

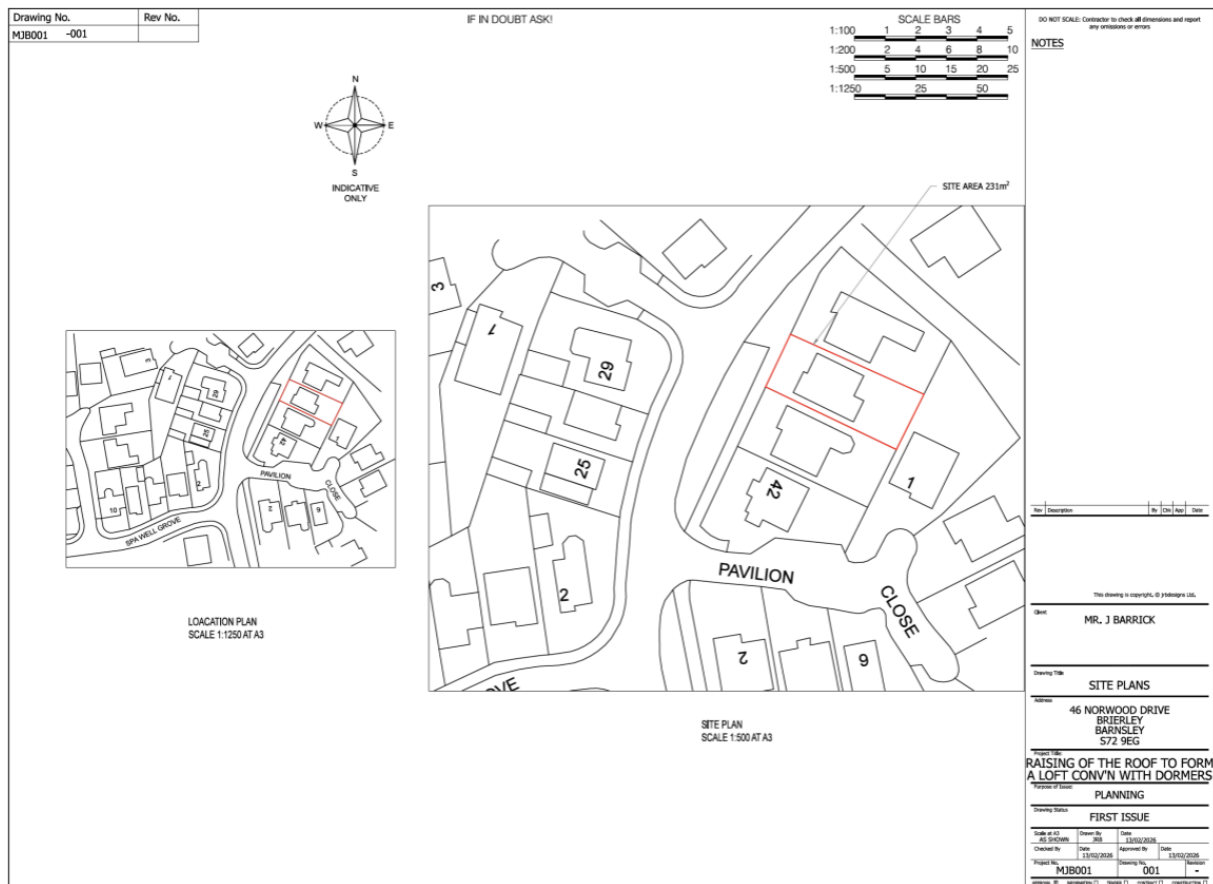
Application Reference: 2026/0162

Site Address: 46 Norwood Drive, Brierley, Barnsley, S72 9EG

Introduction: This application seeks planning permission for the raising of the roof to create habitable loft area, rear facing dormers and front velux windows to roof of dwelling

Relevant Site Characteristics:

The property is a two storey detached dwelling with a two storey front gable element and integral garage and is set on a street scene of similar modern detached dwellings of varying house types. The property is constructed with a buff coloured brick and a grey roof tile, however there are other materials seen within the street scene, including properties with Tudor style cladding and render and red coloured brick. The rear elevation of the dwelling faces on to the side elevation and rear garden of number 1 Pavillion Court set to the East.



Site History

There is no recorded site history for the address.

Description of Proposed Works

The proposal involves raising the roof of the dwelling and the formation of three rear flat roof dormers. Rooflights are proposed to the front roof slope of the dwelling. The alteration would allow for sufficient head height to provide accommodation within the roofspace including a bedroom and ensuite.

