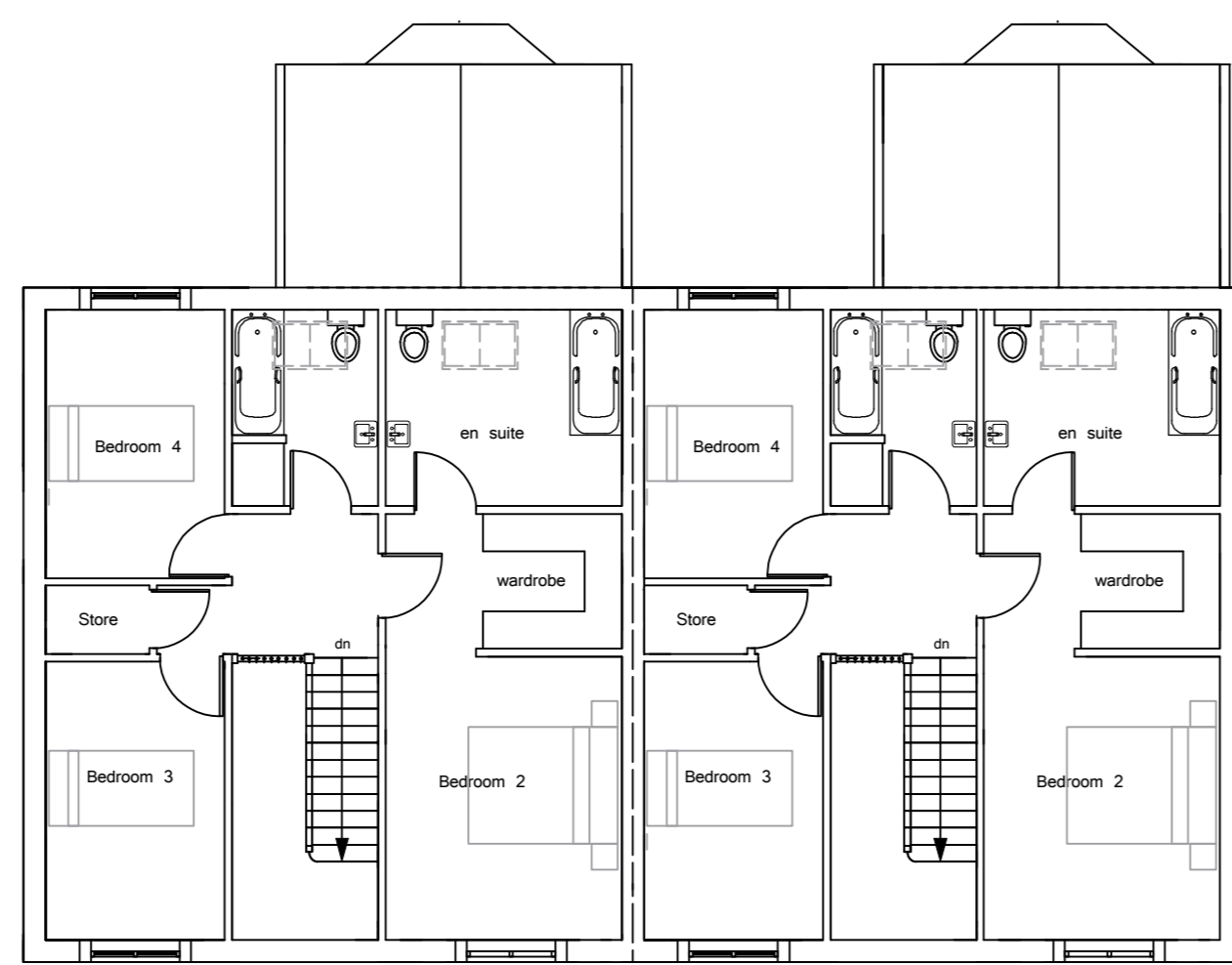
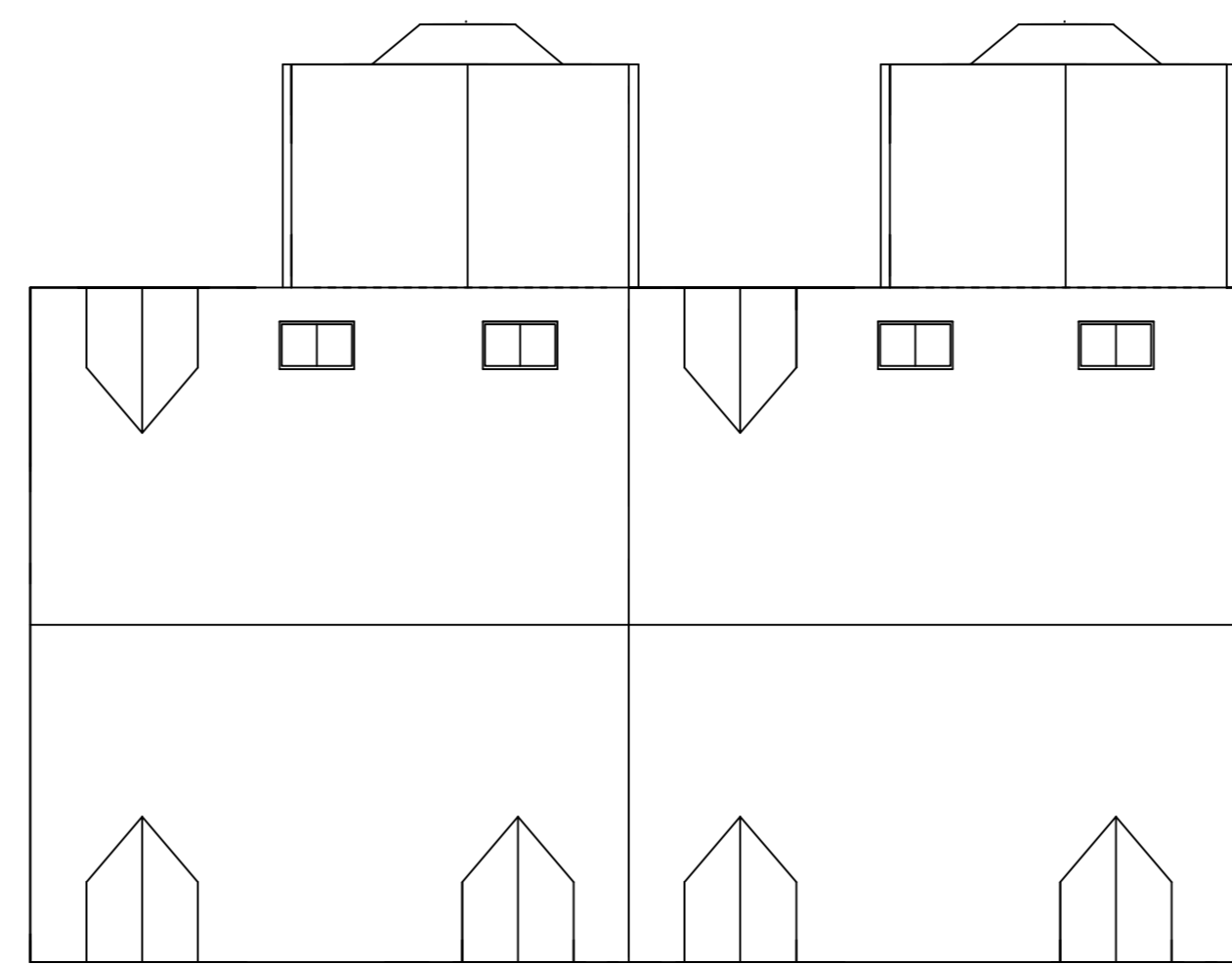


