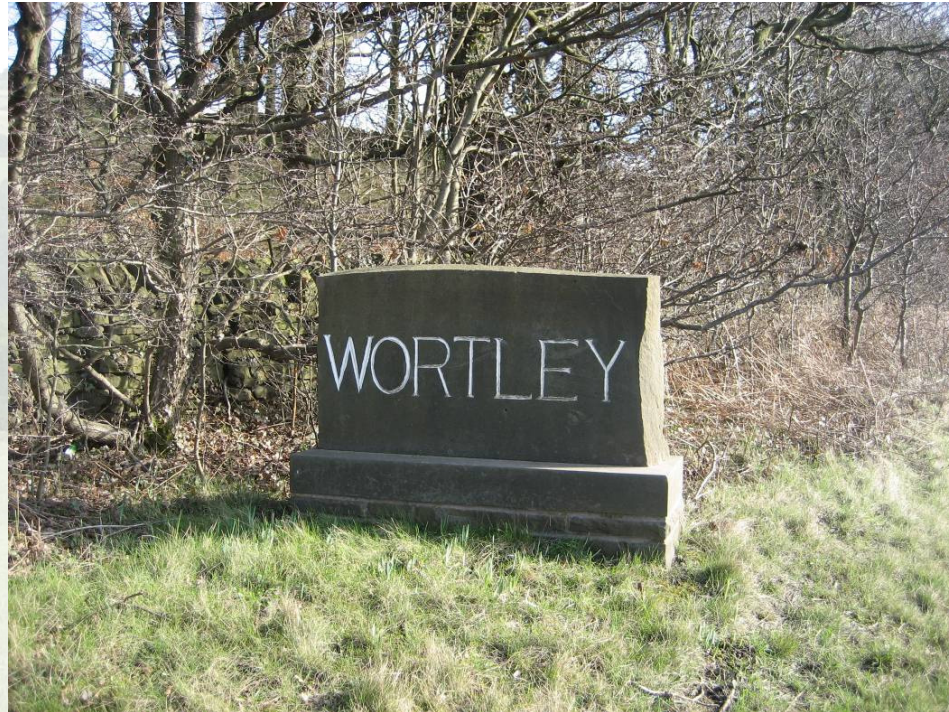


THE WHARNCLIFFE ESTATE



WORTLEY VILLAGE DESIGN GUIDE

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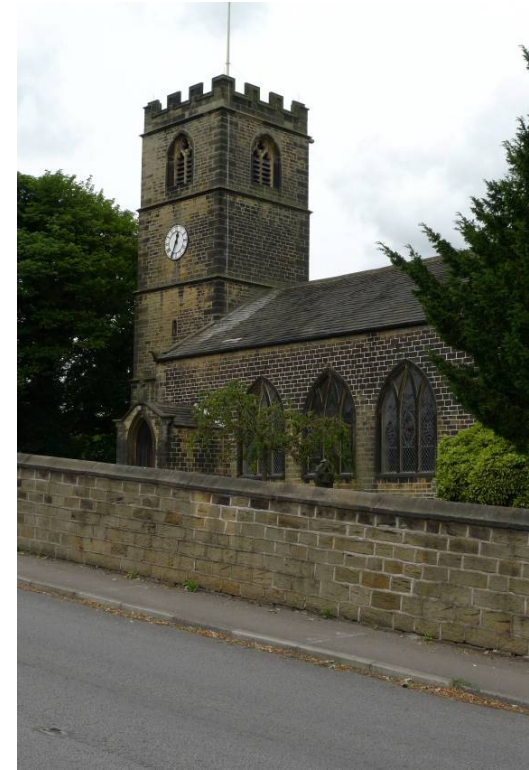
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1.0 **Introduction and Aims**

As a part of a comprehensive review of Wortley Village, which includes the preparation of a Development Master Plan (DMP) aimed at guiding the future development of Wortley Village, the Wharncliffe Estate have commissioned Chris Carr Associates, Architects, to prepare a Village Design Guide to aid and inform future redevelopment proposals.

The purpose of the Design Guide is to assist the owners and Local Planning Authority in managing the change and to ensure that alterations, extensions, and the construction of new buildings within the village are in keeping with the historical context, local vernacular tradition and appropriate detail. The Design Guide seeks to provide a framework within which change can take place and to provide a degree of comfort to the inhabitants of Wortley Village that best practice will, at all times, inform all future development, whether this is for a minor extension to an existing property or the comprehensive redevelopment of a vacant site.

