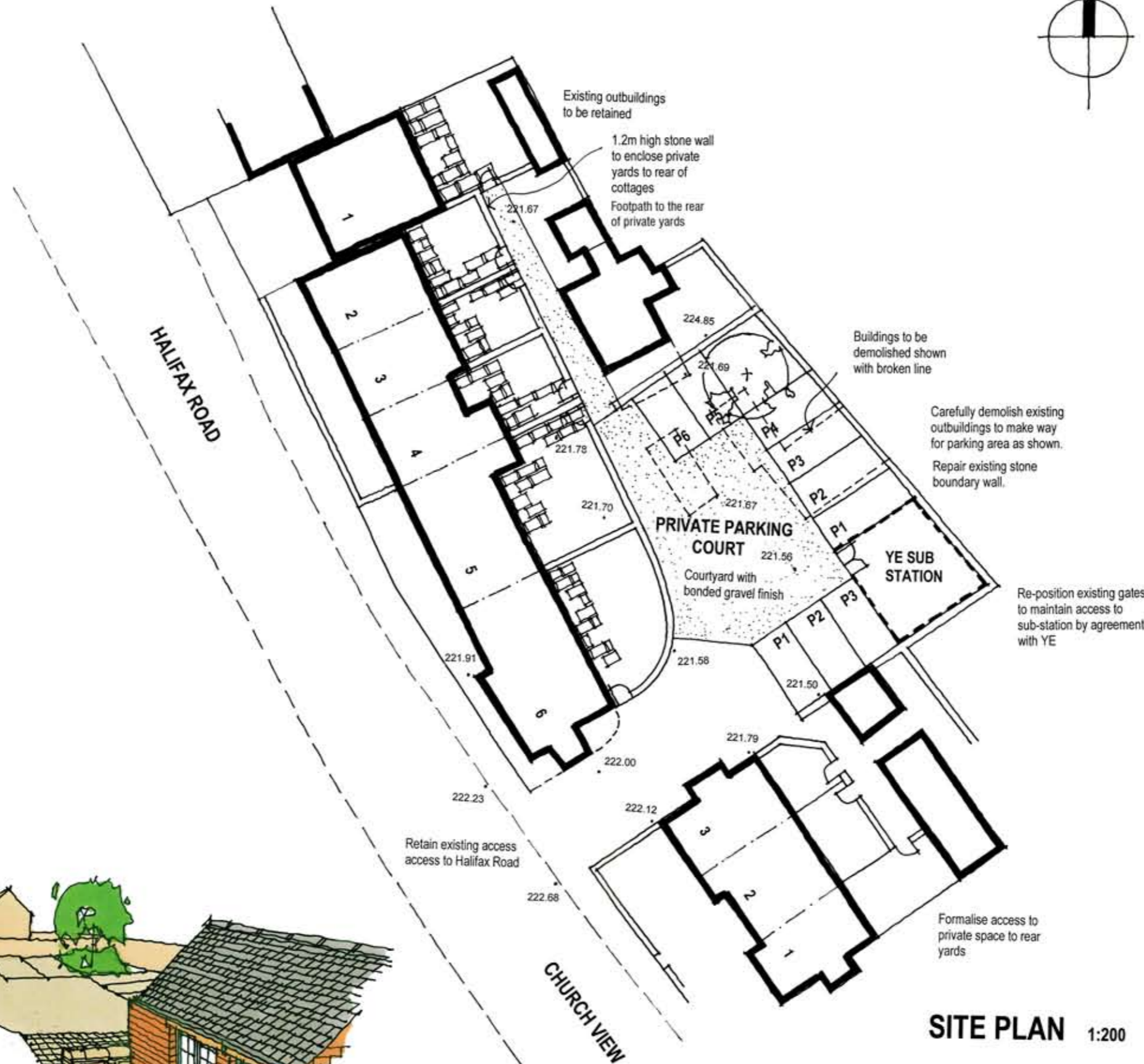
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**SITE PLAN 1:200**



## Site 6 - Residential

Site 6 is to the north east of Borrowdale House in the position of an existing pre-fabricated garage and facing the private access roadway which connects to Halifax Road immediately adjoining Borrowdale House. It has an area of 0.08Ha. A topographical survey is included at Fig 6.5.



Fig 6.1

### Proposals

This site, which is currently subject to dense tree cover from a group of self-seeded sycamores, offers the potential for a small, three bedroomed, detached dwelling with adjoining garage, closing the visual gap between Borrowdale House and The Bungalow to the north whilst retaining existing trees to the east and permitting adjoining highway improvements, which should include the closure of the vehicular access to Halifax Road and the provision of a new pedestrian crossing point.

The illustrative proposals are included at Fig 6.6.



Fig 6.2 View 1



Fig 6.3 View 2



Fig 6.4 View 3

### Use

The existing use as identified by the Barnsley MBC Unitary Development Plan is Housing Policy. The proposed use is residential.

### Access

Access is to be taken via the private roadway to the north which is to be closed as a through way to Halifax Road. New parking is to be provided to Borrowdale House adjoining the proposed dwelling and the use of the access road restricted to Borrowdale House, The Bungalow and the proposed new dwelling. Bollards will form a permanent closure of the present access and will allow landscaping of the margins and the creation of a new pedestrian crossing point to the adopted highway. Local approach can be provided to the new dwelling and access for service vehicles is available.

### Layout and Scale

The new dwelling should be two storeys in height with a dual pitch roof featuring a centrally placed chimney stack located to one gable and with a single storey garage adjoining. The property should be located at right angles to Borrowdale House with a blank gable wall facing Halifax Road and with the principal elevation overlooking the private access way and set within a wide frontage. Private gardens are to be located to the south of the property and from within the extensive gardens currently allocated to Borrowdale House.

### Appearance and Materials

The new build property to be designed as a traditional cottage with centrally placed, vertically boarded entrance door and with traditional double casement windows at ground and first floor to either side. The cottage is to be built of coursed natural stone and with details, fixtures and finishes in accordance with recommendations enclosed within the Village Design Guide.

### Landscaping

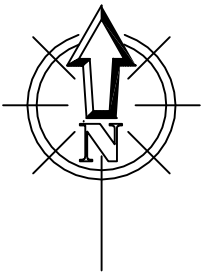
Landscaping surrounding the cottage should feature open woodland to the east and west to reflect the site's existing character and with shrub/hedge planting to the highway frontage. Enclosing stone walls should delineate parking spaces to Borrowdale House and demarcate the southern boundary. Paths and terraces should be constructed with natural stone or approved artificial paving flags and gravel.

### Existing Trees

The proposals involve the removal of low to medium value trees as outlined in the tree report and their removal will have an impact on the local treescape. The impact is limited by the retention of existing trees to the east of the site which maintain a backdrop and trees to the west fronting Halifax Road, which provide screening. The advantages to facilitate development and improvements to highway safety by closing the existing private access onto Halifax Road outweigh the limited negative impact of tree removal. Mitigation for the removal of these trees is also provided by structural tree planting at an adjacent site to the east as shown on drawing Ref P23 in Appendix 2.

### Sustainability

The site is in a sustainable location, close to the centre of Wortley Village and capable of being constructed to Code for Sustainable Homes level 3.

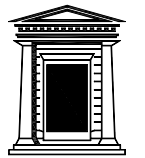


**Fig 6.5**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITE 6  
LAND ADJACENT BORROWDALE HOUSE

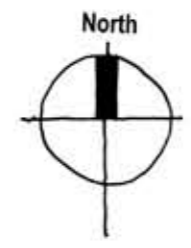
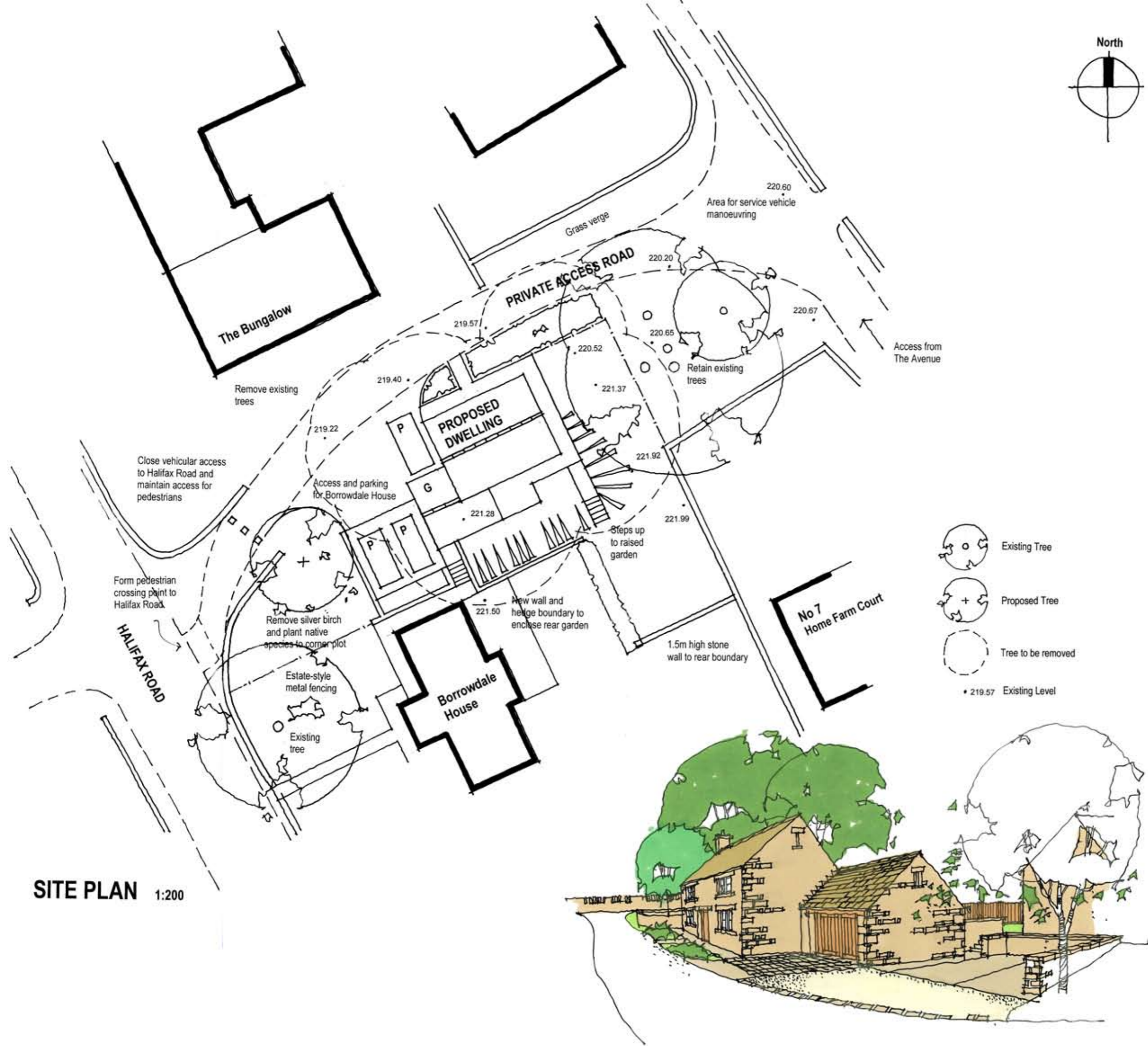


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**SITE LOCATION PLAN 1:2500**



- Existing Tree
- Proposed Tree
- Tree to be removed
- 219.57 Existing Level

**SITE PLAN 1:200**

**Fig 6.6**

**THE WHARNCLIFFE ESTATE**

**WORTLEY VILLAGE DEVELOPMENT PROPOSALS**

SITE 6 – LAND ADJ BORROWDALE HOUSE



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## Site 7 - Residential

Site 7, covering an area of approximately 0.2Ha, is at the northern edge of the village, to the east of Borrowdale House, and to the north of the Home Farm Court complex. The site is adjacent to The Avenue and is currently occupied by the village garage and a range of empty and somewhat dilapidated single storey buildings, including the original smithy. A location plan is shown in Fig 7.1 and more detailed information is provided on the topographical survey in Fig 7.7.

The site is adjacent to but outside the Green Belt and is not within the village Conservation Area. It stands adjacent to existing residential development to its west and overlooks a tree-fringed grass paddock to the north.

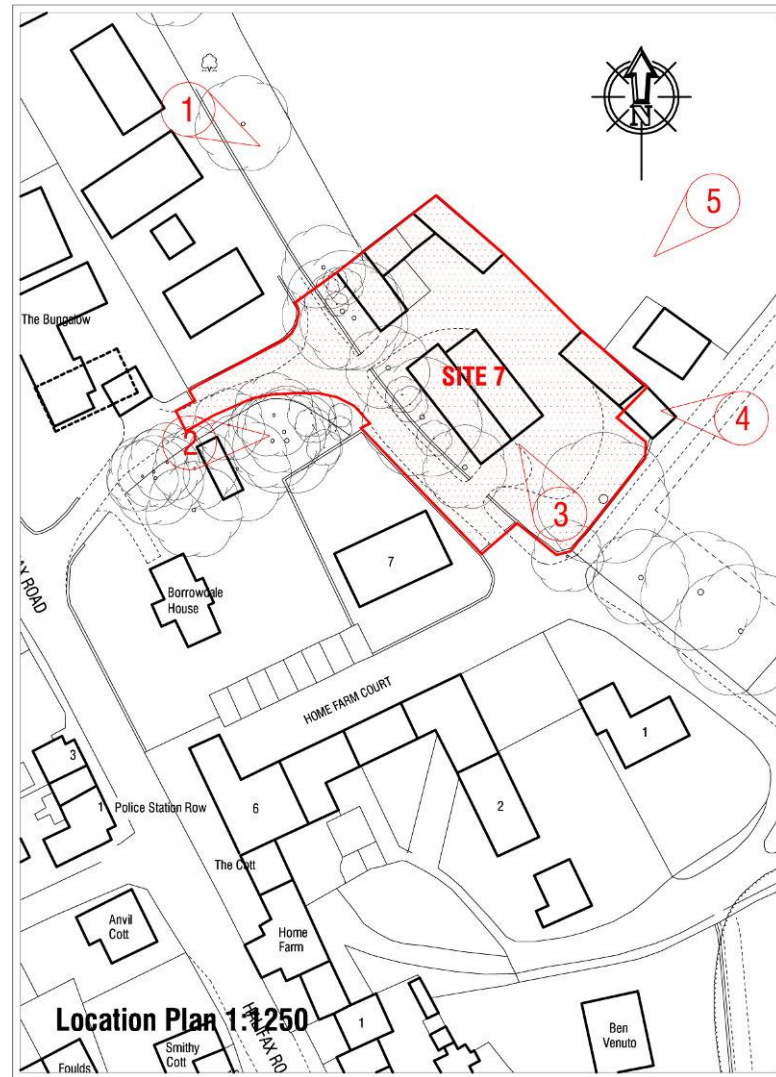


Fig 7.1



Fig 7.5 View 4



Fig 7.2 View 1



Fig 7.3 View 2



Fig 7.4 View 3



Fig 7.6 View 5

## Proposals

Fig 7.8, Drawing No P7, illustrates how the site could be redeveloped with 3 No detached, stone built houses, constructed over the footprint of existing buildings and utilising existing access points to The Avenue.

New houses in this location would be in keeping with the adjoining residential development, would be on an existing developed site and would not have a detrimental impact upon the openness or character of the adjoining Green Belt. Development should accept the limitation imposed upon the site by existing trees along the western boundary, and single storey garaging and outbuildings should be constructed over the footprint of existing buildings which are already beneath the canopy line.

## Use

The existing use of the site is commercial vehicle repairs. The Barnsley MBC Unitary Development Plan identifies the site as Housing Policy. The proposed use is residential.

## Access

Both vehicular and pedestrian access to the site would be taken from The Avenue via two new access points positioned to correspond with those that already exist. Simple five-bar agricultural gates should be used, located between reclaimed stone gate posts set within a frontage stone boundary wall. Private driveways within the site should be constructed to have minimal impact upon existing trees, with a no-excavation policy incorporating the use of geo-textile fabric and gravel finishes.

## Layout and Scale

New dwellings should be two storeys in height with a traditional dual pitch roof featuring centrally positioned chimney stacks. The houses should be constructed parallel to The Avenue, with their principal elevations facing in a south west/north east direction. Single storey garages and/or outbuildings should be constructed over the footprint of the existing workshops and connected to the new houses to create enclosed access courtyards to the south west and linked development reflecting the layout of existing buildings on the site.

## Appearance and Materials

Houses should be of a traditional design, constructed in coursed natural stone with details, fixtures and finishes all in accordance with the recommendations enclosed within the Village Design Guide. Traditional cottage elevational treatment overlooking The Avenue could be varied at the rear of the properties where a more contemporary approach might be taken, incorporating larger areas of glass, providing access to rear gardens and to take advantage of the exceptional outlook.

## Landscaping

Landscaping at the frontage of the site should reflect the traditional village street, retaining existing trees and by the use of new low-level shrub planting, gravel driveways, stone or approved artificial setts to parking areas and flagged pathways help create the enclosed urban aesthetic that is typical of the remainder of the village.

The site should be enclosed with traditional dry stone boundary walls, and sub-division between the individual properties should be with stone walls and/or native hedges.

## Existing Trees

The arboricultural implication assessment makes reference to the presence of "valuable" trees along the site frontage. The latest proposals, which are submitted in support of this application, now show T20, which it was previously intended would be removed, as being retained. The AIA indicates that, subject to development in accordance with the method statement, there should be "no significant impact on the trees to be retained".

## Protected Species

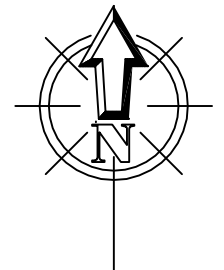
A bat survey, prepared by Eric Bennett Consultancy, concluded that there was no evidence of a bat roost in any of the buildings but that occupation by single bats might be possible within crevices of the rear wall. The possibility of an occasional feeding perch for Brown Long-eared bats was identified on a gable wall of an open-fronted building. It was also reported that nesting sites for swallows would be lost. The redevelopment of the site would be subject to an application for Detailed Planning Permission. As part of this application, alternative provision could be included to create suitable habitat for use by Pipistrelle bats within open crevices, ridges or "bat bricks". Mitigation for the loss of swallow nest sites may be possible within open-fronted outbuildings, subject to detailed design. The applicant owns a large number of properties and

farm buildings across the Estate where wildlife nesting is promoted and encouraged, providing more than adequate mitigation for any limited loss at this site.

No significant negative impact on protected species is predicted.

**Sustainability**

The site is in sustainable location, close to the centre of Wortley Village, and capable of being constructed to Code for Sustainable Homes level 3.