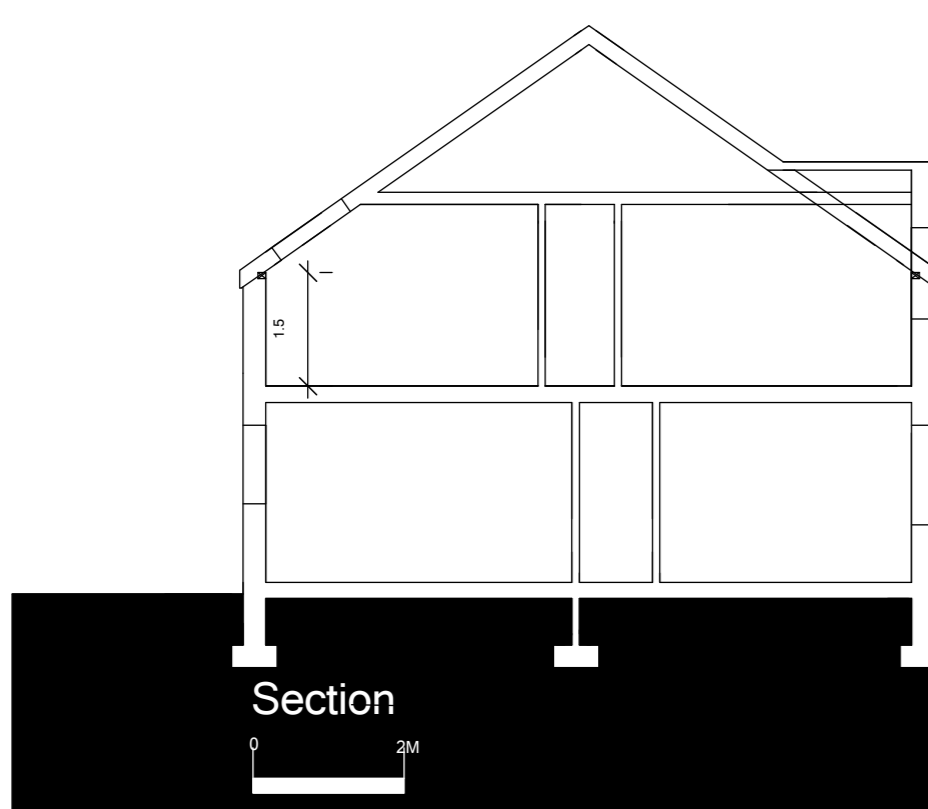
Notes	
Walls	Stonefacing brick To Be Agreed With Planning Officer
	stone heads
	projecting stone sill
Roof	Birkdale or Thrusome
	conservation rooflight
	Steel Metal Case Or Stormguard Aluminium
	Half Round Gutter
Windows	Residence Collection Or Similar
	Upsc Flush Fitting Casements.
	Detailing To Be Repeated Across Window Types.
	Windows Set Back 50mm In Reveal
	RAL Number To Be Agreed
	All Soil And Vent Pipes To Be Internal