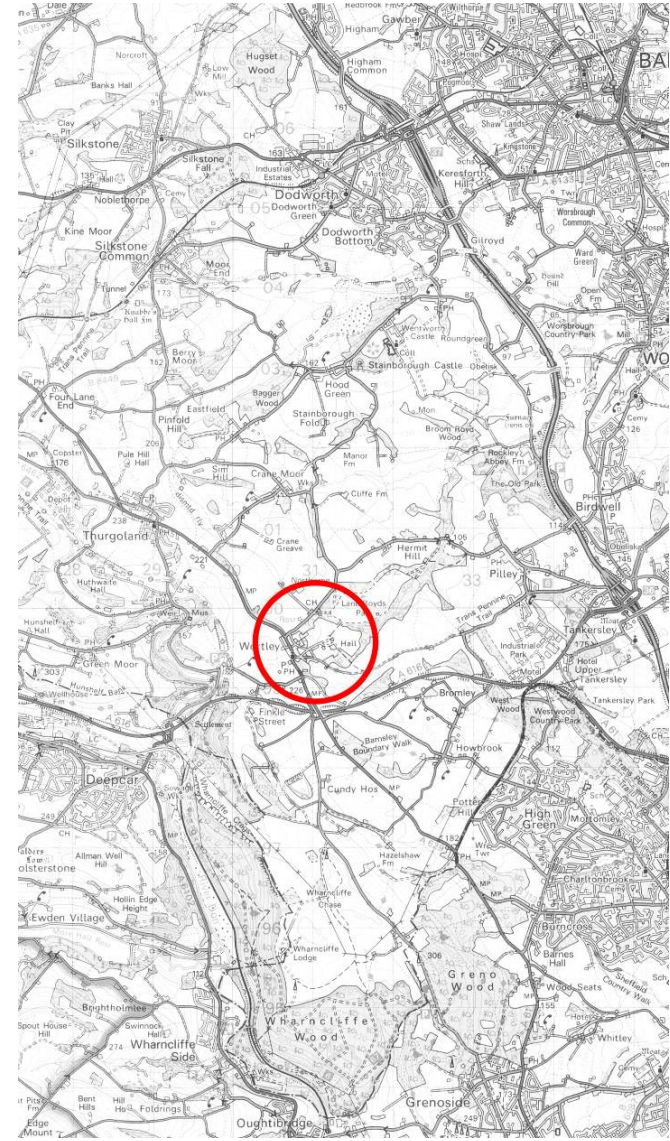
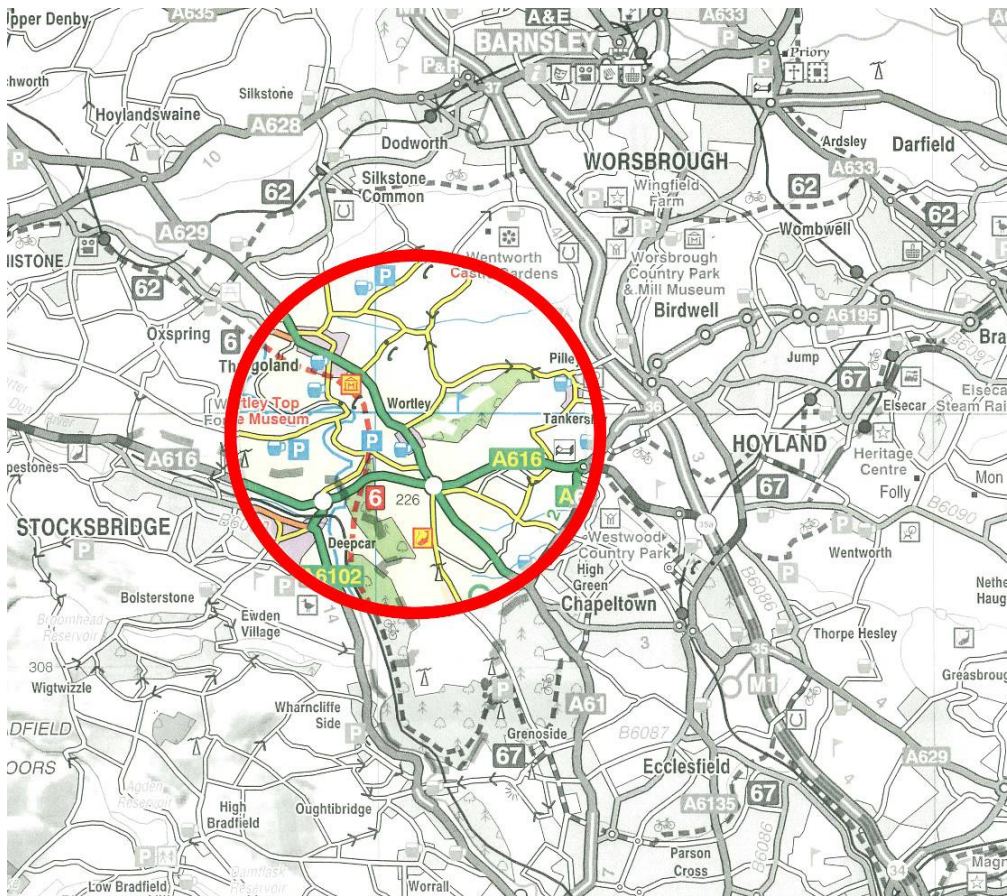
The Design Guide has been written following a detailed inspection of the village, its form, structure and architectural detail and a photographic survey which records the existing buildings, streetscape and landscape. The Guide has been written following extensive discussions with the Local Planning Authority and prepared within the planning context of the Barnsley Unitary Development Plan (UDP) and the emerging Local Development Framework (LDF).