**Fig 7.7**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITE 7  
EXISTING VEHICLE REPAIR WORKSHOP



**Chris Carr Associates**  
ARCHITECTS

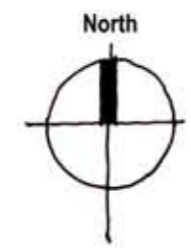
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SITE LOCATION PLAN 1:2500

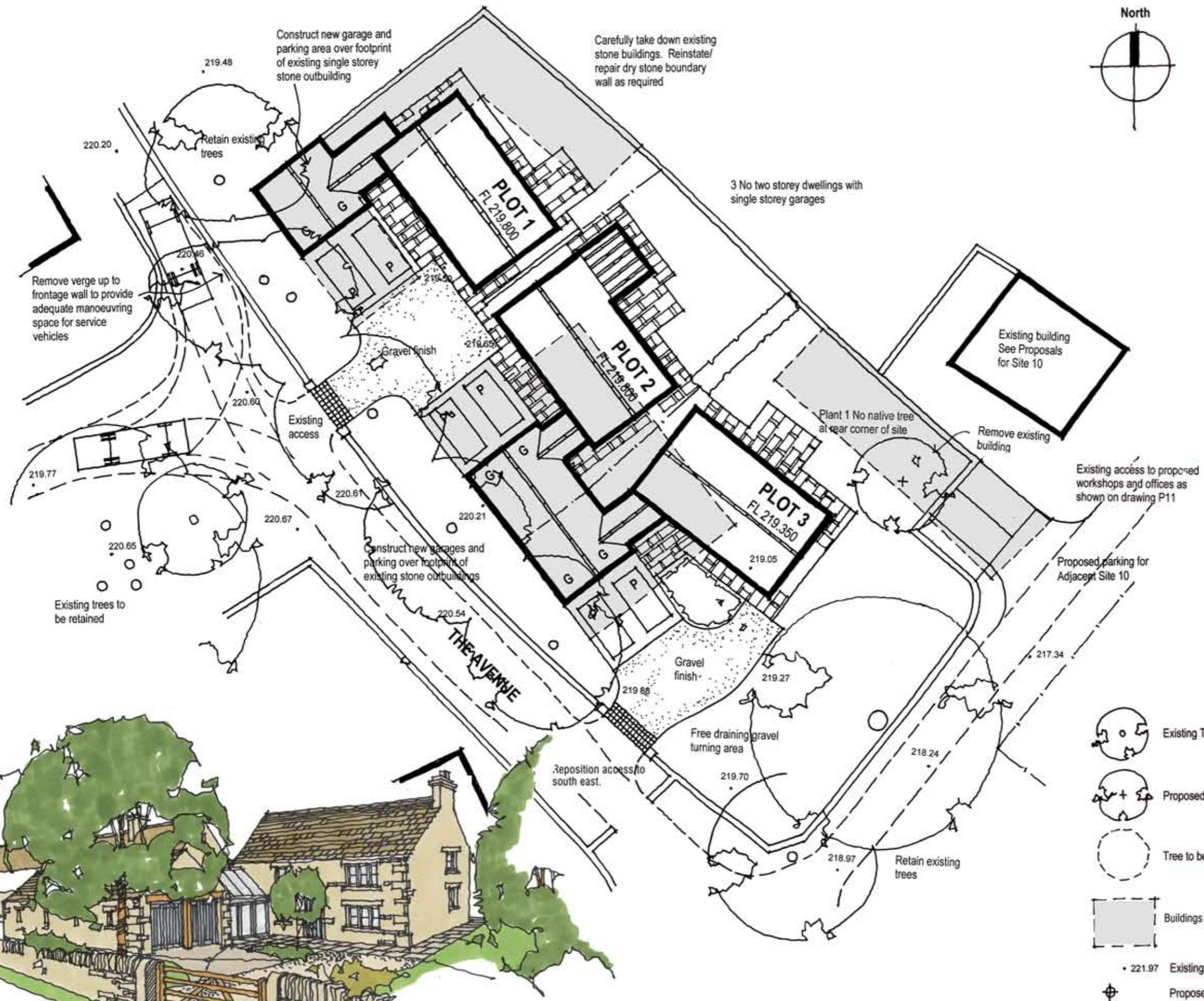


Fig 7.8

A 14.04.2011 Add Illustrative Sketch

THE WHARNCLIFFE ESTATE

WORTLEY VILLAGE DEVELOPMENT PROPOSALS

SITE 7 - LAND TO REAR HOME FARM CT



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View from Access Road

SITE PLAN 1:200

## Site 8 - Residential

Site 8 is located to the south east of the existing village workshops and immediately to the north west of Beech Villa. The site extends to an area of approximately 0.23Ha, and is accessed from a private roadway which connects with The Avenue and currently provides access to existing farm buildings on site No 11. A topographical survey is included at Fig 8.5. It is currently somewhat overgrown grass paddock; the site slopes downwards in a north easterly direction away from The Avenue and is affected on its south western boundary by existing mature trees. The major part of the land is outside the Green Belt and the site is within the village Conservation Area.

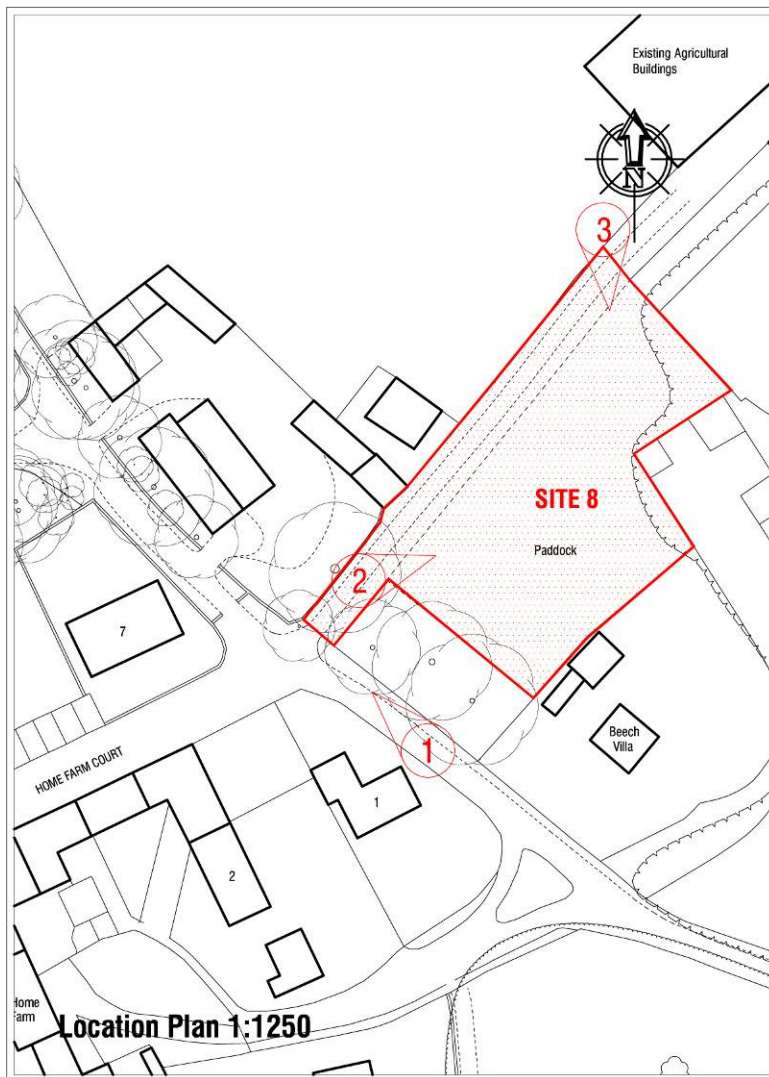


Fig 8.1

### Proposals

As a part of an existing Planning Permission and Section 106 legal agreement which allocates residential development at the centre of the village over the area of Sites 3, 15 and 16, Site 8 is currently allocated for new allotments. As a part of the major review undertaken by the village "master plan", it has been decided that allotment gardens should be retained in their existing location and that this site would be more appropriately developed for residential purposes. A part of the site is currently allocated as Green Belt, but is low-lying, totally enclosed by woodland to its eastern boundary, is visually very much a part of the larger area and is enclosed by existing stone boundary walls. In the circumstances, we do not believe that development of this small area of Green Belt land would impact upon the character or openness of the Green Belt, and viewed as a part of the more extensive village "master plan" proposals that it is appropriate and constitutes a special case. Fig 8.6, drawing Ref P8 is a reduced scale plan and illustrates how the site might be developed.



Fig 8.2 View 1



Fig 8.3 View 2



Fig 8.4 View 3

### Use

The land is currently used as agricultural in association with the Home Farm buildings to the north. It is allocated by the Barnsley MBC Unitary Development Plan as Housing Policy with a small section of land to the north as Green Belt. The proposed use is residential.

### Access

Both vehicular and pedestrian access to the site will be taken from the existing private roadway which connects with The Avenue to the north east of Home Farm Court. The roadway is enclosed with dry stone boundary walls and has an informal character typical of the remainder of private roadways throughout Wortley. This should be retained and any widening and/or improvement of the access kept to an absolute minimum.

### Layout and Scale

The design proposal, P8, illustrates how the site might be developed with three new build detached houses. The proposals show two larger houses to be constructed with opposing garage blocks constructed at right angles to the principal dwelling, creating a frontage courtyard sub-divided by a stone wall or hedge. The frontage of the site should be enclosed with a new build dry stone boundary wall, and traditional five-bar timber access gates should be set within reclaimed stone gate posts. A new streetscape should be established with dwellings stepping down the slope in a north easterly direction and having their principal elevations facing in a north west/south east direction.

Houses should be constructed to a traditional maximum two storeys in height with dual pitch roofs and featuring centrally positioned chimney stacks to gable walls. Adjoining garage buildings might be increased in height to approximately 1.5 storeys, to provide additional living or work space at the upper level, possibly accessed via external stone steps. A smaller three bedroomed cottage is proposed for the north east corner of the site.

### Appearance and Materials

New build houses and cottages should be constructed to a local design aesthetic, reflecting the traditional detail found within houses, cottages and farm buildings throughout Wortley Village and as described in the Village Design Guide. External walls should be constructed in natural stone and roofs in an approved artificial stone slate.

### Landscaping

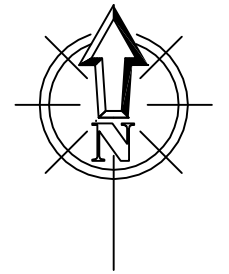
Development of the site should ensure that there is no detrimental impact upon existing trees. The frontage to the site, overlooking the access roadway, should be predominantly hard-surfaced with a combination of gravelled parking courtyards and flagged pathways adjoining the dwellings. Private rear gardens would face in a south easterly direction, providing enclosure from public view and providing an attractive private space.

### Existing Trees

The proposals require no tree removal. The tree report and implication assessment recommends the removal of tree No T26, which is the centre of the three mature trees to the south west of the site, due to its poor condition. Some pruning and crown lifting of trees on the north eastern boundary is also recommended in the report.

### Sustainability

The site is in a sustainable location, close to the centre of Wortley Village and new build houses are capable of being constructed to Code for Sustainable Homes level 3.

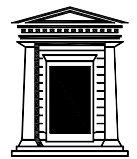


**Fig 8.5**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITE 8  
BEECH VILLAS

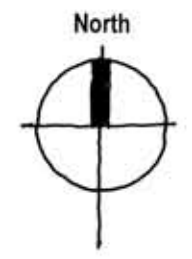
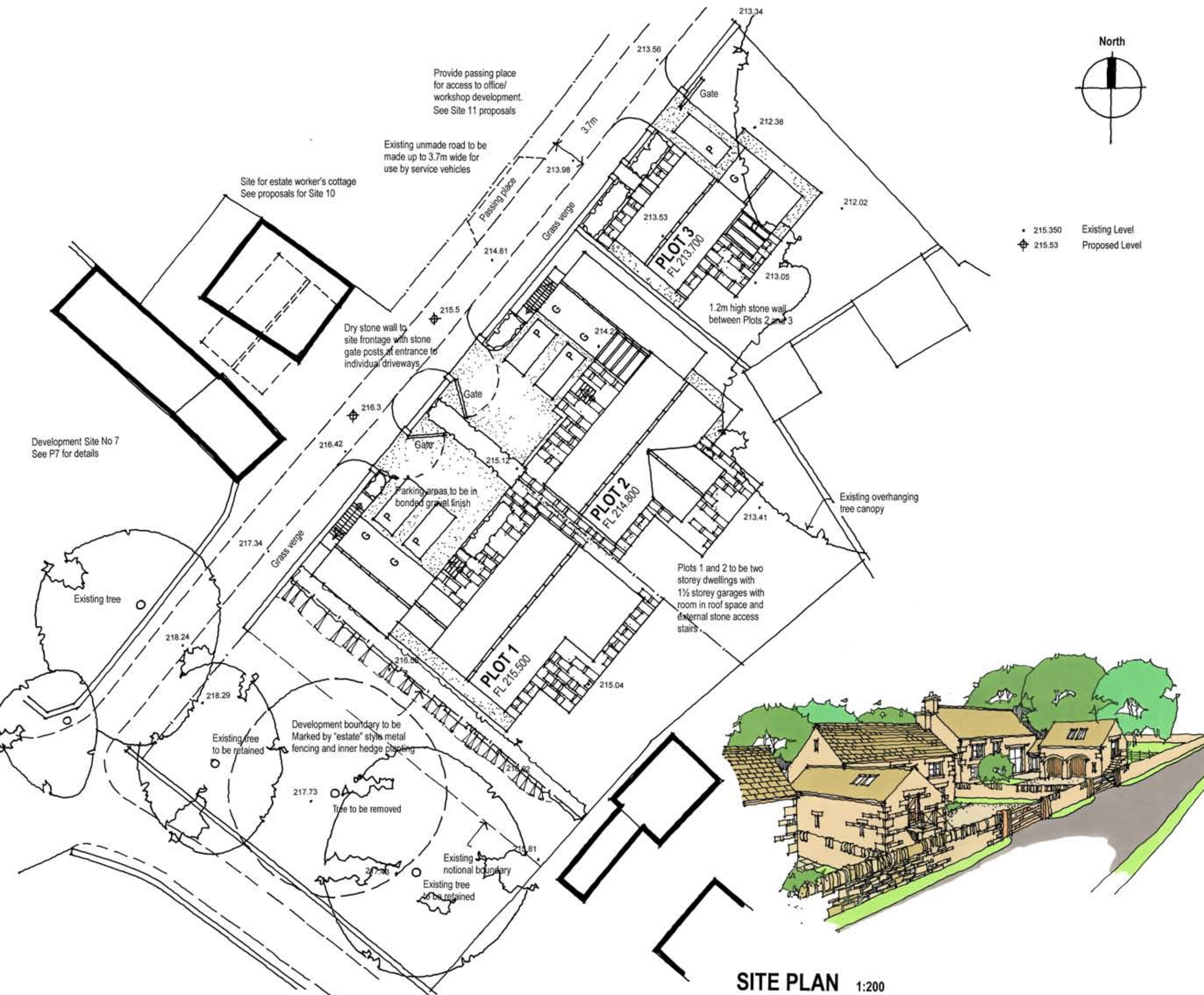


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• 215.350 Existing Level  
 ◉ 215.53 Proposed Level



**SITE LOCATION PLAN 1:2500**



**Fig 8.6**

**THE WHARNCLIFFE ESTATE**

**WORTLEY VILLAGE DEVELOPMENT PROPOSALS**

SITE 8 – LAND OFF THE AVENUE



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**SITE PLAN 1:200**

## Site 9 - Residential

Site No 9 faces The Avenue just inside the south west entrance gates to Wortley Park and between Line Flatt and Chimney Cottage. The site covers an area of approximately 0.17Ha with a crossfall from the south west towards the north east of 5.0m. A levels survey is included as part of the topographical survey in Fig 9.5. The site is outside the village Conservation Area and partially within the Green Belt.

### Proposals

The "master plan" proposals for Wortley Village have isolated a need for purpose-built old people's dwellings or almshouses. As is traditional with rural agricultural estates, Wharnccliffe Estate would like to construct a number of purpose-built, single storey almshouse cottages close to the centre of the village but in a quiet and attractive location, with the specific aim of accommodating elderly residents, the majority of which currently occupy house and cottage property elsewhere within the village.

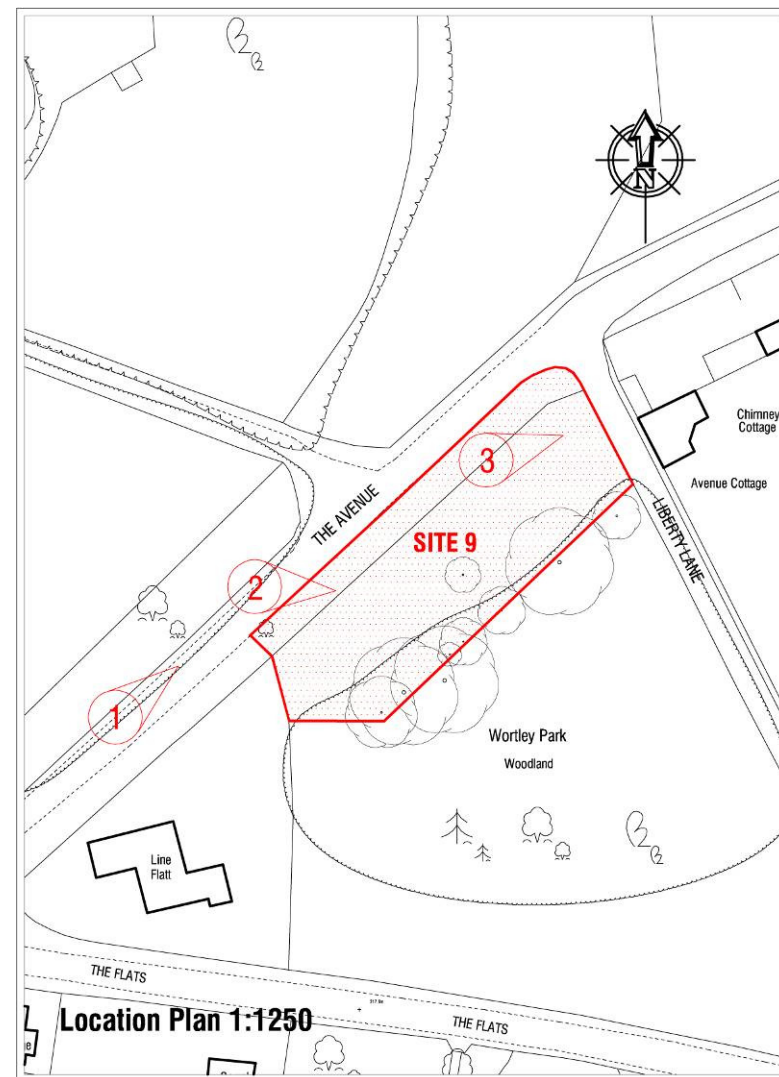


Fig 9.1

The almshouses, which will be designed to full disabled standards, should not be available to tenants under the age of sixty other than those who are disabled and have need for specialist accommodation. They should not be available on the open market and the amount of rent charged should be equivalent to rents registered with the Rent Officer for protected tenancies.



Fig 9.2 View 1



Fig 9.3 View 2



Fig 9.4 View 3

This site is ideally placed for providing specialist accommodation for the elderly as it is in a quiet and attractive location, away from busy traffic and yet within a very short walking distance of the shops and other facilities at the centre of the village. It is accepted that the site is sensitive, is partially within the Green Belt and is in a highly prominent location on the main access driveway to Wortley Hall. For this reason, the design of the new almshouses should be carefully considered and should reflect its immediate surroundings, in the detailed design of both scale, form, and building materials.

### Use

The land is currently vacant and allocated by the Barnsley MBC Unitary Development Plan as partly Housing Policy and partly Green Belt. The proposed use is residential accommodation for the elderly.

### Access

Access, both vehicular and pedestrian, will be from The Avenue which connects with the adjoining public highway at Park Avenue, immediately adjoining the village centre shops. The Avenue is a wide, tarmac surfaced private driveway used by both vehicles and pedestrians where traffic is travelling slowly and where walkers visiting Wortley Hall and the adjoining park are a regular feature.

It is anticipated that car ownership levels for the almshouses will be low and it is likely that many of the residents will not own a car. It is therefore proposed to construct a small parking area at the lower end of the site where The Avenue joins Liberty Lane. Pedestrian access to the almshouses should be provided by a common footpath from the car parking area. The sloping levels across the site require that there be three independent pedestrian access points from The Avenue to facilitate level access to each of the six cottages.

### Layout and Scale

The attached drawing, Ref P9, illustrates a proposal of six single storey cottages constructed as a traditional stepped terrace following the alignment of The Avenue. The drawing is submitted with the Planning Application for illustrative purposes only but confirms both proposed layout and scale. Each cottage would have a large kitchen/dining room, living room and double bedroom, a central bathroom suitable for wheelchair access and a smaller second bedroom/study capable of accommodating occasional guests. The cottages should be designed with the kitchen window overlooking The Avenue and with the living room and main bedroom facing in a south easterly direction over open-plan common lawned gardens to the rear.