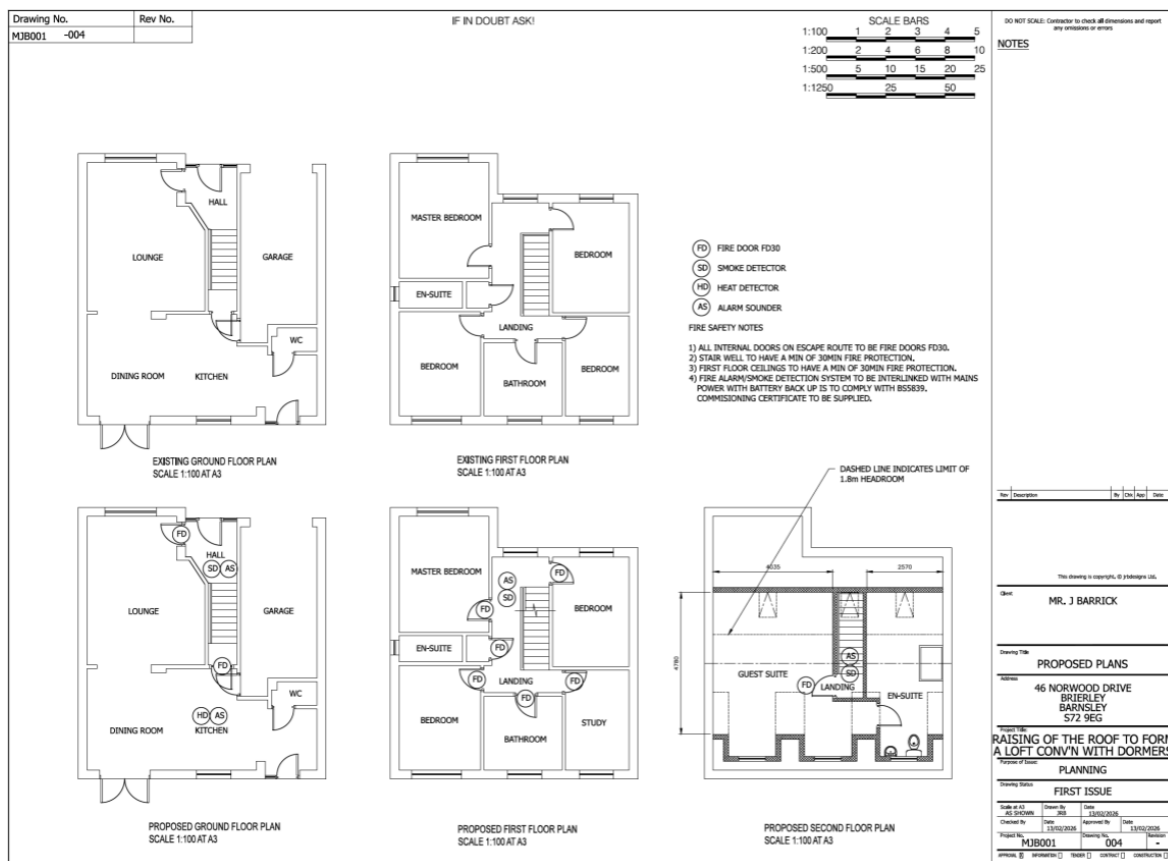
The overall increase in height would increase from approx. 7.6m to 8m and amount to approximately a 0.4m increase in height.

The elevation plans have been amended during the course of the application to show matching roof tiles to the dormers, in line with the Guidance set within the SPD House Extensions.



Existing Elevations

Proposed Elevations



Existing and Proposed Floor Plans

Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015. Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

No comments were received.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle

The site falls within Urban Fabric. Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Scale, Design and Impact on the Character

The proposal involves raising the roof of the dwelling by 0.4m in height to allow for a loft conversion, with three flat roof dormers to the rear and rooflights to the front roof slope. The agent has submitted a street scene drawing in support of the application.



PROPOSED FRONT STREET SCENE
SCALE 1:100 AT A3

The host property is a two storey detached dwelling within a street scene of properties with a similar height. Due to the small scale change to the height of the roof, the proposal is not expected to appear out of character within this setting and will rise only minimally above the neighbouring properties.

In terms of the three dormer windows to the rear, the SPD: House Extensions sets out the design principles for dormer roof extensions. So as not to dominate existing roof lines and retain the original form of the host property, dormer windows should be set within the roof plane following the guidelines set out within the policy. Whilst pitched roof dormers are recommended within the SPD, the dormers are located on the rear roof slope, so will not be visible from the main street scene and would not be overly dominant when viewed from the rear. In addition, the three dormers are set above existing windows and are more vertically proportioned, which is better visually than the use of one large dormer across the roof plane.

The original proposal included white dormers which was deemed unacceptable and contrary to policy. The scheme has been amended to reflect the principles within SPD: House Extensions, by using matching roof tiles to the front and cheeks of the dormer so that they will blend in well with the existing roof. The amended proposal is now acceptable in terms of the visual impact.

The proposed changes are not expected to severely impact the existing street scene. The materials and design of the proposals when viewed in their entirety are not expected to be visually detrimental within the surroundings and as a result the proposal is in compliance with Local Plan Policy GD1 and House Extensions SPD.

Moderate weight has been given to the design and impact on the character of the area.

Impact on Neighbouring Amenity

SPD: House Extensions provides expectations in relation to the size of proposed dormers and extensions. The host property is detached and set a reasonable distance away from neighbouring dwellings. The application proposes to raise the roof by 0.4m with the erection of three dormers to the rear elevation. The adjacent dwellings are set in line with the applicant's property, therefore the increase in height difference will be minimal, and due to the positioning of these properties, there should be minimal overshadowing and the impact is not expected to be detrimental.

In terms of overlooking impacts from new windows, the rear elevation of the dwelling faces on to the side elevation and rear garden of number 1 Pavillion Court set to the East. The separation distances from existing and proposed habitable room windows to the rear garden of number 1 are the same, and whilst there will be rooms within the roofspace, the proposal would not significantly increase levels of overlooking of neighbouring dwellings to the front and rear, to an unacceptable degree.

Taking into consideration the characteristics of the site, the proposals are not expected to cause any disproportionate harmful impact in terms of residential amenity. The application is therefore acceptable in terms of residential amenity in compliance with Local Plan Policy GD1 and D1.

Moderate weight has been given to the impact on residential amenity.

Highways

Whilst the proposals increase the floor space of the dwelling and provides an additional bedroom, off-street parking is also retained for at least two vehicles, with the proposals having no impact to this provision.

As such, the scheme is acceptable from a highways development control perspective in compliance with Local Plan Policy T4 New development and Transport Safety and SPD: Parking.

Moderate weight has been given to highway safety.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

In dealing with the application, the Local Planning Authority has worked with the applicant to find solutions to the following issues that arose whilst dealing with the planning application:

Change in materials used for the rear dormer windows to tile to match the existing dwelling

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.