First Floor



Roof Plan



Section



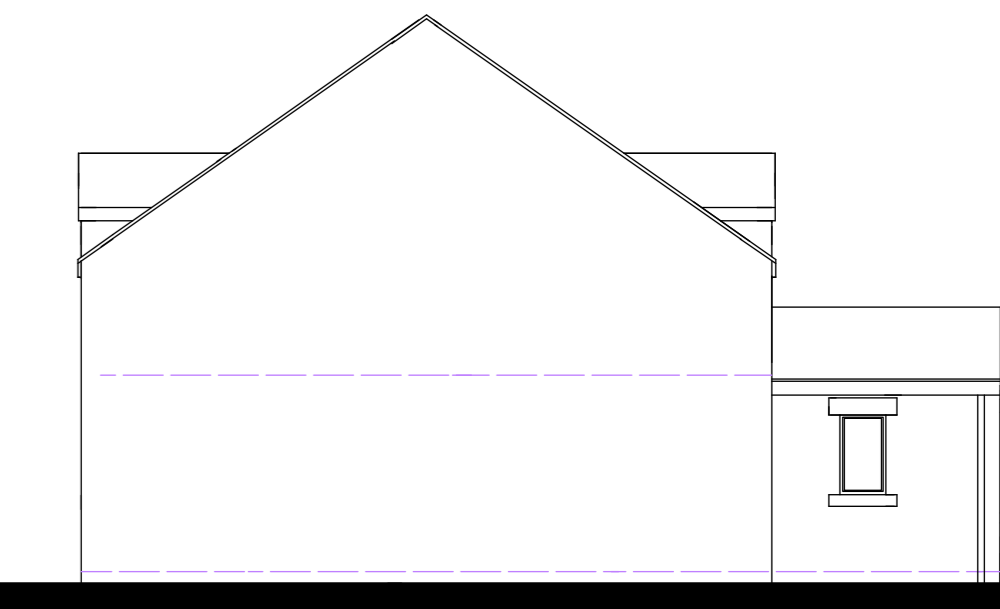
Front Elevation



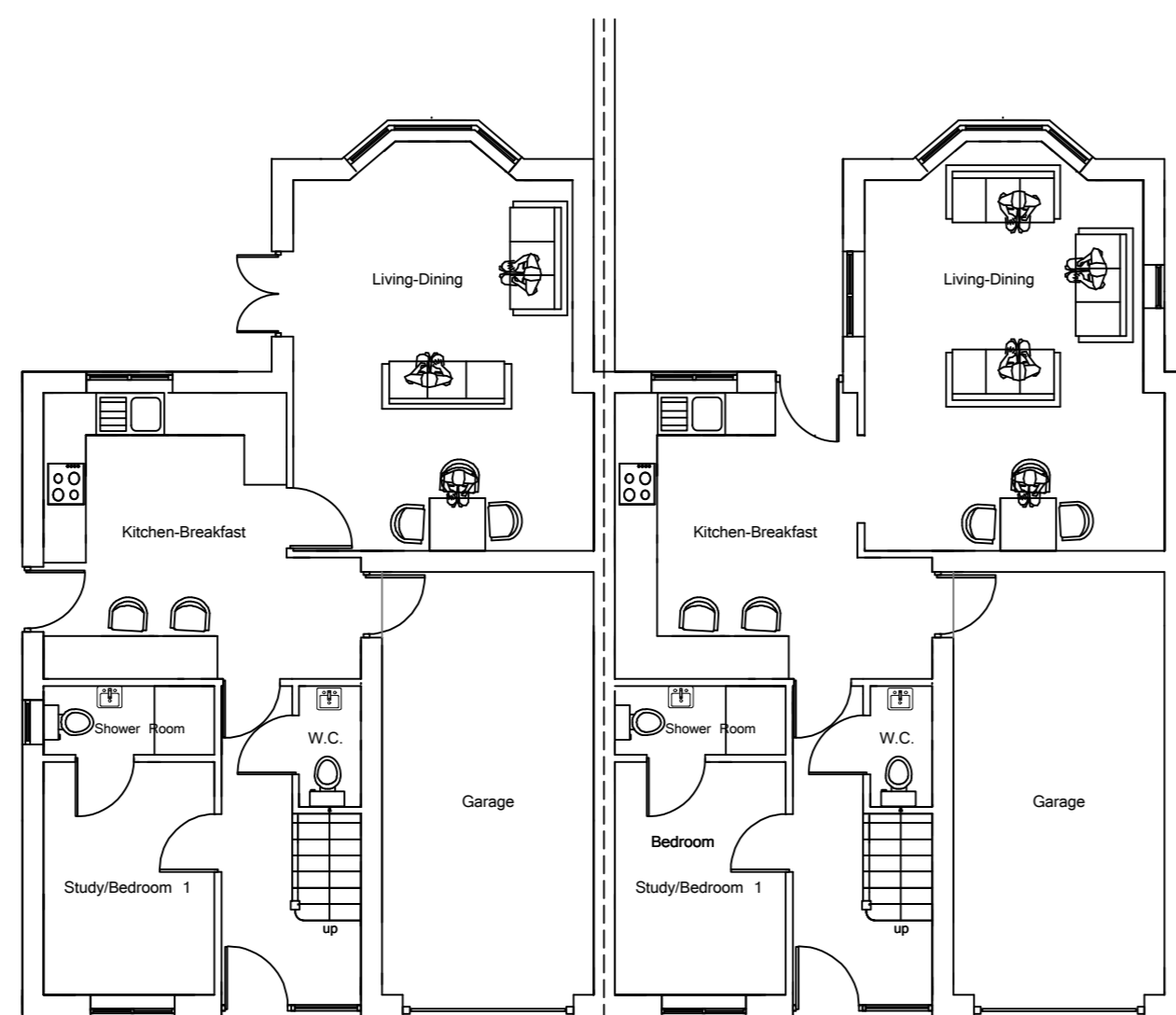
Rear Elevation



Side Elevation 1



Side Elevation 2



Ground Floor

Notes/Advisories

No Dimensions To Be Stated From This Drawing Which Is The Property Of The Company AND, LTD. It Is Not To Be Used Or Devised In Any Way Except As Authorised By The Company	The Drawing Will Not Be Assigned To Any Third Party	Principal Consultant/Designer/manager Is Responsible For Drawing Works And Signs Off All Certificates Of Completion As Issued By Building Control	It Is The Responsibility Of The Principal Contractor To Notify The Holders Of Any Discrepancies On The Drawing Prior To Construction. All Dimensions To Be Checked On Site If In Doubt Ask!
The Address AND, LTD Owns An Immaterial Property Rights Including The Copyright In The Drawing And Documents Produced In Furtherance Of The Service To Be Provided As The Author Of Such Works. No Work To Be Carried Out Without Planning Permission. Use Of A Building Regulation Application Has Been Submitted And Work Cannot Start Before Building Regulation Approval Has Been Granted and any conditions attached will be Strictly Adhered To.	