### Appearance and Materials

The attached drawing illustrates proposed appearance and materials to reflect the particular character of the adjoining property at Chimney Cottage and brick walled gardens to the west of Wortley Hall. The design of the cottages should reflect the detail shown in Chimney Cottage, including good quality hand-made brick featured stone gable copings, lintels, sills, mullions and dressings. Roofs should be clad in natural slate, and chimney stacks, if required, should be constructed in brick with stone oversail courses. Twinned suite gables to the front elevation would further reflect the design of the adjoining property.

### Landscaping

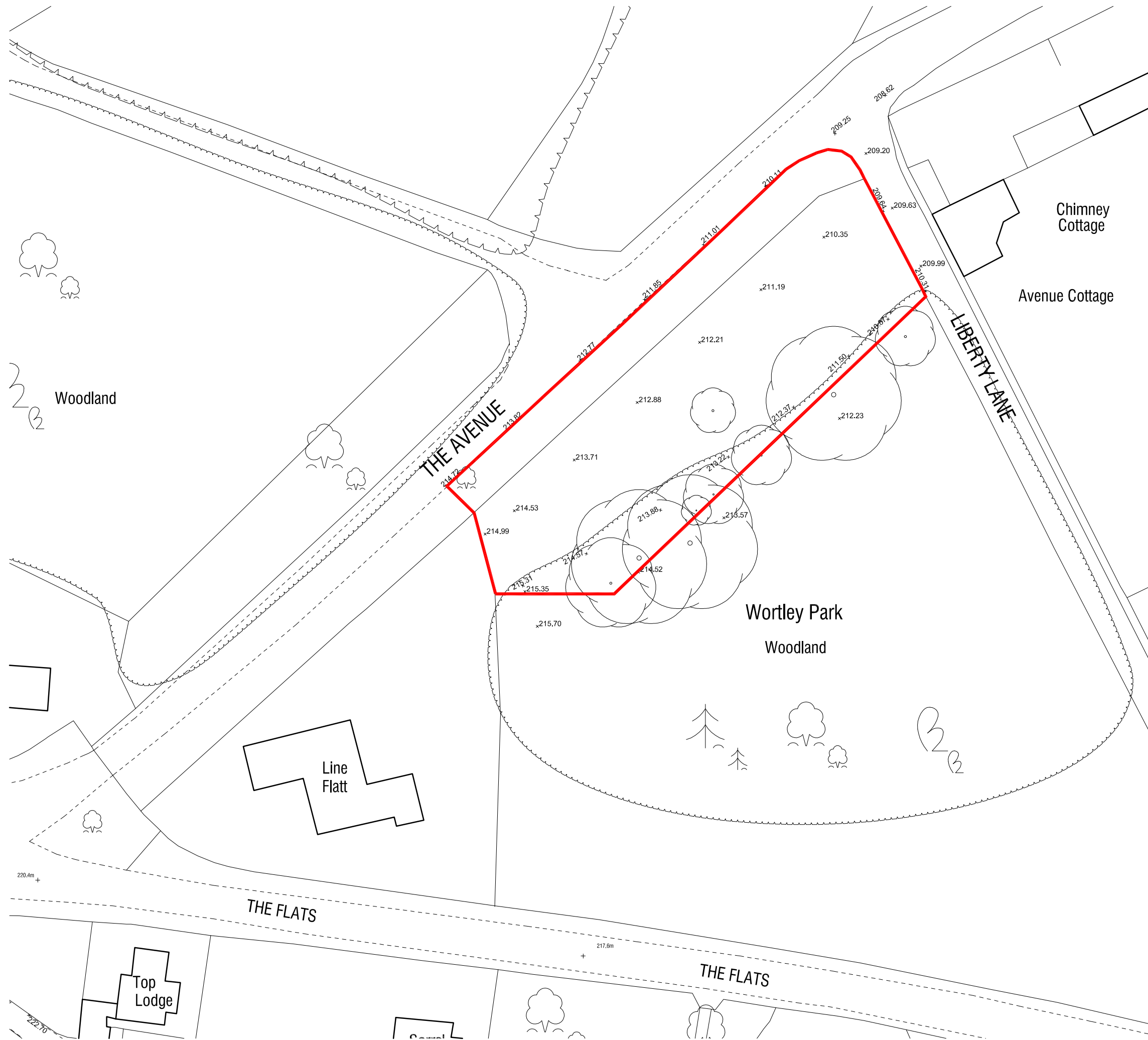
The landscaping of the cottages should reflect their unique location and should allow for open frontage lawned gardens to both the front and rear. Small planting beds inside a private footpath would separate pedestrians from the individual properties and a more formal common rose garden, available to all residents, could be established at the south west end of the terrace.

### Existing Trees

The tree report and implication assessment recommends crown lifting of woodland edge trees to the south east of the site. These trees are part of a managed woodland and are likely to be removed within the next few years once recent planting is established. In the meantime, these trees will be retained with no loss of amenity other than the removal of T28 which is necessary to facilitate development.

### Sustainability

The site is in a sustainable location, close to the centre of the village. New build construction should achieve a minimum Code 3 under the Code for Sustainable Homes.



**Fig 9.5**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITE 9  
THE AVENUE



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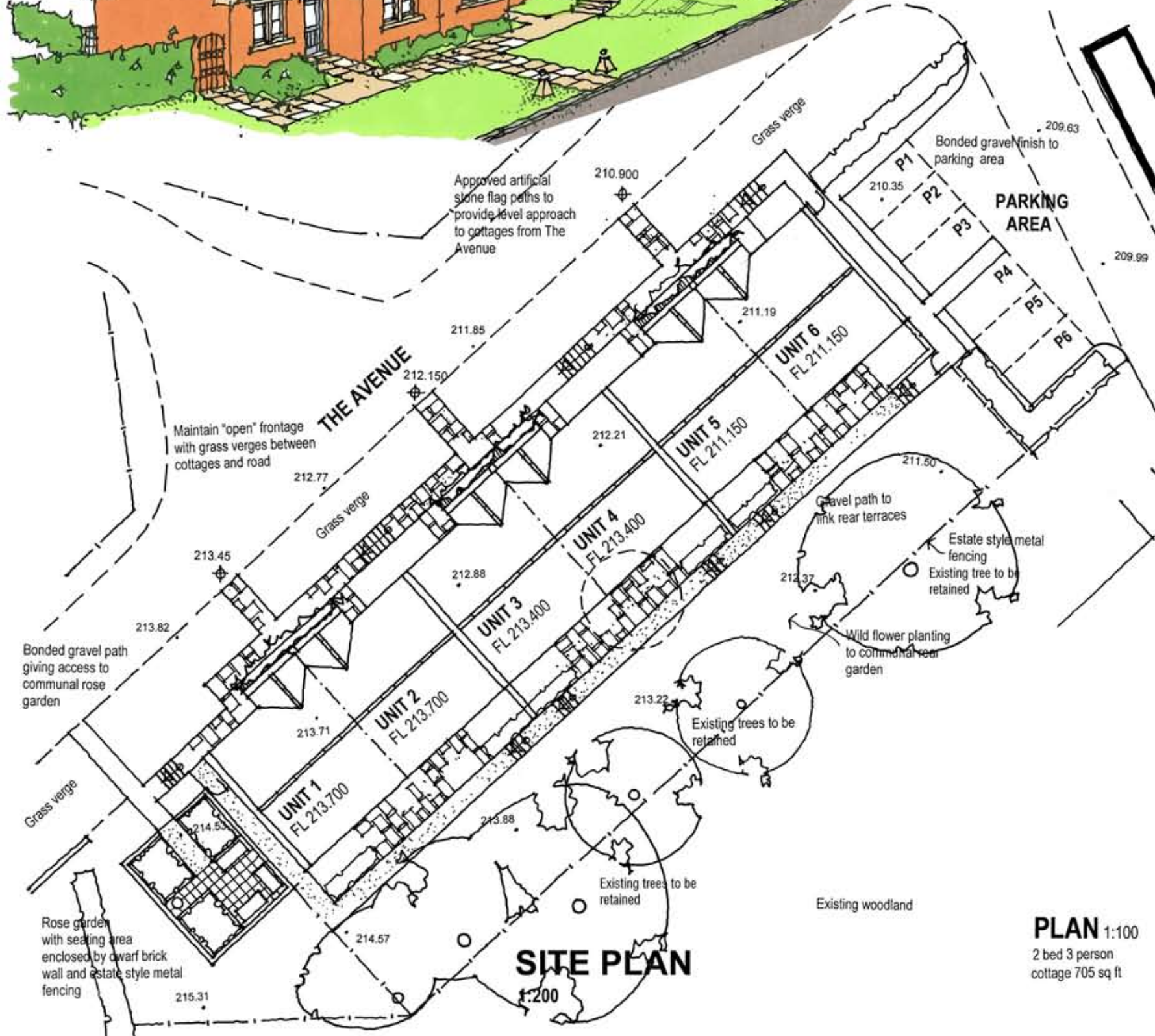
**NORTH WEST ELEVATION**

Facing brickwork to elevations  
flush pointed in natural  
lime based mortar  
Windows and doors to  
be in timber or composite  
timber/aluminium with  
paint finish

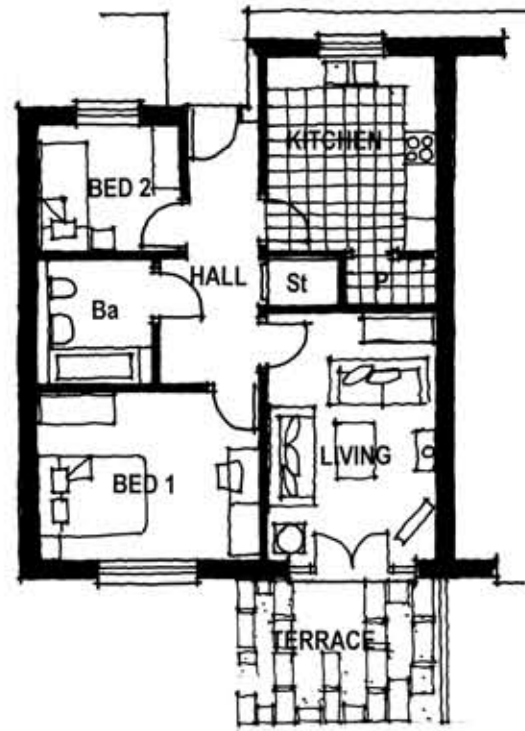


**SITE LOCATION PLAN 1:2500**

**Fig 9.6**



**SITE PLAN 1:200**



**PLAN 1:100**  
2 bed 3 person  
cottage 705 sq ft

**THE WHARNCLIFFE ESTATE**

**WORTLEY VILLAGE DEVELOPMENT PROPOSALS**

SITE 9 - WORTLEY PARK DRIVE



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## Site 10 - Residential

This small site, which covers an area of approximately 0.05Ha, is located immediately adjoining residential Site No 7 and to the north west of the proposed Site No 8. The site is currently used as a part of the village garage and adjoining workshops, although the existing outbuilding is currently empty, overgrown and in a semi-derelict state. A topographical site location plan and photographic record is shown below and a topographical survey in Fig 10.5.

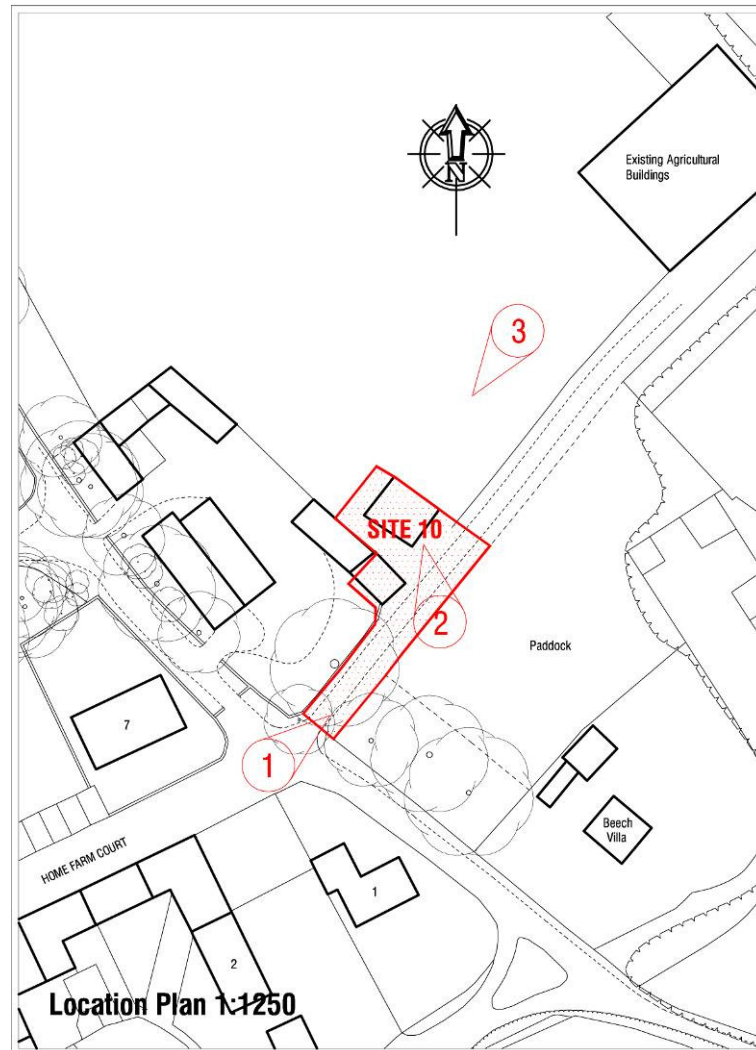


Figure 10.1

### Proposals

This site, which stands immediately adjoining the private roadway running in a north easterly direction opposite the Home Farm complex, is ideally placed to allow the construction of a small cottage specifically aimed at accommodating a village caretaker employed by the Wharnccliffe Estate. The land is outside the Conservation Area and the Green Belt and the predominant adjoining use is residential. The Wharnccliffe Estate require the services of a caretaker to assist with advice on the day-to-day maintenance of retained house and cottage property, the coordination of grass cutting and general maintenance duties throughout the village and, in the future, to provide security and control over the proposed new work space which it is intended should be provided on employment site No 11.

Fig 10.6 drawing No 10 illustrates indicative proposals for the Estate worker's cottage.

### Use

The site is currently occupied by a former stone barn used as agricultural storage. The Barnsley MBC Unitary Development Plan identifies the site as Housing Policy. The proposed use is residential.



Figure 10.2 View 1



Figure 10.3 View 2



Figure 10.4 View 3

### Access

Both vehicular and pedestrian access to this site would be taken from the existing private roadway which connects with The Avenue opposite the Home Farm residential complex. The informal nature of the private roadway should be retained, with a grass verge in front of and enclosing dry stone boundary wall, and with private parking spaces provided within a purpose-built and enclosed space. The new cottage should allow for level pedestrian access.

### Layout and Scale

The new cottage should reflect the scale of existing single storey buildings on the site which are to be demolished. The property should have a wide frontage to narrow gable span, a dual pitch roof with central ridge line and, to reflect its individual built character, a flue pipe rather than a masonry chimney stack. Internally, it is proposed that there should be open-plan living/dining kitchen space with two bedrooms and a central bathroom.

### Appearance and Materials

To reflect its unique use, it is proposed that this site should be developed with a timber framed property featuring external cladding in indigenous larch. The roof should be clad with approved artificial blue slate and external doors and windows should be vertically boarded and casement type with a stained finish to match the adjoining external cladding. The front elevation of the property should be built in close proximity to the existing access road to reflect traditional streetscape throughout the remainder of the village and there should be a small, enclosed private garden to the rear.

### Landscaping

Whilst dry stone boundary walls will enclose the property at its frontage and from the adjoining residential development on Site No 7, a softer rural boundary made up of a native hedge should form the north west and north easterly division between the site and the adjoining grass paddock, Site No 17.

### Existing Trees

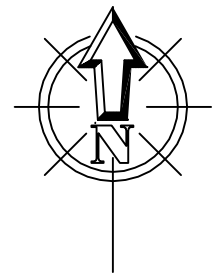
The tree survey and implication assessment indicate that no trees will be affected by this proposal. It is proposed to plant an avenue of lime trees to the north western side of the private road from the eastern corner of this site up to Site 11.

### Protected Species

A bat survey, prepared by Eric Bennett Consultancy, concluded that one of the existing buildings on the site (to the south) had no potential for use by bats and that whilst the other had some potential for use under the edge of roof slates and in gaps in pointing in the gable wall, there was no evidence to suggest the presence of a summer roost. The report states that crevices may be used by hibernating bats but, on the whole, no negative impact of development is predicted. No signs of barn owl or nesting swallows were noted.

### Sustainability

The site is in a sustainable location, close to the centre of Wortley Village. New build construction should be designed to achieve Code for Sustainable Homes level 3.

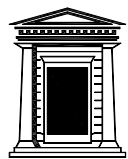


**Fig 10.5**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITE 10  
EXISTING OUTBUILDINGS



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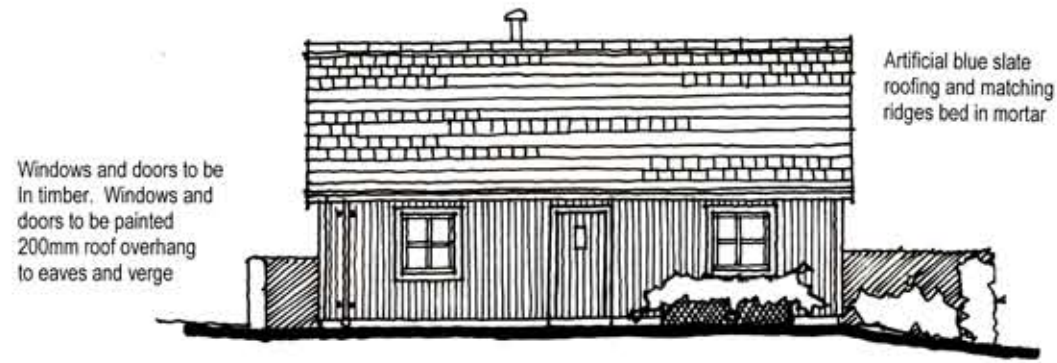
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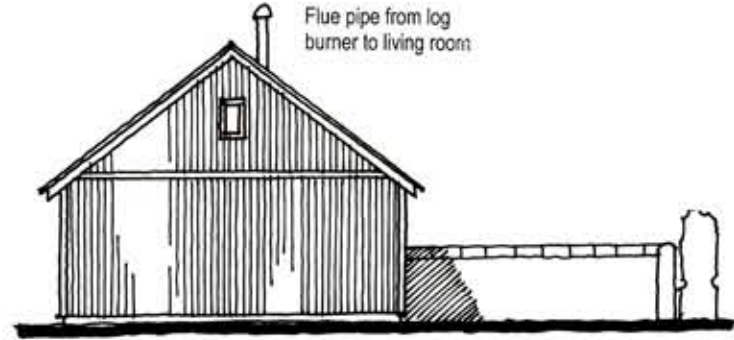
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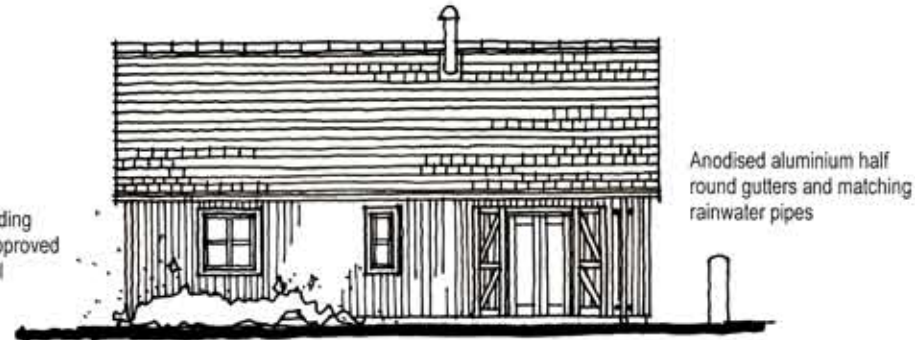
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**SOUTH EAST ELEVATION**

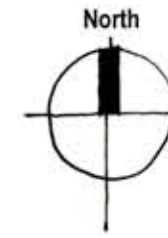


**NORTH EAST ELEVATION** (Typical side elevation)



**NORTH WEST ELEVATION**

Glazed doors to rear with full height timber shutters



**SITE LOCATION PLAN 1:2500**



**Fig 10.6**

- 214.07 Existing Level
- ⊕ 215.72 Proposed Level
- - - Existing building to be removed

Plant mixed thorn and holly hedge to boundaries as shown

Plant avenue of Lime trees

Vertical timber boarding in larch or similar approved on timber frame wall construction

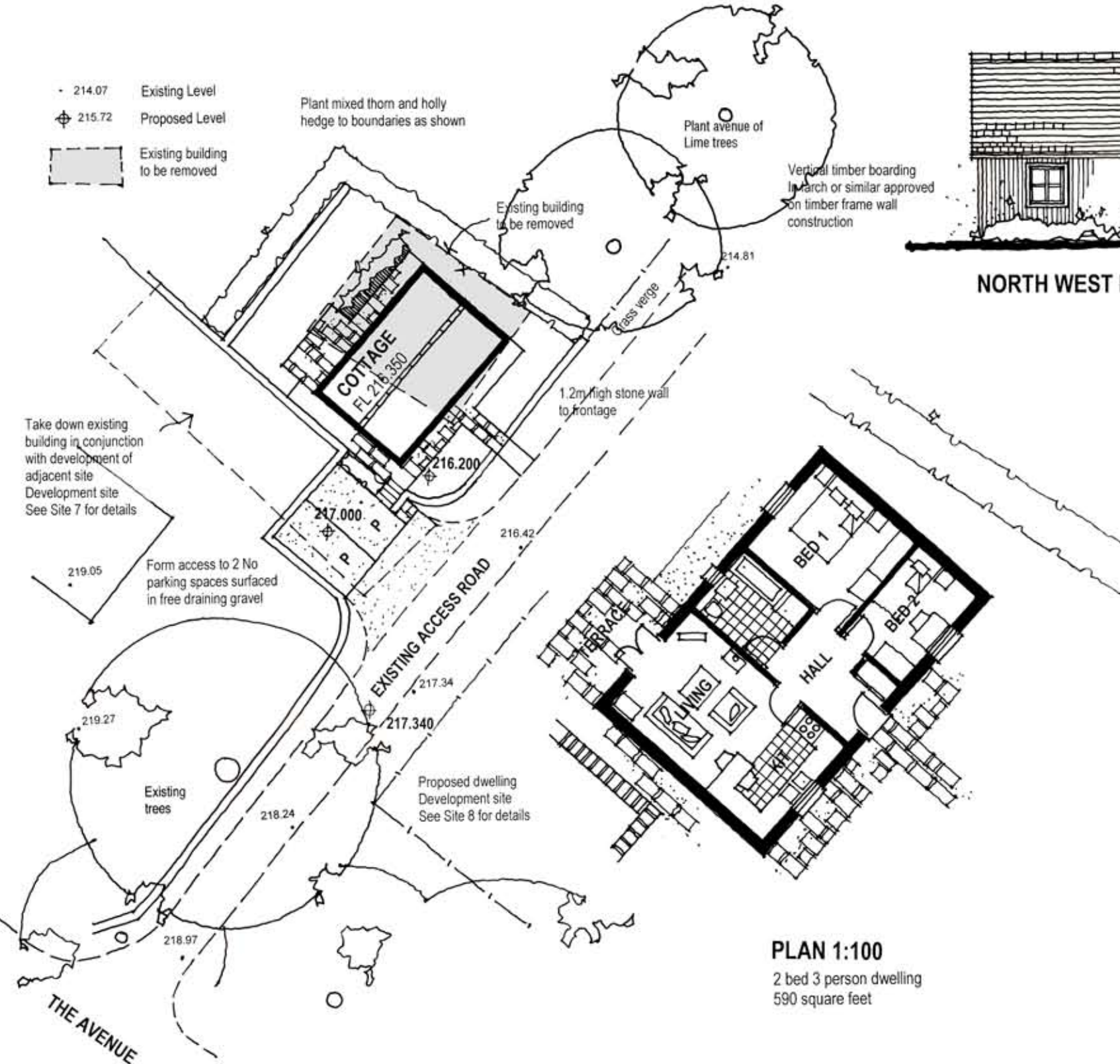
Existing building to be removed

1.2m high stone wall to frontage

Take down existing building in conjunction with development of adjacent site  
Development site  
See Site 7 for details

Form access to 2 No parking spaces surfaced in free draining gravel

Proposed dwelling  
Development site  
See Site 8 for details



**PLAN 1:100**

2 bed 3 person dwelling  
590 square feet

**THE WHARNCLIFFE ESTATE**

**WORTLEY VILLAGE DEVELOPMENT PROPOSALS**

SITE 10 – ESTATE WORKER'S COTTAGE



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**Site 11 - Employment**

The site is currently occupied by agricultural buildings which are essentially used during the lambing season and to provide occasional storage for machinery. The site area, including the access road, is 0.34Ha.

The buildings are under-used and no longer required for agricultural purposes. It is proposed to relocate the farming activities to new or existing farm buildings within the Estate.

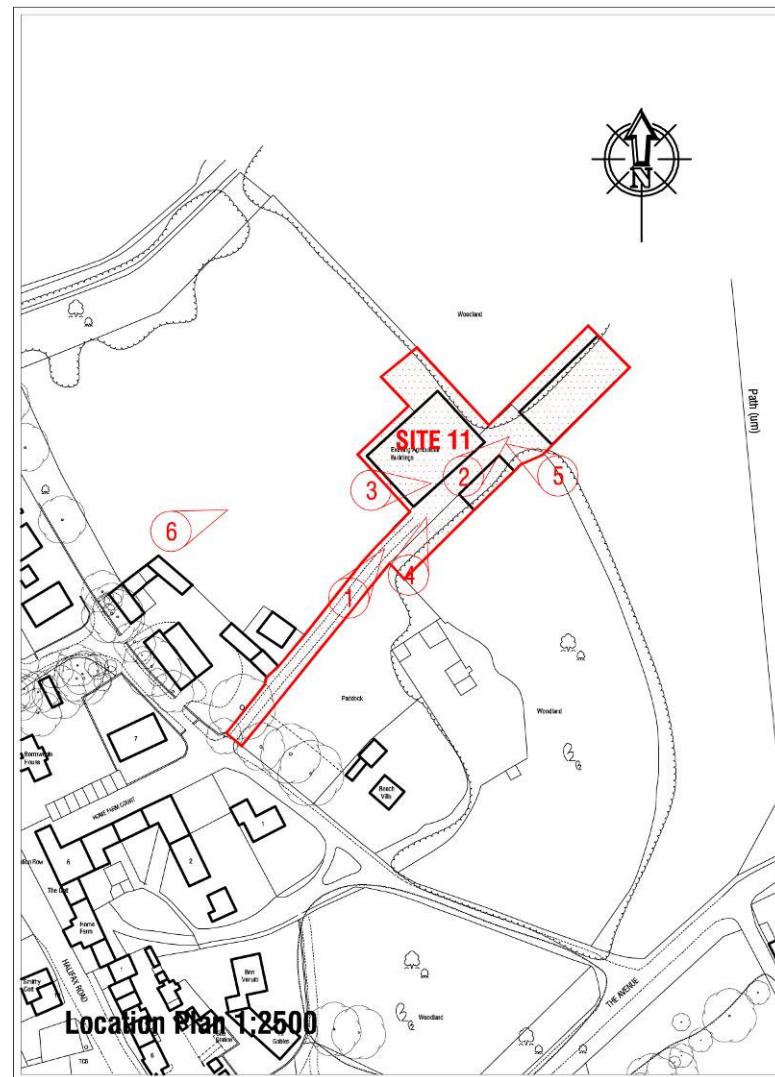


Fig 11.1



Fig 11.2 View 1



Fig 11.3 View 2



Fig 11.4 View 3



Fig 11.5 View 4



Fig 11.6 View 5



Fig 11.7 View 6

**Proposals**

The site is well located on the periphery of the village, outside the Conservation Area but within the Green Belt. The existing buildings have potential for conversion to an alternative use and, in accordance with preferred Government and Local Planning Authority guidance, it is felt that a future employment use would be most appropriate.

As a part of the village "master plan" proposals, the Wharnccliffe Estate are anxious to provide for future employment and would like to be in a position to attract tenants looking for modern workshops, craft units or rural offices.

Whilst the existing buildings are convertible, it is felt that it would be more appropriate to consider how they might be replaced, over their existing footprint, with buildings of less volume and impact upon the surrounding Green Belt and with a particular agricultural aesthetic appropriate to their rural setting.

Drawing No P11 in Fig 11.9 provides illustrative guidance as to how the site might be redeveloped to create a range of up to eight individual units, each with an internal floor area of between 600sq ft (55.76m<sup>2</sup>) and 1,800 sq ft (167m<sup>2</sup>) and with attached car parking and general service vehicle manoeuvring space.

New units should be flexibly designed so that more than one can be amalgamated together to create a greater square footage should this be required, they should be of single storey construction, built in materials appropriate to their rural surroundings and should be designed in such a way that car parking and servicing is inward looking. The buildings should reflect the most up to date design guidance with regard to the construction of new agricultural or employment buildings within the open countryside and should seek to attract new tenants looking for a rural location, but within easy travelling distance of the surrounding conurbations via the excellent local road network.

**Use**

The site is currently occupied by agricultural buildings and allocated with the Barnsley MBC Unitary Development Plan as Green Belt. It is proposed to develop the site as a mixed use of workshops, craft units and offices.

**Access**

Access to the site is to be provided by the existing private roadway which connects with The Avenue. The roadway currently has an informal character which includes grass verges in front of dry stone boundary walls. Some isolated widening will be required to allow for passing over the length of the roadway and tarmac surfacing will be needed to avoid dust impacting upon adjoining residential property. A low level of car and service vehicle use is anticipated.

**Layout and Scale**

The site is currently sub-divided into two parts, with two major ranges of agricultural buildings, with a third open-fronted pole barn.

Drawing P11 illustrates an enclosed courtyard of smaller workshops and offices occupying the site of the larger agricultural building and a pair of larger workshops, constructed over approximately 70% of the footprint of the existing building, Units 7 and 8, at the north east of the site. It is proposed that the existing pole barn should be removed and replaced with a number of parking spaces. The new building should be single storey with a 3m eaves height and with dual pitch roof around a central ridge line. Inward facing access doors to the courtyard buildings, Nos 1-6, will ensure that the outer elevations do not impact on the adjoining paddock land or surrounding Green Belt.

Development of this site must be undertaken to ensure that the character and openness of the surrounding Green Belt is not affected. The new buildings should have no greater impact than the existing and, through careful design and the choice of appropriate natural materials, should enhance their setting.

**Appearance and Materials**

It is envisaged that new workshops should be constructed with external walls built of natural stone, larch timber boarding, high level glazing systems with stained timber surrounds and with roofs clad with a modern, dark grey, raised seam, pre-insulated roof cladding featuring solar voltaic panels on south facing slopes.

The new buildings should have an agricultural character, a maximum 3m eaves height and a roof pitch of at least 22.5°.

**Landscaping**

It is not proposed that there should be any formal landscaping surrounding this site but that it should be enclosed with a native hedge and inner gravel border. A new dual avenue of lime trees should be planted to the access roadway to reflect existing avenues elsewhere within the village.

**Existing Trees**

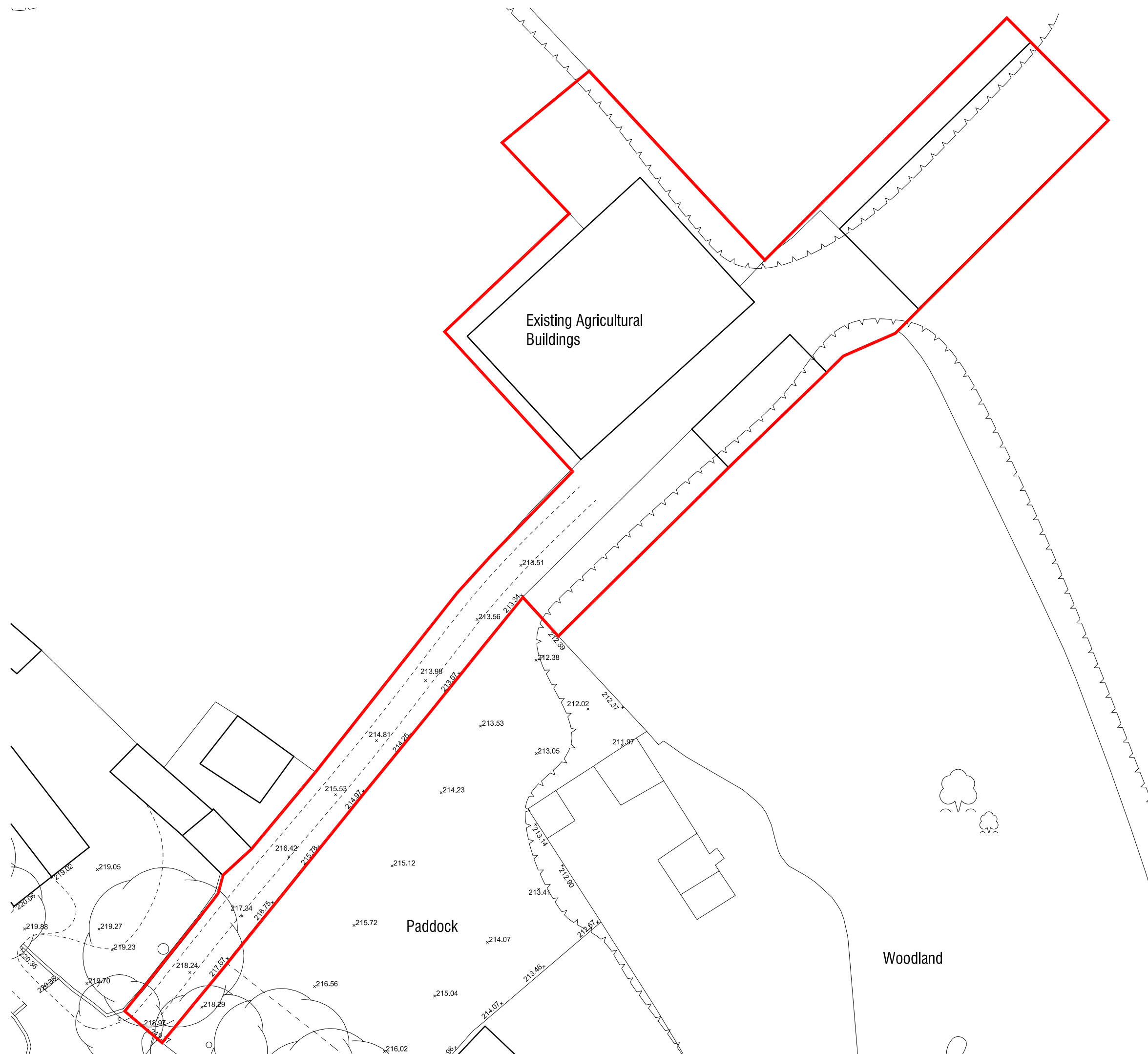
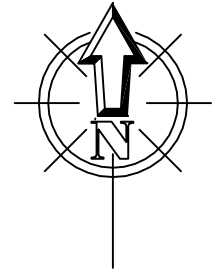
There are no significant trees within the site boundary. There are a number of trees which overhang from adjacent land as can be seen in the photographs. New buildings do not extend the existing footprint and the new parking area to the north is already served by an existing concrete road which will avoid new construction within the root protection area. The adjoining trees would benefit from some tree crown lifting to remove some of the overhanging branches but the works can be carried out without existing trees being significantly affected. Further details are provided within the report from James royston, arboricultural consultant.

**Protected Species**

A bat survey by Eric Bennett Consultancy concluded that the existing buildings, which are of steel-framed construction with corrugated roof sheeting, had no potential for bats or other protected species.

**Sustainability**

The site is close to the centre of Wortley Village and provides a sustainable location for new build rural workshops and offices. The proposed use would encourage employment in a rural location where very little currently exists, giving an opportunity for local people to work close to home.

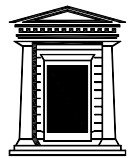


**Fig 11.8**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITE 11  
EXISTING AGRICULTURAL BUILDINGS

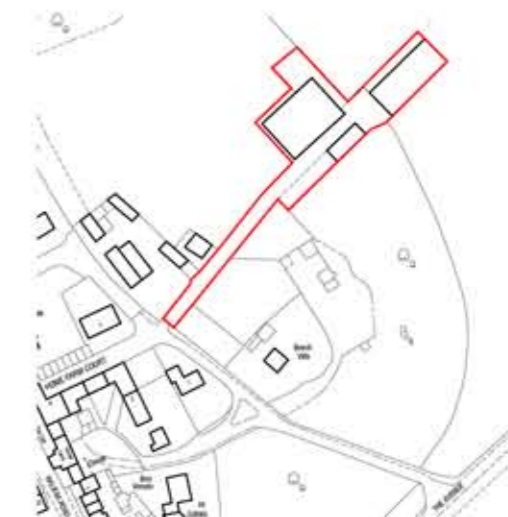
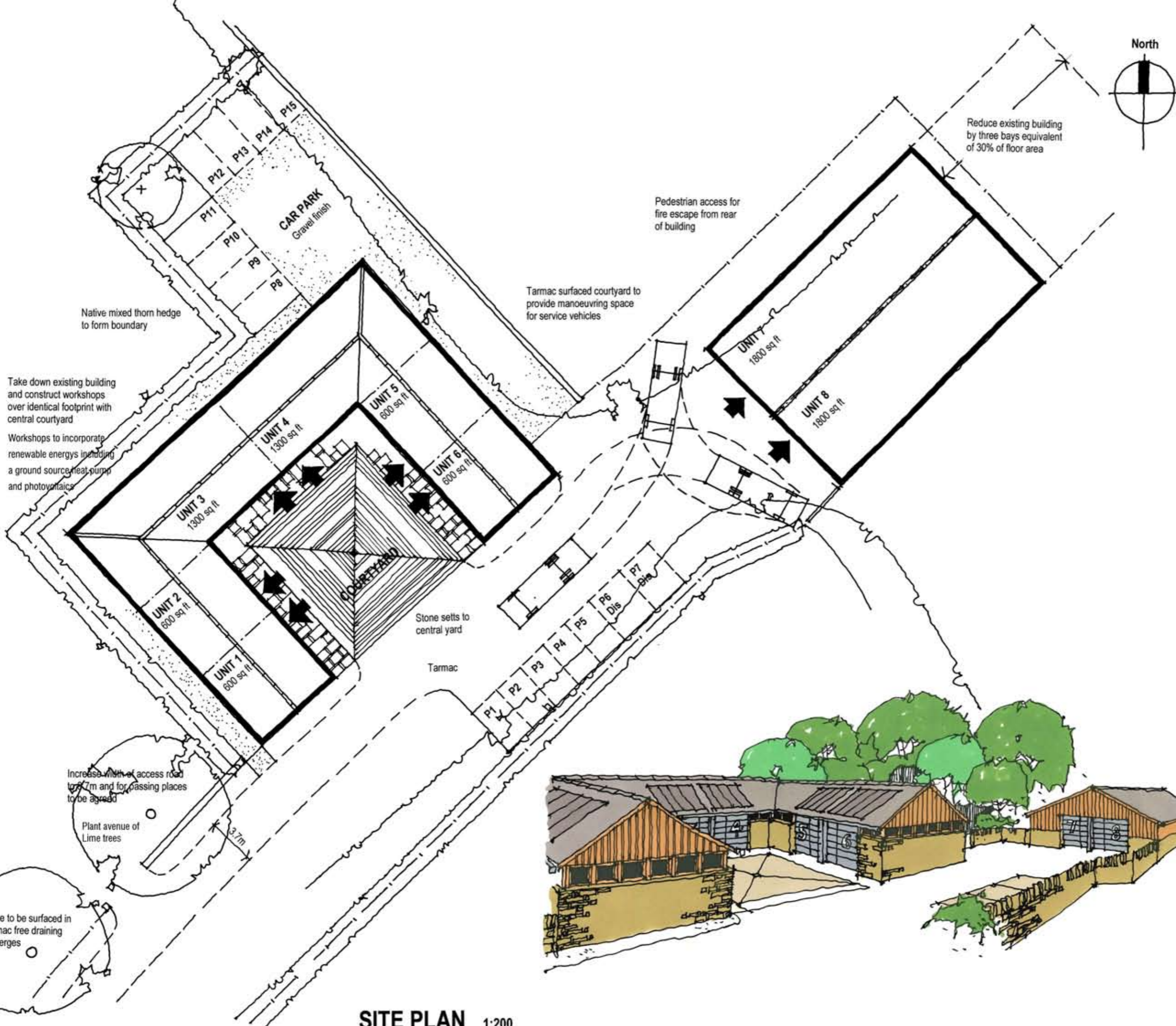


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**SITE LOCATION PLAN 1:2500**



**Fig 11.9**

**THE WHARNCLIFFE ESTATE**

**WORTLEY VILLAGE DEVELOPMENT PROPOSALS**

**SITE 11 - OFFICE & WORKSHOPS**



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**SITE PLAN 1:200**

## Site 12 - Residential

This small site is located to the north east of Wortley Village in an isolated location immediately adjoining the private grounds and policies which surround Wortley Hall. It is occupied by a small building having a floor area of 530sq ft. The site area is 0.05Ha.