The Client Is Responsible For Providing The Address With The Correct Site Boundary/Ownership Details And Any Constraints Or Conditions Relating To The Site AND, LTD Will Assume The Burden As A Charitable Institution. Unless Otherwise Indicated By The Client. No Work To Be Carried Out Without Planning Permission. Use Of A Building Regulation Application Has Been Submitted And Work Cannot Start Before Building Regulation Approval Has Been Granted and any conditions attached will be Strictly Adhered To.	Any Building Works Must Be Of A Neighbouring Interest. If You Intend To Leave One Month Before The Start Work. Work To Be Building Regs First. Requires This To Be At Least Two Months Notice Of Your Intention. If Consent To Carry Out Work Cannot Be Received Prior To Work Starting With A Dispute Should Be Referred To The Party With The Work.	ALL WORKS MUST COMPLY WITH CDM 2015
			NO CAD DRAWINGS WILL BE ISSUED TO ANY THIRD PARTY !!

REVISION	NOTE	DATE	DRAWN BY

Andrew Bailey Architect	PADDOCK ROAD
CLIENT: FRM PROPERTIES LTD	JOB NO: 202300003
DATE: JULY 2023	SCALE: 1:50 AT A3
DRAWING TITLE: PLANS SECTION AND ELEVATIONS	DWG NO: REV
DRAWN BY: JIB	CHECKED: MC
WORK STAGE: 3 - DEVELOPED DESIGN	