An existing building, a small stone-built field barn, is largely redundant to modern agricultural use, although provides occasional storage for wool following sheep shearing.

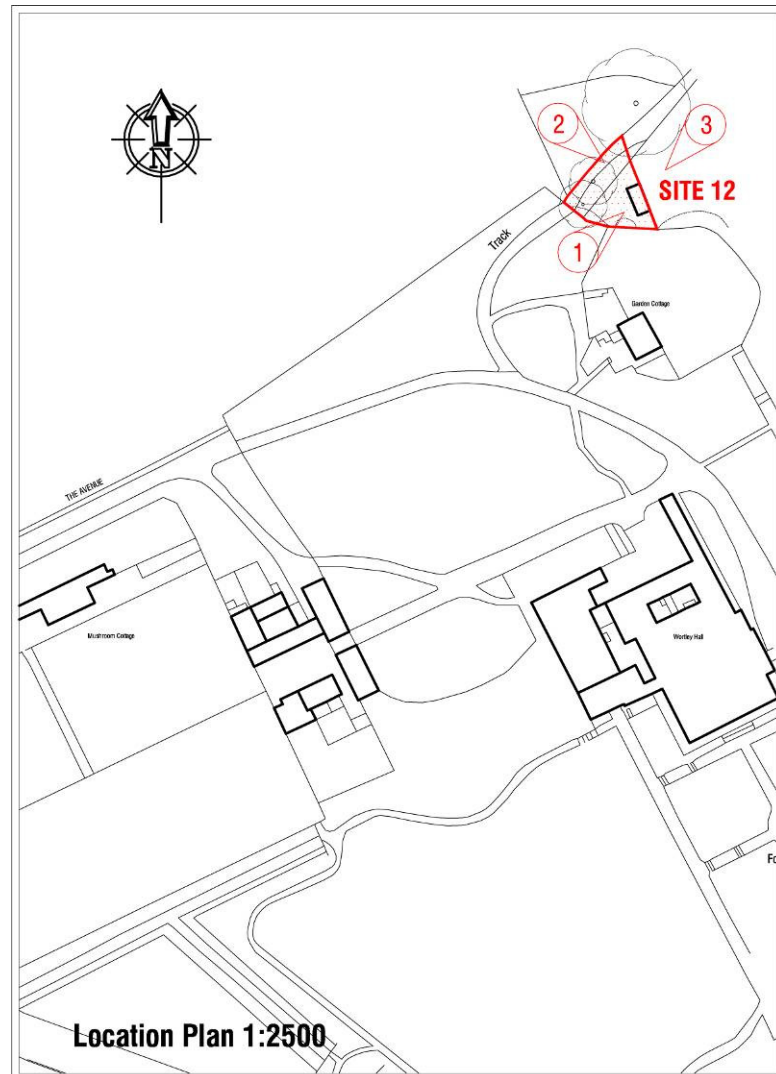


Fig 12.1

### Proposals

As a part of the "master plan" proposals for Wortley Village and the surrounding agricultural land, the Wharnccliffe Estate would like to establish a range of specialist holiday accommodation. They have recently been granted Planning Permission Ref No 2010/0398 for the conversion of a redundant detached field barn at Hollins Wood, Hermit Hill Lane, Wortley, to provide a remote holiday cottage in a unique location. The property, located at residential Site No 12, offers similar potential. The building is in good structural condition, built of natural stone under a stone slate roof and provides sufficient potential for conversion to create a small, one bedroomed holiday unit.



Fig 12.2 View 1



Fig 12.3 View 2



Fig 12.4 View 3

### Use

The site is occupied by an existing, mostly redundant agricultural outbuilding within land allocated by the Barnsley MBC Unitary Development Plan as Green Belt. The proposal is to convert the building to residential holiday accommodation.

### Access

Access to this site will be provided by the existing private roadway over The Avenue and via a track which connects with The Avenue inside the formal gardens to the north of Wortley Hall. Parking for holidaymakers would be provided by a single gravel surfaced parking space enclosed by newly constructed dry stone boundary walls adjoining the gable end of the property.

### Layout and Scale

The layout and scale of the proposed development is established by the existing building. Conversion would not require new door and window openings, or any extension to the length, span or height of the barn.

### Appearance and Materials

The conversion of this field barn to a holiday unit would require very little alteration to the external appearance and existing materials. Existing door and window openings would be retained and re-used. The main barn opening to the south west elevation would be retained and fitted with a combination of full height glass and vertically boarded timber access door to reflect the essential agricultural character. Existing stonework and stone slates to the roof are in good condition and would be retained. Rainwater goods, pointing and general detailing would be in accordance with the guidance provided within the Village Design Guide.

### Landscaping

It is not proposed that there should be any formal landscaping surrounding the holiday cottage. A small area of stone flagged terrace, enclosed by a new build dry stone boundary wall, would provide sitting out space for holidaymakers and the whole of the rest of the site would be retained as open, informal grassland to be cut on an irregular basis.

### Existing Trees

The site is dominated by three large trees. Two of the trees, sycamore, are in good condition with high amenity value, and are to be retained. The third, T34, is a horse chestnut which is in poor condition and the tree survey recommends to pollard or fell.

The proposals do not extend the footprint of the existing building and the existing private road can be utilised for access. The arboricultural implication assessment confirms that the development can be carried out in such a way that none of the trees adjacent to the site should be significantly affected.

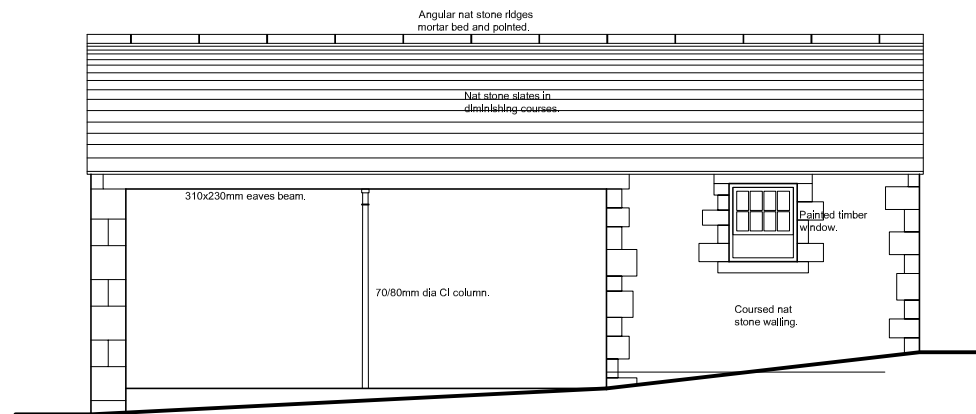
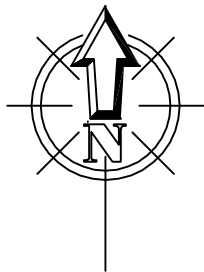
### Protected Species

A bat survey, prepared by Eric Bennett Consultancy, was unable to confirm a bat roost within the buildings. Whilst there was no evidence to suggest a roost, it was reported that there is potential for bat species within this building, and the cavity of an adjacent tree, the most southerly of the three trees shown on the survey plan. There are no proposals to remove this tree. The survey recommends that an emergence survey be carried out in the active season and this should form part of any application for Detailed Planning Permission.

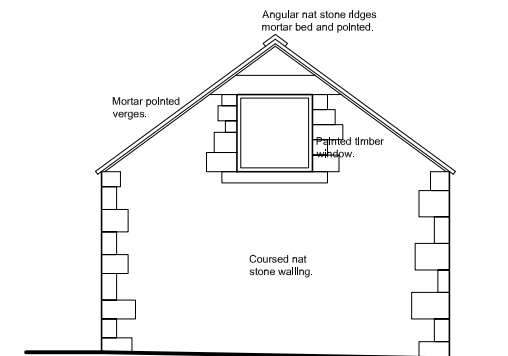
It was noted that the building is currently used by nesting swallows. Whilst this nest site would be lost, numerous alternative nesting sites are available elsewhere on the Estate, and the client actively promotes wildlife habitat as part of its stewardship.

### Sustainability

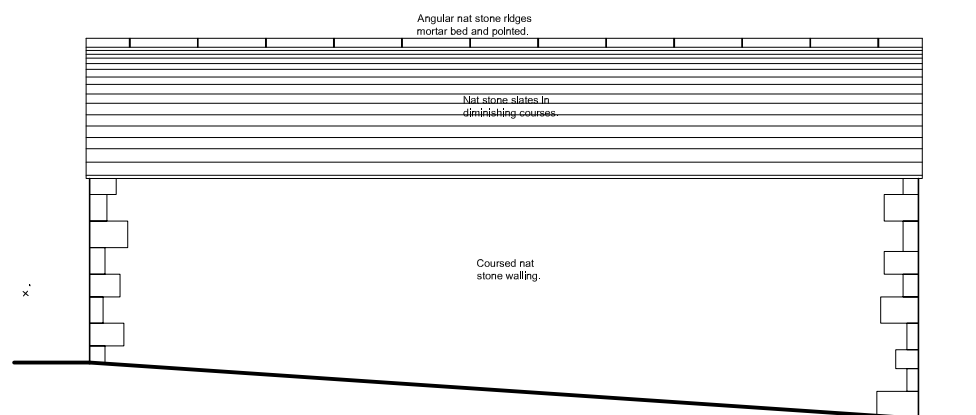
The site is not in a particularly sustainable position. It is semi-remote, but within easy walking distance of the centre of Wortley Village and ideally placed for its particular purpose. The conversion of the barn should aim to achieve level 3 under the Code for Sustainable Homes.



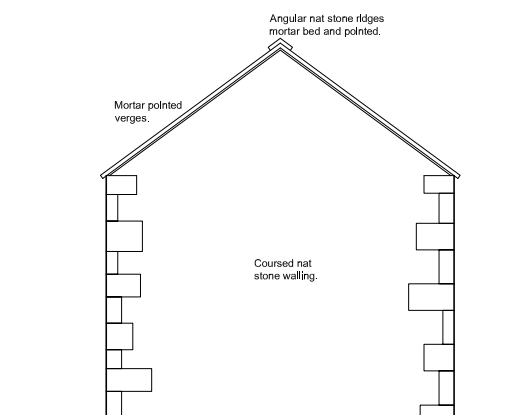
**SOUTH WEST ELEVATION**



**SOUTH EAST ELEVATION**

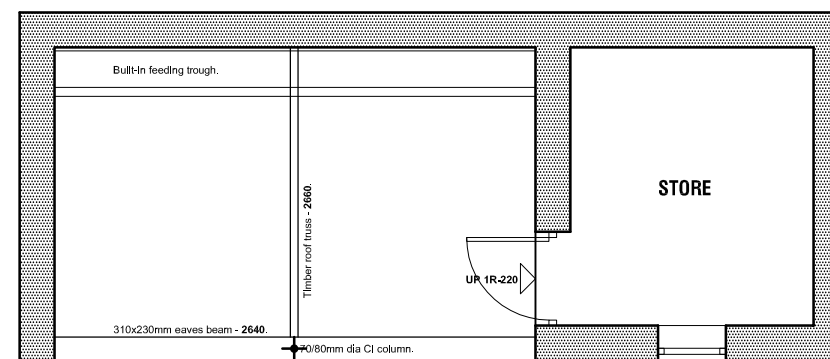


**NORTH EAST ELEVATION**



**NORTH WEST ELEVATION**

**Fig 12.5**



**GROUND FLOOR PLAN**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITE 12  
EXISTING ANIMAL SHELTER



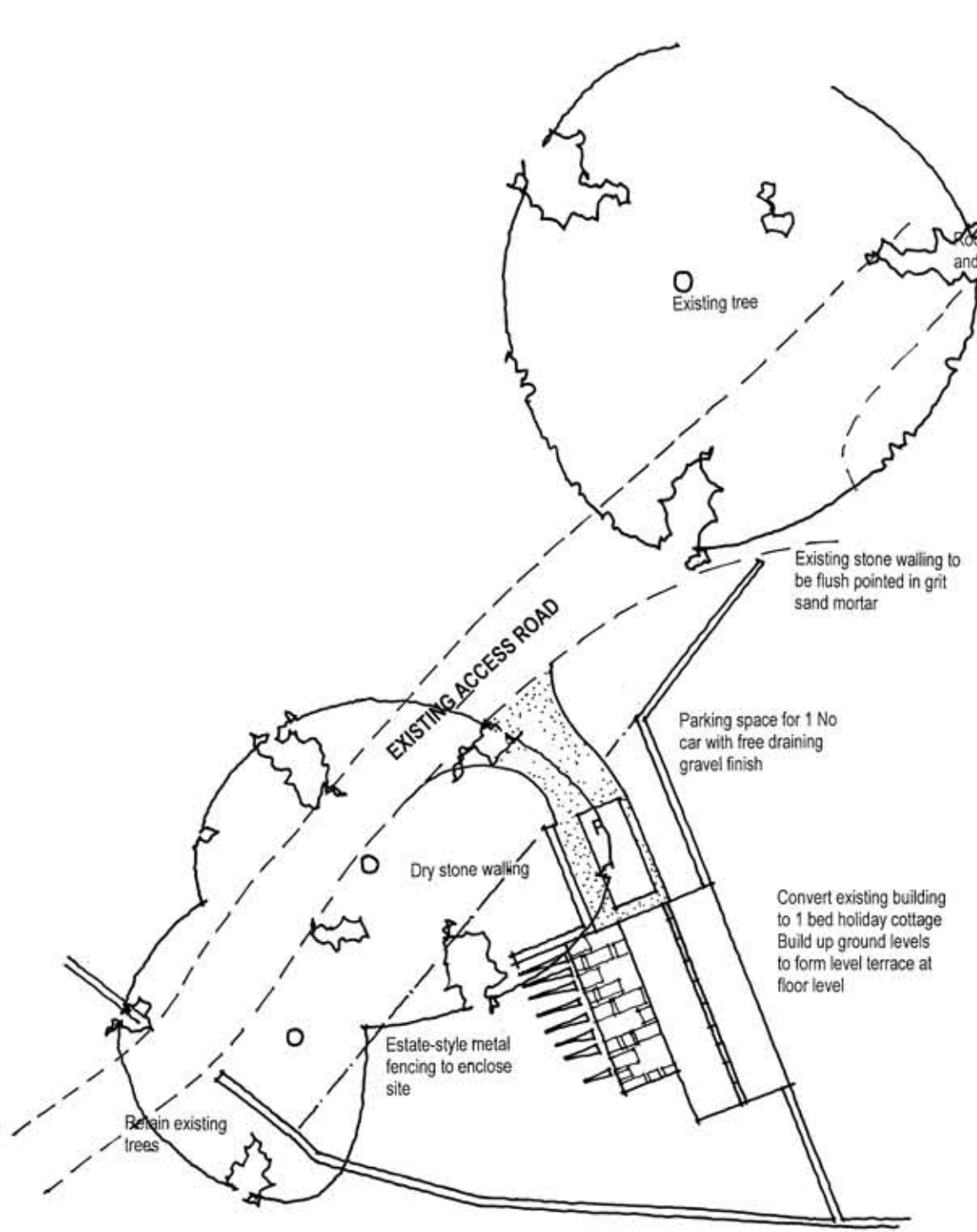
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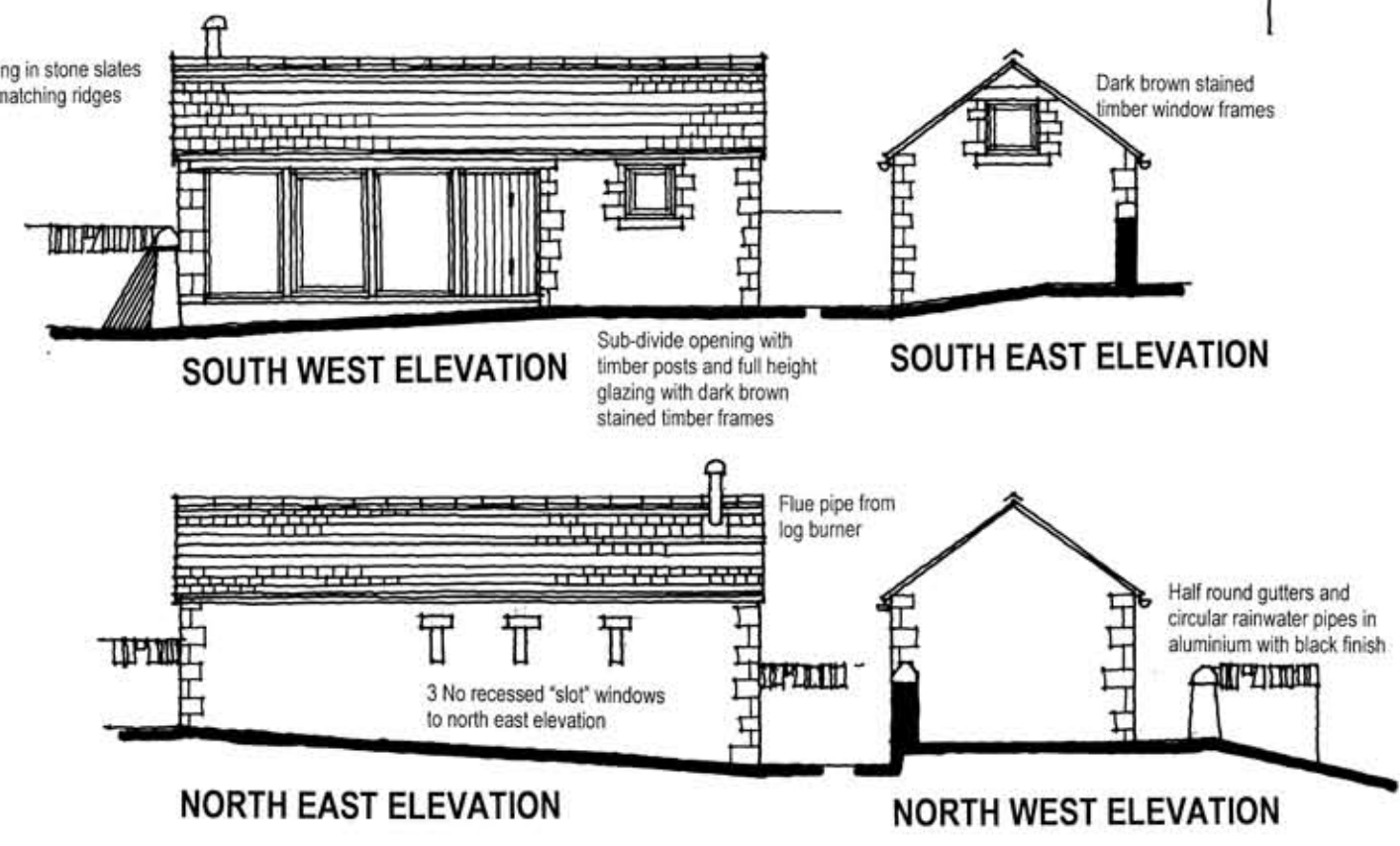
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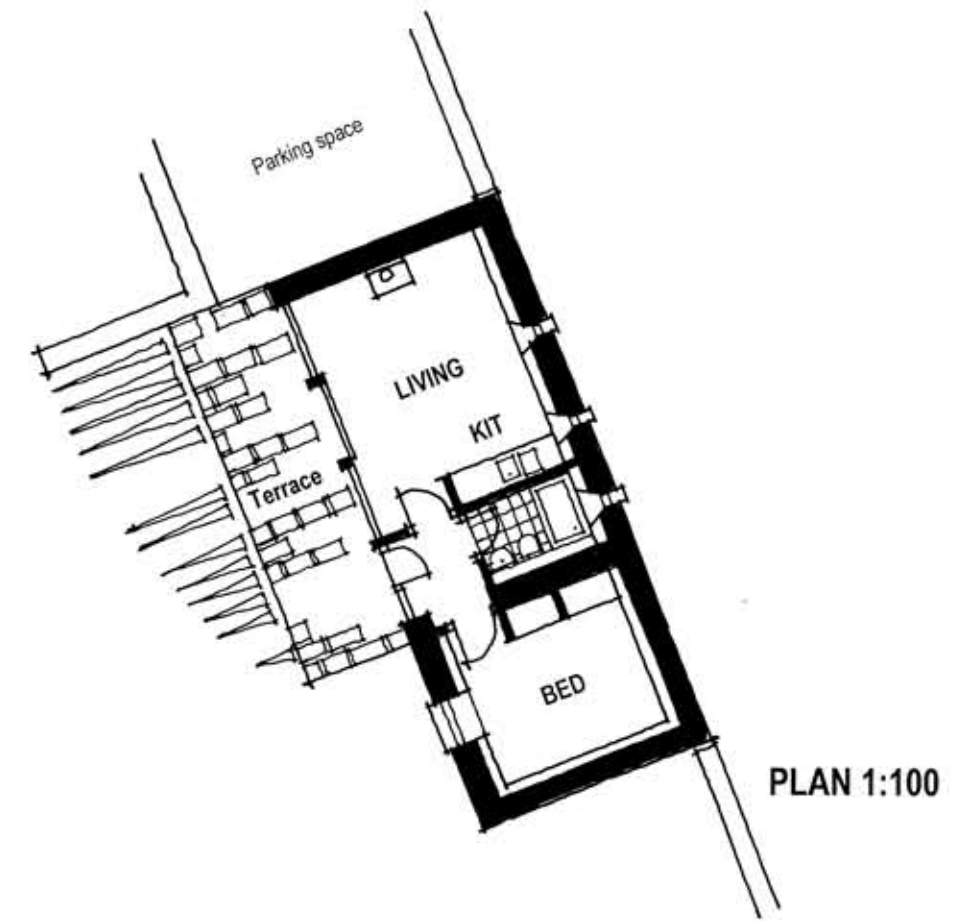
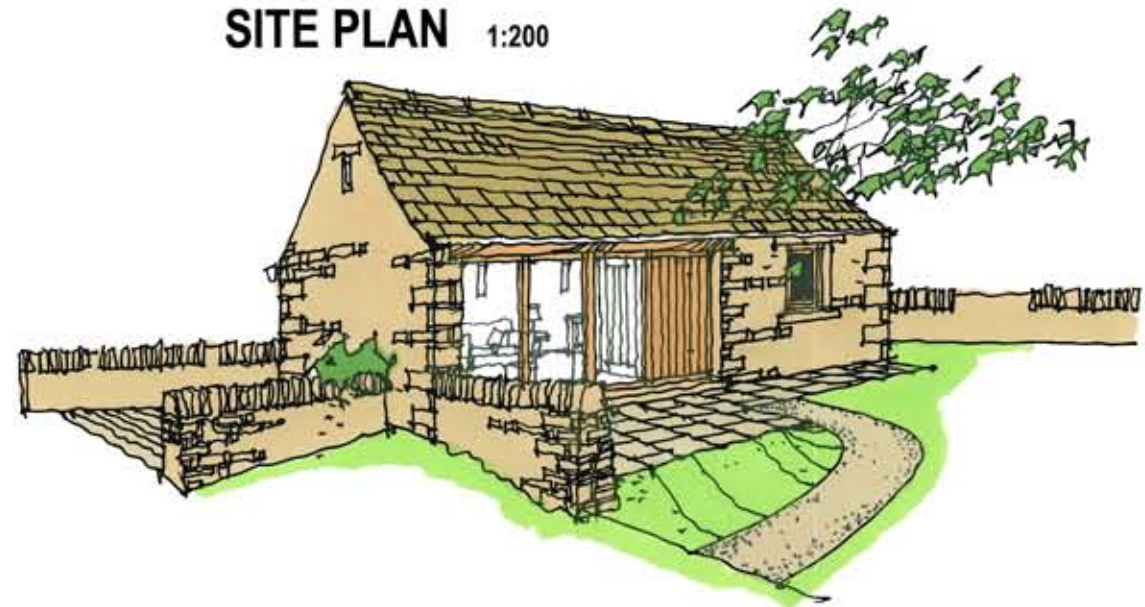
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**SITE PLAN 1:200**



**SITE LOCATION PLAN 1:2500**



**PLAN 1:100**

**Fig 12.6**

**THE WHARNCLIFFE ESTATE**

**WORTLEY VILLAGE DEVELOPMENT PROPOSALS**

**SITE 12 – ANIMAL SHELTER**



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DWG. No <b>P12</b>	Rev.		
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### Site 13 – Woodland Car Park

Site 13 is located within the heart of the village with frontage to The Avenue to the south east boundary and a private access road to the north east boundary. Residential property lies to the south and west. The site has an area of 0.47Ha.

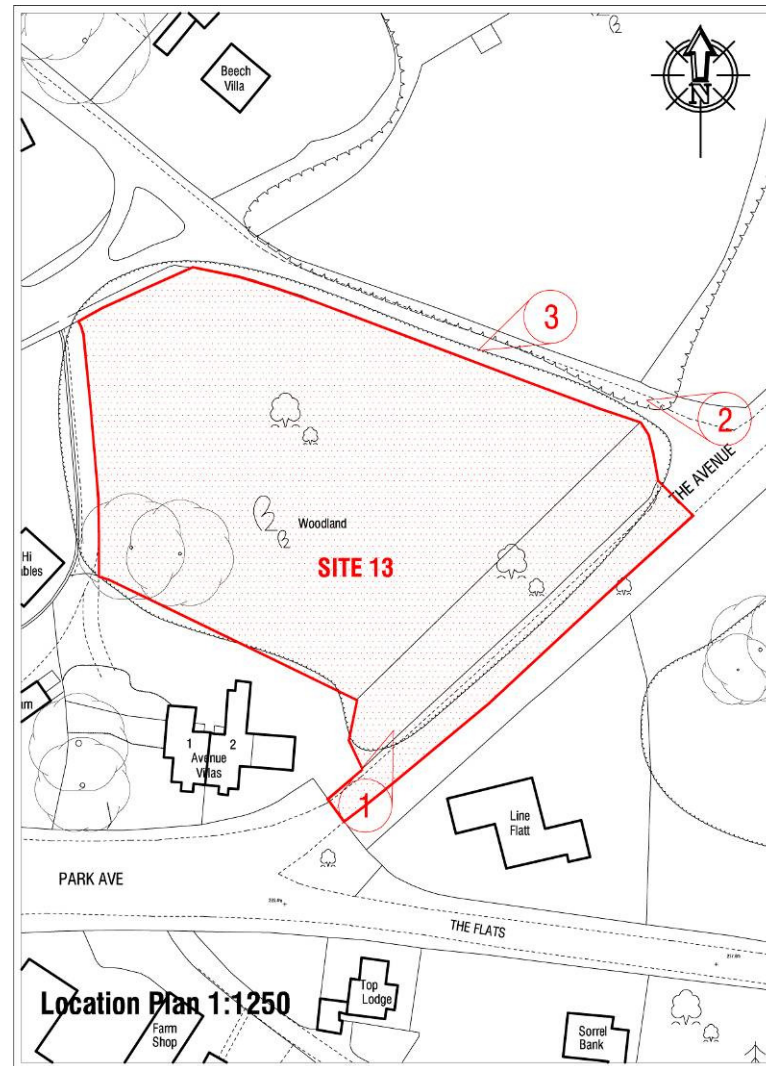


Fig 13.1

A topographical survey of the site has been carried out and a copy is included at Fig 13.5.

#### Proposals

The proposals on drawing Ref P13 in Fig 13.6 illustrate how the existing woodland can be developed to provide a total of 12 car parking spaces laid out in an informal manner amongst the existing trees.

#### Use

The land is currently located within the Green Belt and comprises an area of woodland.

#### Access

Access will be taken from The Avenue which forms the south eastern boundary of the site. Access will be limited to private vehicles intended for use by visitors to Wortley Village and, in particular, walkers. A security barrier will be closed to prevent use of the car park other than during daylight hours to be agreed.

Provision for disabled parking is provided although, on the whole, the random nature of the car park together with levels and proposed surfacing materials will make it unsuitable for wheelchair users.



Fig 13.2 View 1



Fig 13.3 View 2



Fig 13.4 View 3

#### Layout and Scale

The car park is intended to provide a limited number of 12 spaces primarily for walkers in a random fashion between existing trees. The layout has been designed to minimise the effect on existing trees.

#### Appearance and Materials

It is intended that the appearance of the existing woodland will be largely unaffected. All perimeter trees and the vast majority of trees within the site will be retained. Selective thinning of trees is necessary to accommodate parking and will retain the long-term amenity which will be enhanced by use by visitors.

Demarcation, edging and surfacing should be undertaken using natural materials such as log rolls and bollards to delineate the access and parking spaces with surfacing in bark chippings or gravel. The surface materials will be laid as part of a "no dig" form of construction as recommended as part of the arboricultural method statement.

#### Landscaping

Details of new planting where necessary will be included as part of an application for Full Planning Permission and does not form part of these proposals.

#### Trees

James Royston, arboricultural consultant, has prepared a tree survey, arboricultural implication assessment and method statement, all of which are provided as part of this application. The proposals require the removal of 8 No trees within the site which will have no impact on the visual amenity. The AIA confirms the following points.

- **"The effect of the development proposals on the amenity value of trees, both on and near the site.**  
*There will be no significant negative impact on the local tree cover from the proposed development, assuming trees to be retained are adequately protected against damage and disturbance from any construction activity.*
- **Above and below ground constraints.**  
*The above ground constraints include the current and expected size of crowns of existing trees which are to be retained. There should be consideration of the potential for shading, and the potential for direct damage from branches rubbing against buildings etc. On this site, there will be no buildings constructed within influencing distance of trees to be retained. Individual trees will require pruning to facilitate access both for construction traffic and for end user access, but this pruning will be minor and can be done in accordance with BS3998:2010. Assuming there is adequate protection during the construction phase, it is felt that any impacts on the rooting environment of trees will be of little consequence. On the understanding that all development is to be carried out in accordance with a BS5837:2005 method statement, the constraints from trees to be retained have been adequately considered and there is unlikely to be a significant impact on any trees to be retained.*
- **Construction of the proposed development.**  
*An initial assessment suggests that construction of the proposed development will be feasible under the constraints of a BS5837:2005 method statement. On the assumption that construction will be in accordance with a BS5837:2005 arboricultural method statement, there is no reason to suggest that the trees to be retained will suffer any significant detrimental effects from construction activity.*
- **The possibility of modifying the development to accommodate the retention of trees which would otherwise be lost.**  
*No trees of high significance are to be removed under the proposed development. The layout and design of this site has been undertaken in close consultation with ourselves at each stage. There would be no arboricultural benefits to modifying the design or layout any further."*

Geo-synthetics produce a tree root protection system "Cellweb" and a copy of their product literature is shown over. This product has been widely used for clients such as the Lake District National Park Authority to provide road and parking areas within woodland without detrimental effect on existing trees.





Road and parking spaces to be constructed using CellWeb or similar tree root protection system using a no dig technique to minimise the risk of root damage as shown.

Form access from existing private lane. First 10m having tarmac finish (using CellWeb System) to site road varying in width from 3.0 to 6.0m as shown.



Form 12 No parking spaces within Woodland as shown.

Access to the rear of Avenue Villas

Car Park opening to be restricted and closed by barrier or automatic bollards when not in use.

Selective removal of 8 No affected trees and additional trees due to poor quality and woodland management as recommended by the Arboricultural consultant.

**SITE PLAN 1:500**

-  Trees to be retained
-  Trees to be removed

**Fig 13.6**

**THE WHARNCLIFFE ESTATE**

**WORTLEY VILLAGE DEVELOPMENT PROPOSALS**

**SITE 13 – WOODLAND PARKING**



REF: 21.70  
DATE: APRIL 2011  
Drwg No P13

**Chris Carr Associates**

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**SECTION - ACCESS ROAD**

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## Site 14 - Highway Works – Reading Room Lane

Site 14 includes Reading Room Lane and the land on both sides up to the Wortley Arms (PH) and to the rear of the post office and tea rooms. The location plan in Fig 14.12 identifies the extent of the site which amounts to 0.09Ha.

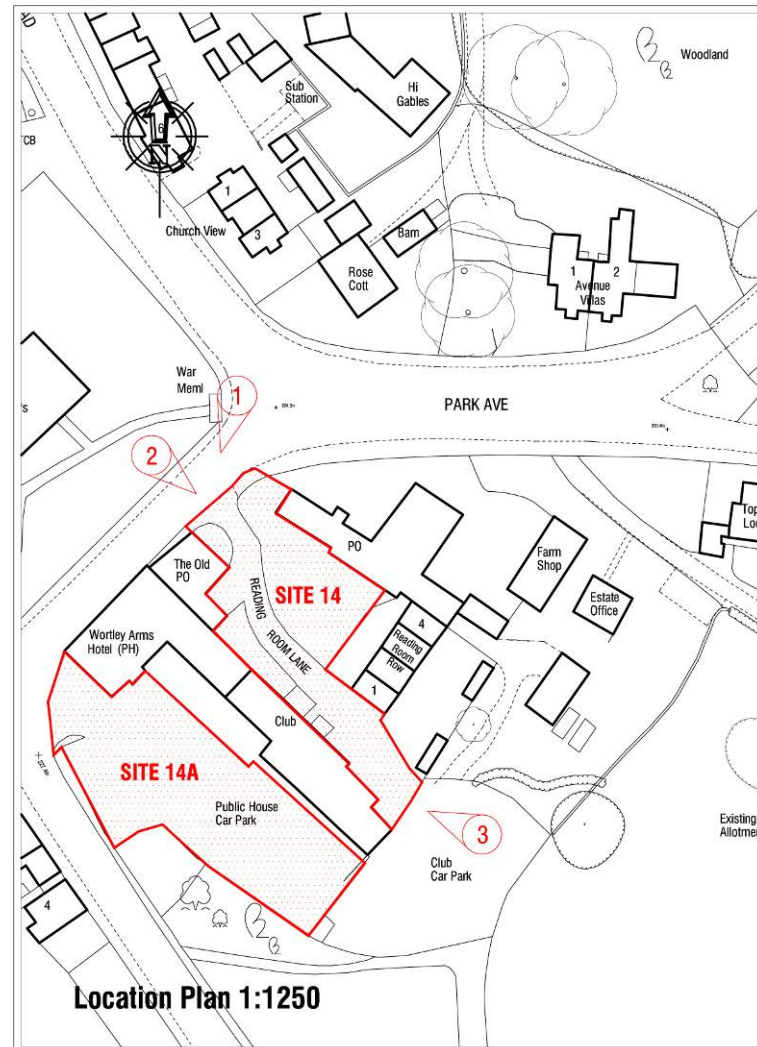


Fig 14.1

### Proposals

#### Site 14

Reading Room Lane currently provides vehicular access to the car park at the rear of the club and vehicular/pedestrian access to the allotment gardens.

The proposals, a copy of which is shown in Fig 14.13, drawing Ref P14 illustrate the closure of Reading Room Lane to vehicular traffic at its junction with Halifax Road, which is sub-standard, and its pedestrianisation to form a footpath link to the new village car park (part of Site 15). Associated works include improvements to surfacing and landscaping to enhance the setting of the existing historic buildings and provide a public square creating open space for use in association with existing local businesses.

Fig 14.13 illustrates possible views of the site and suggests how these might be designed to complement the character of the existing buildings and village setting. Specifically illustrated is the inclusion of a lean-to canopy to the rear of the existing village shop and tea rooms in the form of a mono-pitch roof constructed of timber trusses onto timber posts.



Fig 14.2 View 1



Fig 14.3 View 2



Fig 14.4 View 3

### Use

Existing private road and open space to be altered to pedestrian access only and public open space.

### Access

Reading Room Lane will become pedestrianised and form a link to the village centre car park and bollards at either end will restrict use by vehicles. The dropped kerb at the junction with Halifax Road to the north would be made up and disabled/wheelchair access retained along Reading Room Lane. The potential exists to create an additional pedestrian crossing point across Halifax Road from Reading Room Lane to the Church with dropped kerbs on both sides of the highway subject to detailed design and a safety audit.

### Layout and Scale

Minimal alterations to the road layout will be necessary and scale is unaffected.

### Appearance and Materials

Reading Room Lane is lined by a series of attractive traditional buildings with a mix of stone, render and timber-clad walls, with blue slate, stone slate and red clay tiled roofs. View 1 on drawing P14 illustrates how the open space might look when viewed from Halifax Road and highlights the possibility of extending the existing tea rooms in a southerly direction, and how this might improve the existing rather bland and uninteresting south west elevation of the building. The extension would take the form of a traditional lean-to of timber posts into stone bases supporting an open roof of timber trusses and purlins with a roof covering of stone slates. This will provide a sheltered area of overspill garden for possible use in conjunction with the tea rooms as well as improving the aesthetic.

Artificial stone flag pavings could be used to create further terrace space and Reading Room Lane could be re-surfaced using a bonded gravel as a top dressing to soften the existing tarmac finish. View 2 on drawing P14 shows the pedestrian route viewed from the new access road to the east with bollards in place to restrict vehicular use.

A new external seating area is shown to the south east of the village club which would replace the existing one in the eastern corner of the existing car park and View 3 on drawing P14 illustrates how this would appear, enclosed by a new dry stone wall forming separation from the access road.

### Landscaping

Established landscaping to the north east elevation of the Wortley Arms Public House could be retained in part, although the extent of the site would be the subject of a comprehensive landscaping proposal as part of any detailed design.

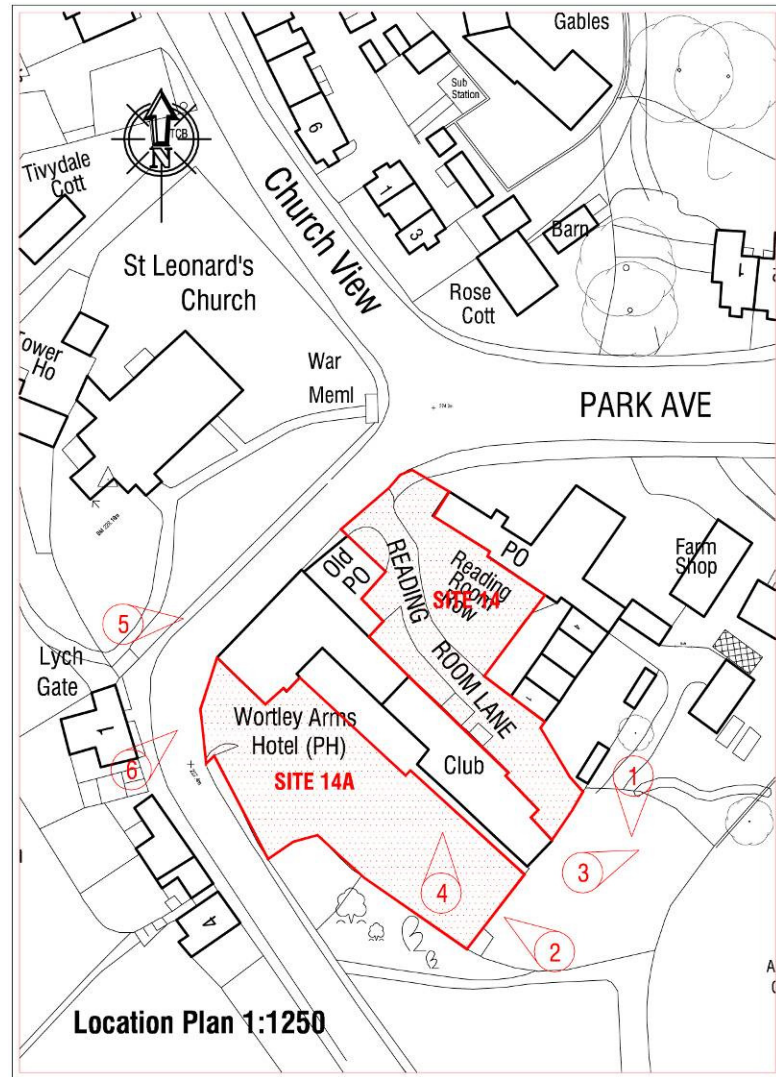
### Trees

The site is without any significant trees. An existing tree located on the lawn to the south west of the tea rooms may need to be removed if the suggested rear lean-to extension goes ahead. In these circumstances, a new specimen tree/s would be planted on the area of green space adjacent as shown on the plan.

**Site 14a – Wortley Arms Public House and Car Parking and Highway Improvements**

The site is located at the centre of the village to the rear of the commercial centre and includes the car park and access to the Wortley Arms Hotel. The site area is approximately 0.11Ha.

The location plan below identifies the site.



**Fig 14.5**



**Fig 14.6 View 1**



**Fig 14.7 View 2**



**Fig 14.8 View 3**



**Fig 14.9 View 4**



**Fig 14.10 View 5**



**Fig 14.11 View 6**

**Background Information**

The existing junction at the main entrance and exit to the Wortley Arms Hotel is sub-standard. The junction is located on a right angle bend in Halifax Road and is potentially dangerous for traffic, both entering and exiting the Wortley Arms car park.

**Proposals**

It is proposed that this junction be amended to entry only in line with the suggestions enclosed within the Village Design Guide and attached plans. Improvements to the junction would not only improve safety but also enhance the existing streetscape and, in particular, the south west gable elevation of the Listed building, as shown on the plan proposals in Fig 14.9, drawing Ref P14, of which View 4 provides a perspective illustration of the improvements.

Vehicles leaving the public house would use the rear exit via the new access roadway created as a part of Site 3. Separate proposals have been submitted in respect of Site 14, Reading Room Lane, where it is proposed to undertake a scheme of pedestrianisation and to discourage traffic from using Reading Room Lane to exit to Halifax Road. The proposals for Site 14 and the Outline Planning Application in respect of Site 3 should be read alongside the proposals for the Wortley Arms car park as all three form a part of a comprehensive village centre redevelopment plan. It is likely that regular visitors, particularly from the north of the village will, in time, use the new access road constructed as a part of Site 3 in preference to the existing access immediately adjoining the Wortley Arms Public House. This will further reduce potentially dangerous traffic movements. Within the car park adjoining the Wortley Arms Public House, it is proposed to retain all existing car parking spaces including the 2 No disabled spaces adjacent the rear entrance to the public house. Sketch scheme proposals are attached as part of a Detailed application which illustrate how the external space within the car park and immediately adjoining the Listed building could be enhanced to provide an attractive terrace and a revised rear entrance to the building, subject to Listed Building Consent.

It is likely that regular visitors, particularly from the north of the village will, in time, use the new access road in preference to the existing access through choice, thereby further reducing traffic movements.

**Use**

The existing use is car parking and an access road. The use remains unchanged.

**Access**

Improvements at the junction with Halifax Road and the restriction to traffic leaving the public house car park via this route will have a positive impact on highway safety. Service and emergency vehicles will be able to access the site and have enhanced turning facilities via the new access road which forms part of Site 3. Disabled parking spaces within the existing public house car park have been retained.

**Layout and Scale**

Details of the layout are shown on drawing No P14.

**Appearance and Materials**

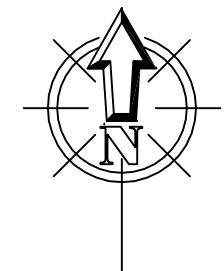
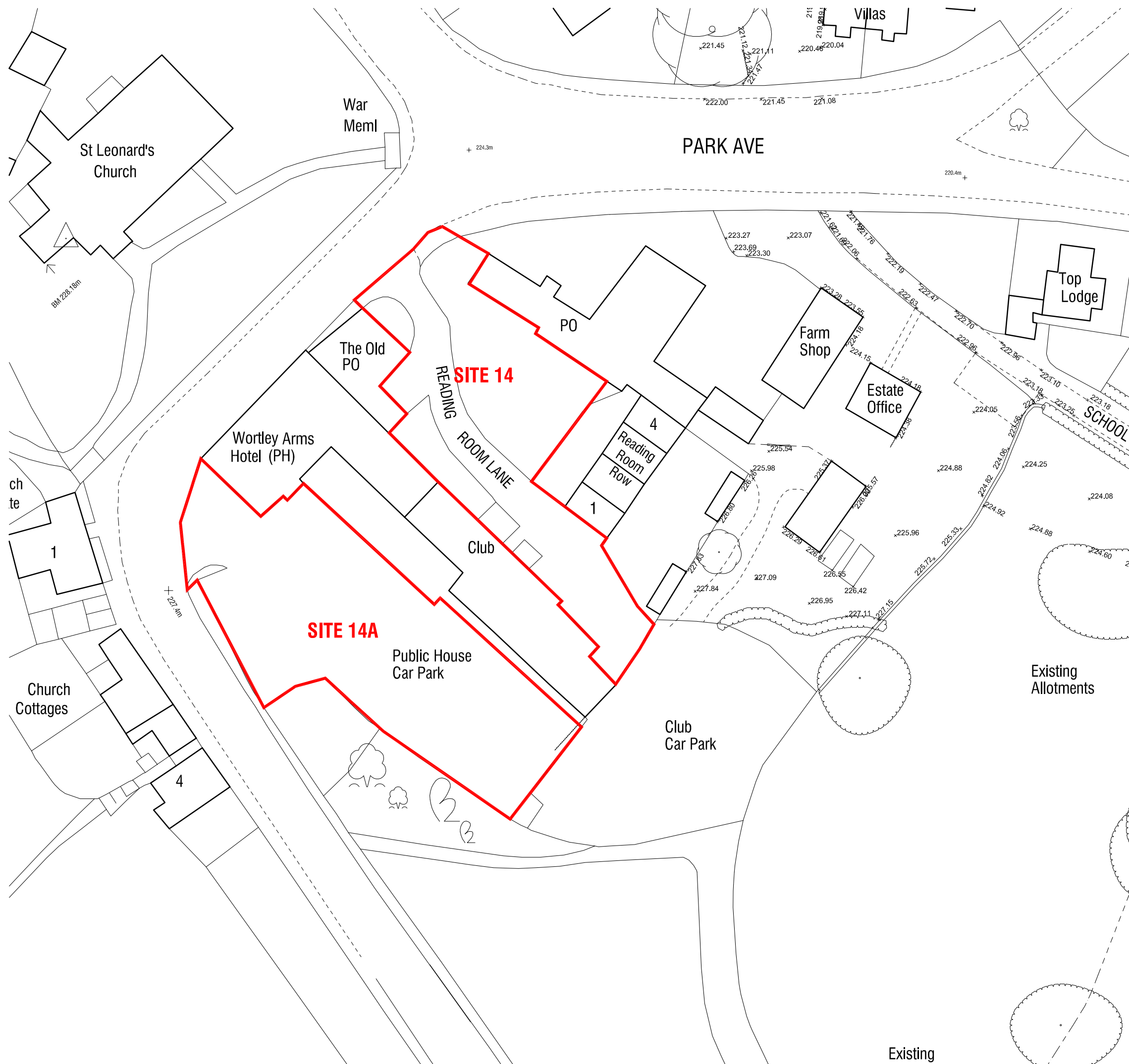
The existing car park to the Wortley Arms Hotel and the club will retain a tarmac finish. Further details of the junction improvements and use of materials will be confirmed, subject to granting of Planning Permission. Details of the materials and specification will also be considered as part of an application for Listed Building Consent as the proximity of the works are likely to have an impact (positive) on the setting of the Listed building.

**Landscaping**

Further details of landscaping will be submitted, subject to the granting of Planning Permission.

**Existing Trees**

The proposals have no impact on existing trees or hedges.

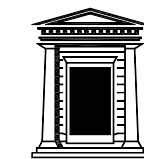


**Fig 14.12**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITE 14 & 14A  
READING ROOM LANE and PH CAR PARK



S14

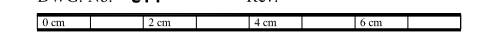
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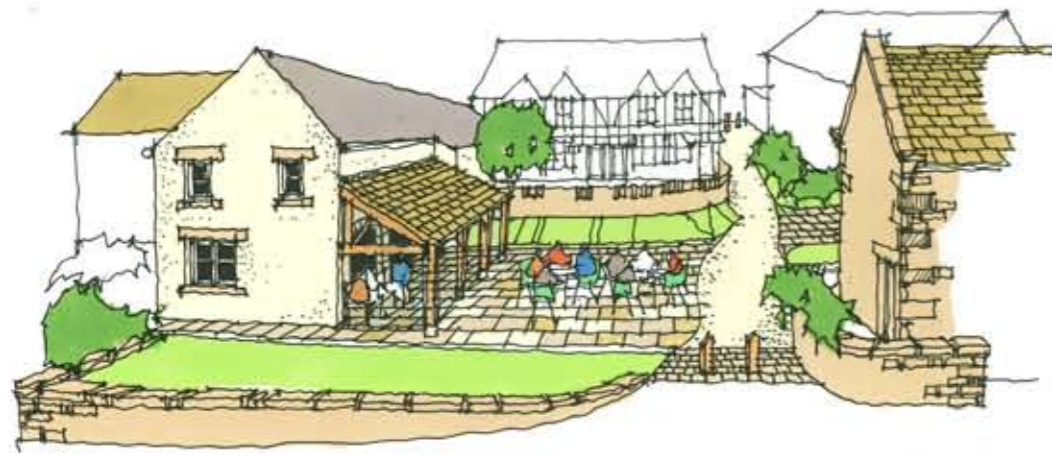
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Existing



View 1



View 2



View 4



View 5



BLOCK PLAN 1:500

Fig 14.13

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**PROPOSALS**

SITE 14 & 14A  
READING ROOM LANE & THE WORTLEY  
ARMS CAR PARK



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## Site 17 – Proposed Sports and Leisure

The site is situated at the northern edge of the village with frontage along the northern boundary to Hermit Hill Lane. It has an area of 1.46Ha within the red line boundary shown below including the private land to the south. A 1:1000 scale plan of the site is shown in Fig 17.5.

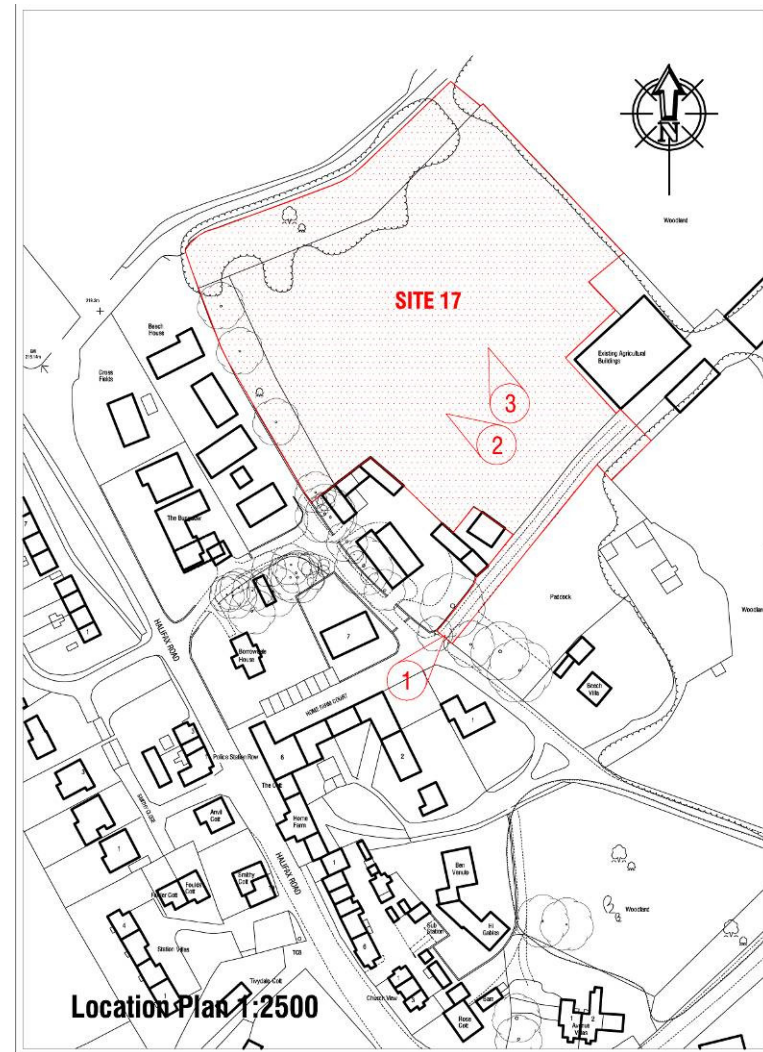


Fig 17.1

### Background Information

There is an existing sports ground located approximately 0.32km to the south west of the village and with access off Finkle Street. Pedestrian access is available via the existing public footpath network from the village centre but is little used due to the remote location of the sports ground and the difficulty of pedestrians first having to negotiate a road crossing over the busy Halifax Road.

Initial research in support of the "master plan" proposals highlighted a need for future village recreational space and indicated the possibility of using paddock land to the north of the village to provide a new village green/recreation ground. A public meeting with the residents of Wortley introduced the idea and a number of residents indicated that they felt no further sports or recreational facility was required.

The Estate believe that there is merit in providing land for public open space close to the centre of the village that is more easily accessible than the existing sports fields. This site has been identified as being suitable for this purpose in the long term. It lies within a short walk of the majority of properties within the village and would be of considerable benefit to the community.



Fig 17.2 View 1



Fig 17.3 View 2



Fig 17.4 View 3

### Proposals

No detailed proposals for the layout of recreation space are proposed at this time and these matters are reserved pending the submission of a Detailed Planning Application prior to development. Whether future development includes the creation of a football/cricket pitch or a more informal park will be a matter for approval in the future. This proposal seeks to identify that the site is suitable for this use and obtain Outline Planning Consent.

### Use

The land is currently agricultural and allocated as Green Belt in the Barnsley MBC Unitary Development Plan. The re-use of the land to provide public access for recreation has the potential to improve the local amenity, create valuable open space and contribute to nature conservation by enhancing existing wildlife corridors and producing new habitat by careful planning and management.

### Access

Access would be provided via the existing private road network to the south of the site. Proposals for the development of adjacent sites, namely Sites 8, 10 and 11, would benefit from the upgrading of the private access road to provide increased width for passing and surfacing. It is proposed that a limited number of five parking spaces are provided which could equally be used for visitor parking for the adjacent commercial development of Site 11 or to the housing Site 8. Vehicular access to the recreation ground would be controlled by a field gate which could be locked to prevent unauthorised vehicles from gaining access. A pedestrian gate would provide access for pedestrians. Additional pedestrian access points from Hermit Hill Lane to the north and the private lane to the west could be provided subject to detailed design.

### Layout and Scale

Layout and scale are reserved matters that would be determined subject to submission of a Detailed Planning Application.

### Appearance and Materials

It is proposed that all existing boundaries are retained and enhanced by new planting as described. The existing post and wire fence to the southern boundary would be replaced with a dry stone wall approximately 900mm high with swept radii to form the access as shown on drawing No P17 in Fig 17.6. A new post and rail fence parallel to the dry stone wall would enclose a new avenue of lime trees as described elsewhere.

### Landscaping

Existing trees situated within or adjacent to the site boundaries provide an attractive setting and sense of enclosure. There is an opportunity for woodland management of trees to the northern boundary adjacent Hermit Hill Lane to include additional tree and understorey planting. The proposals include new planting to enhance and maintain an existing avenue of lime trees along the western boundary which will secure this distinct feature of structural tree planting for the future.

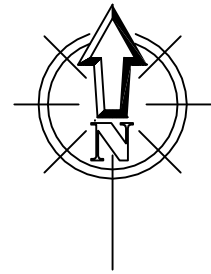
It is also proposed to plant a new avenue of lime trees to the southern boundary as shown on the proposed plan. This will benefit the site by improving enclosure, extending wildlife corridors and providing enhanced local amenity to adjacent sites and the wider village.

The development of the site and the benefits of the proposed tree planting/maintenance will have a positive impact on the appearance of the location and provide public access to open space, and will encourage people to engage with the trees and landscape in a positive way.

Subject to local development, existing overhead electricity cables would need to be re-routed, further enhancing the local appearance.

### Trees

None of the existing trees will be impacted by the proposals.

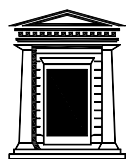


**Fig 17.5**

THE WHARNCLIFFE ESTATE  
WORTLEY VILLAGE  
SHEFFIELD

**SITE SURVEY**

SITE 17  
HOME FARM LAND



**Chris Carr Associates**  
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Site Plan 1:500



SITE LOCATION PLAN 1:2500



Fig 17.6

THE WHARNCLIFFE ESTATE  
**WORTLEY VILLAGE DEVELOPMENT PROPOSALS**  
 SITE 17 - HOME FARM LAND



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**7.0 Summary**

This design and access statement, which accompanies the applications for Planning Permission, describes extensive proposals for the future improvement and, in part development of Wortley Village.

It makes proposals for the whole of the village and describes a number of specific sites where it is felt that further residential and commercial development would be appropriate, where car parking and allotment gardens should be provided, where existing highways and footpaths could be improved, and where new woodland and tree planting would enhance the setting of the village. The design and access statement takes account of the comment and advice received from the Local Planning Authority, the Parish Council and the population of Wortley and acknowledges the advice provided within the Village Design Guide. It proposes a way forward for Wortley Village which, it is hoped, will safeguard and enhance a place of historic interest, in such a way that it helps to improve the lives of both existing and future residents.

Signed.....  
**FOR CHRIS CARR ASSOCIATES**

**APPENDIX 1**  
**PHOTOGRAPHIC SURVEY**

## A walk-through survey of Wortley Village from South to North

Travelling from the south, the entrance to Wortley Village is marked by the junction of Halifax Road with Finkle Street, a short distance from the A616 Stocksbridge By-Pass. A plethora of road signs, lamp posts, lighting and associated signage marks the entrance to Wortley Village. There is an opportunity, with the cooperation of the Highway Authority, to reconsider signage in this location and mark the entrance to Wortley Village with an individual feature sign. **P1**

Open views towards the Pennines are glimpsed between trees on the left hand side and the road straightens, passing further uncoordinated signage towards the first houses of the village and the lychgate to St Leonard's Church. **P2 & 3.** Traditional cottages on the left hand side are built close to the rear edge of the footpath and include Ivy Cottage, which is a Listed building. **P4, 5, 6.** An enclosed passageway passes beneath the cottages and gives access to the footpath running in a southerly direction towards the detached village sports ground off Finkle Street. **P7**

Halifax Road turns sharp right in front of the lychgate and past the Wortley Arms Public House and Hotel on the inside of the bend. **P8.** St Leonard's Church, its surrounding churchyard enclosed by a low stone wall and iron railings, dominates the view ahead as the main road passes between the churchyard and the Wortley Arms. **P9 & 10**

Looking to the right, there are views into Reading Room Lane and The Green and to the congested access and parking on Park Avenue. **P11 & 12.** Halifax Road turns sharp left around St Leonard's Church and runs between houses and cottages on both sides as it continues in a north westerly direction towards the exit of the village. **P13-18.** Access roads to the left hand side serve adjoining housing courts and open up long-distance views to the Pennines. **P19 & 20**

Where Halifax Road is not enclosed by buildings, stone boundary walls are constructed close to the rear edge of the footpath and the highway verge. This is a built "urban" environment with limited planting to soften the streetscape. **P21 & 22.** At the northern exit of the village, Halifax Road passes between more modern housing before reaching a junction with Hermit Hill Lane on the right hand side. **P23 & 24**



P1



P2



P3



P4



P5



P6



P7



P8



P9



P10



P11



P12



P13



P14



P15



P16



P17



P18



P19



P20



P21



P22



P23



P24

## A walk-through photographic survey from North to South

Approaching Wortley Village from the north on the A629 Halifax Road, there is an abrupt and sudden change from unrestricted speeds to the 30mph limit at the junction with Hermit Hill Lane on the left. A mix of advertising and traffic control signage, together with unattractive street lighting, dominates first visual impressions. **P1 & 2.** More gradual speed control, improved signage, street lighting and a "Welcome to Wortley" feature sign would be an improvement.

Passing Hermit Hill Lane on the left hand side, the entrance to the village is dominated by more modern housing including terraced properties to the lower side of the road, which have settled well into their surroundings, forming an important part of the streetscape and highlighting the longer-distance views towards the tower of St Leonard's Church. **P3 & 4**

The main road passes beneath the canopies of mature trees on both sides of the road as it approaches the village centre and is enclosed by stone walls on both sides. An informal grass verge to the left accentuates the rural character. Houses and cottages are built close to the edge of the highway and enclose the main access road as it passes through the village towards the junction with Park Avenue and the village centre shops. **P5-14**

The main road turns right in front of the village shops opening up a view to Reading Room Green and St Leonard's Church on the right hand side, behind a high stone boundary wall. **P15 & 16.** The view ahead is dominated by Ivy Cottage which closes the vista ahead as the road turns sharp left around the Wortley Arms Public House. **P16**

Having turned the corner and passed Church Cottages on the right hand side, Halifax Road passes out into open country with mature trees on both sides signalling an end to the urban aesthetic. **P17 & 18**



P1



P2



P3



P4



P5



P6



P7



P8



P9



P10



P11



P12



P13



P14



P15



P16



P17



P18

**A walk-through survey on The Avenue leading to Home Farm Court**

Passing through the entrance gates to Wortley Park, The Avenue runs downhill towards Wortley Hall, framing long-distance views to the north east towards Barnsley. Opposite an area of open grassland, allocated as a future site for purpose-built elderly people's housing, the roadway turns sharp left and passes between mature woodland framed on both sides by wide informal verges and enclosing dry stone boundary walls, towards the Home Farm Court residential complex. Rising slightly uphill, the tarmac road gives way to an unmade surface past the entrance to Home Farm Court and adjoining the existing village workshops site. **P3-8**



**P3**



**P4**



**P5**



**P6**



**P7**



**P8**

## A walk-through photographic survey of Reading Room Lane and The Green

The photographic survey of Reading Room Lane commences at the south east, within the village club car park. The lane, which is currently used as a principal exit to all traffic from car parks serving the Wortley Arms Public House and village club, passes between the village club and Nos 1-4 Reading Room Row before exiting into The Green prior to its junction with Halifax Road opposite St Leonard's Church. **P2 & 3**

The Green is an attractive "urban space" surrounded by existing buildings and with views over the adjoining rooftops to the church tower. **P4 & 5.** The north east side of The Green is dominated by the rather bland rear elevation of the village tea room and post office, offering potential for an enhancement of both the building and the public open space. **P6**

Looking back, the half-timbered elevations of the village club and Reading Room Row contrast with the older Listed buildings adjoining. **P7 & 8**

Further photographs taken throughout the village show a number of specific sites where future development potential has been identified. These photographs are included with each of the numbered sites which are described elsewhere in the Design and Access Statement.



P2



P3



P4



P5



P6



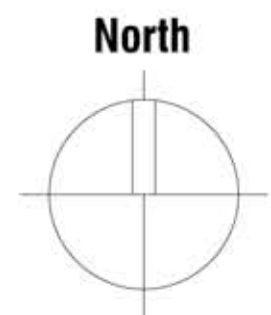
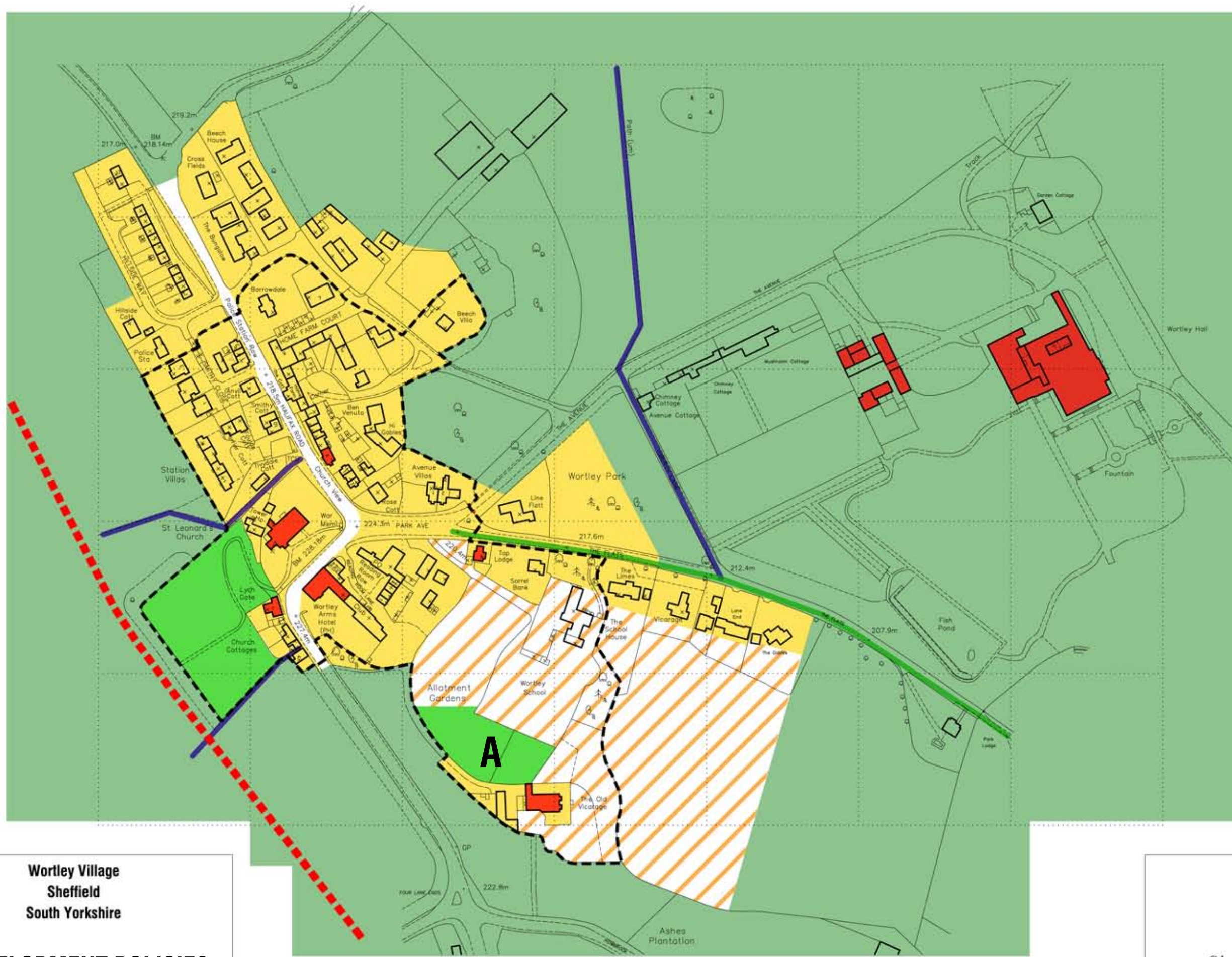
P7



P8

**APPENDIX 2**  
**IDENTIFICATION PLANS**



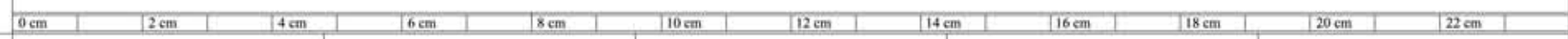


- Green Belt
- Housing Policy
- Housing Proposal
- Open Space Policy Area
- Allotments
- Conservation Area
- Listed Buildings
- Bridalway
- Footpath
- Highways Protection Line

**Wortley Village  
Sheffield  
South Yorkshire**

**DEVELOPMENT POLICIES**

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Rev: -

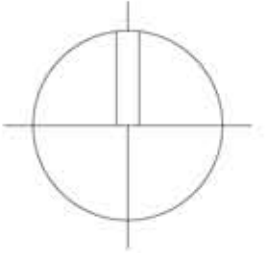
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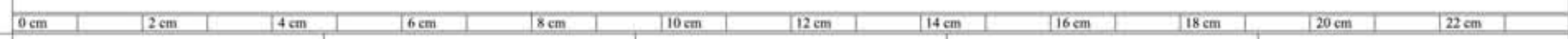
North



- 1. Infill heavy standard tree planting to enhance existing avenue of Lime trees (site 17).
- 2. New avenue of Lime trees (site 17).
- 3. Additional planting to screen tree removal (site 6).
- 4. Replacement heavy standard specimen in lieu of recently removed tree.
- 5. New tree planting to mitigate removal of holly hedge and separate housing site 3 from car park site 15.
- 6. Tree planting to extend and define boundary to adjacent agricultural land (site 1).
- 7. Structural woodland planting to provide improved amenity and mitigate tree removal.

 Existing Woodland  
 Possible Future Woodland

**Wortley Village**  
**Sheffield**  
**South Yorkshire**  
**Existing and Proposed**  
**Woodland/Planting**



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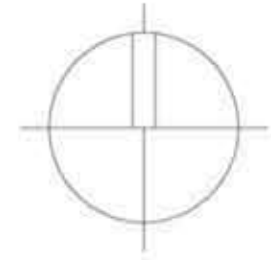
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North



- VILLAGE CORE BUILDINGS
- 20TH CENTURY DEVELOPMENT

**Wortley Village  
Sheffield  
South Yorkshire**

**PAST VILLAGE DEVELOPMENT**



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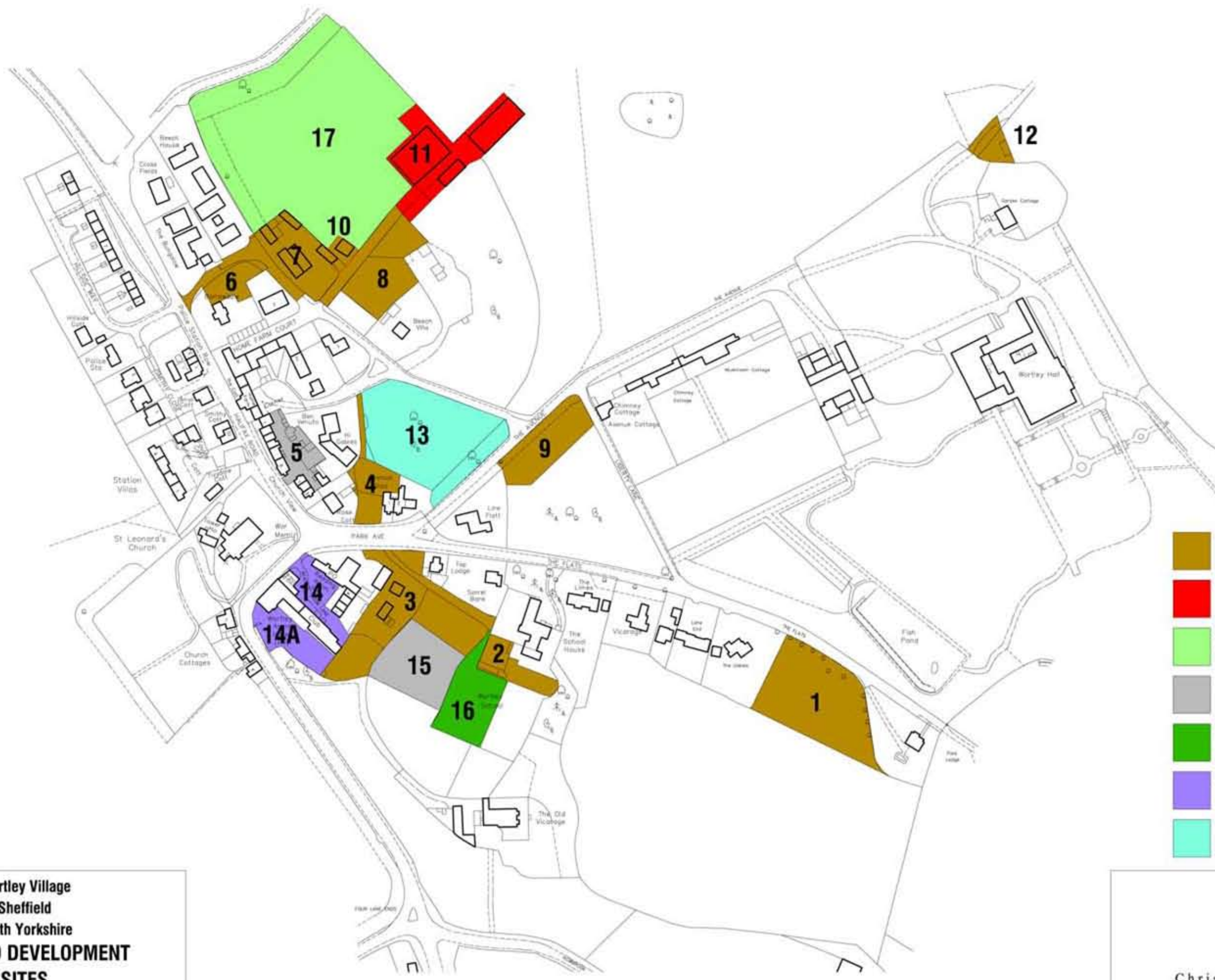
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- RESIDENTIAL
- EMPLOYMENT
- SPORTS & LEISURE (POS)
- CAR PARKING
- ALLOTMENTS
- HIGHWAY WORKS
- WOODLAND PARKING

**Wortley Village  
Sheffield  
South Yorkshire  
SELECTED DEVELOPMENT  
SITES**



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Ref: 21.70

Rev: -

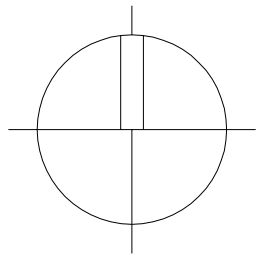
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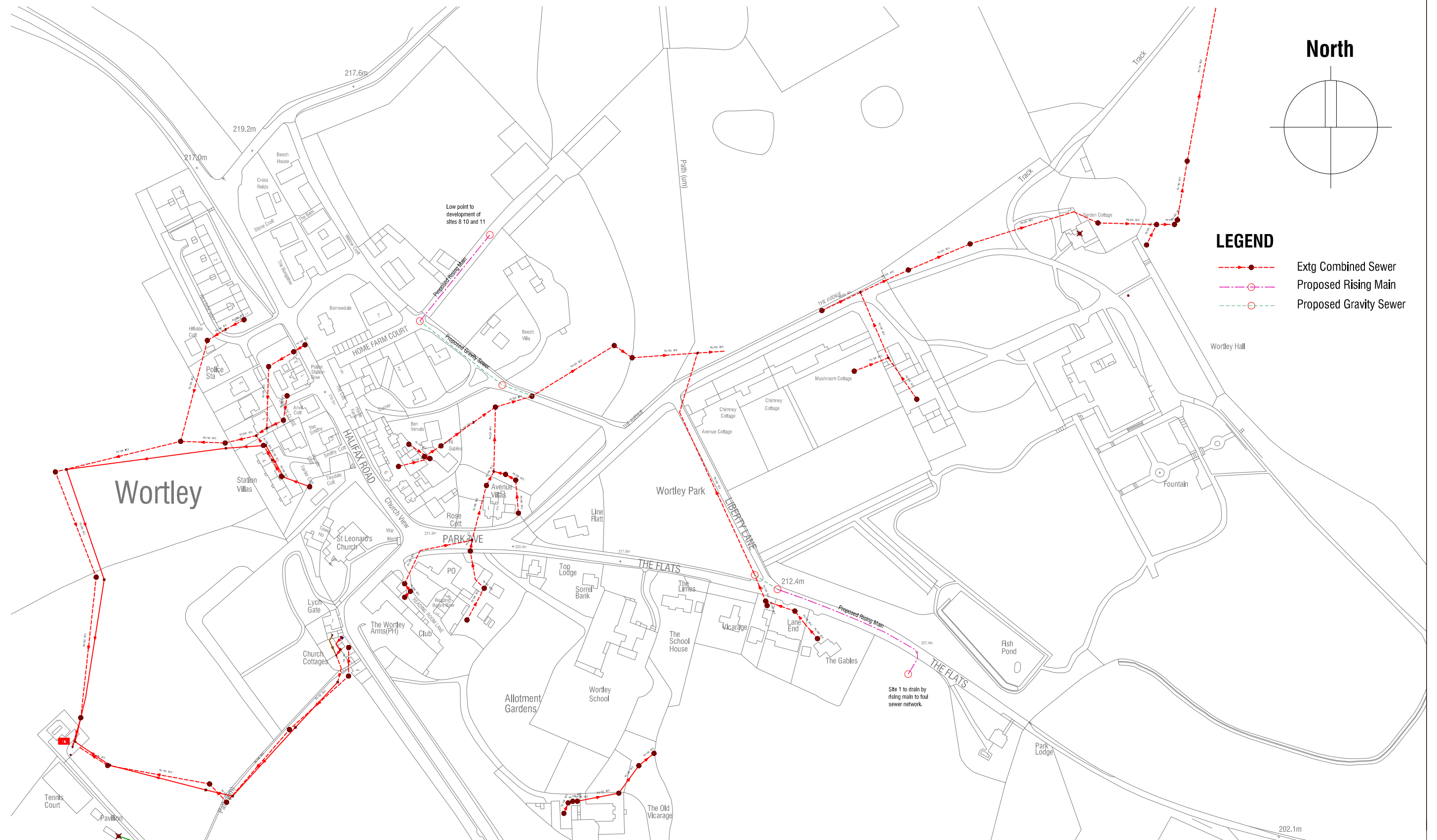
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North



**LEGEND**

- Extg Combined Sewer
- Proposed Rising Main
- Proposed Gravity Sewer



Wortley

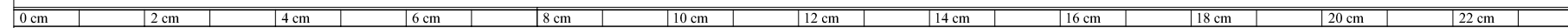
Wortley Park

Wortley Hall

**Wortley Village**  
**Sheffield**  
**South Yorkshire**

**SEWER RECORDS**

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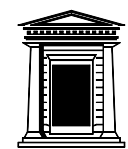
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