Wortley Village

2.0 Location

Wortley Village straddles the busy A629 Halifax Road and is at the centre of the Wharncliffe Estate, approximately 12.5km from Sheffield and 7km from Penistone. The village is less than 0.5km from the A616 Stocksbridge bypass, which takes traffic from the Woodhead By-Pass over the Pennines down to the M1 motorway at Junction 36.



3.0 The Setting

Wortley Village and its small parish, including the hamlets of Bromley and Howbrook, are at the centre of the Wharnccliffe Estate located mid-way between the urban sprawl of Sheffield to the south east and the Pennine Moors to the north west. The village is dominated by Wortley Hall, the adjoining parkland and policies of a great agricultural estate, and is surrounded by productive farmland and extensive woodland.

Wortley Hall and the surrounding countryside



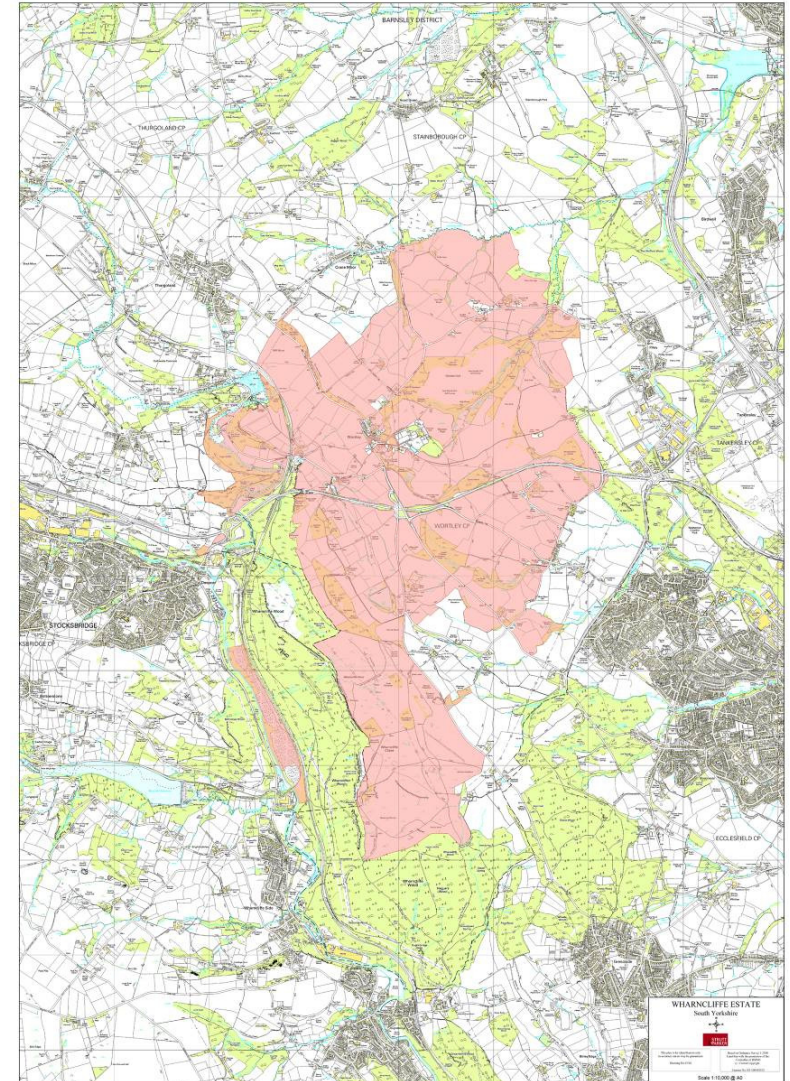
4.0 History

Wortley Village, Wortley Hall and the surrounding agricultural estate have been owned by the Wortley family since the twelfth century. Although the Hall, the park and parts of the village have been sold during recent times, Wharnccliffe Estate is still a substantial land owner, and the family, who live in the village, remain actively involved in the day to day management of the Estate.

Despite the ups and downs of history, the present owner, Lady Rowena Stuart-Wortley, her Trustees and professional advisers, remain committed to ensuring that the Estate and, in particular Wortley Village, are protected and, where appropriate, redeveloped in such a way that well maintained property, supporting a vibrant local economy and thriving community, is passed on to the next generation.



St Leonard's Church



The Wharnccliffe Estate

5.0 The Village - Urban Structure and Form

5.1 The Estate Village

The original core of Wortley is typical of Estate villages throughout England, where they were constructed to serve the needs of a grand country house and its surrounding agricultural estate. Unlike other more linear settlements in South Yorkshire, Wortley Village is constructed around two sharp bends in Halifax Road which separates St Leonard's Church and the Wortley Arms Public House. The Church is connected by The Avenue via a formal driveway which leads through the adjoining parkland to Wortley Hall, and the original Estate houses and cottages are clustered tightly around the village square, post office, shops and club.

Lying outside the inner core of residential property, is Home Farm to the north and The School to the east. Both these complexes of buildings have subsequently been developed into housing to provide a mix of privately owned and rented houses and cottages.

The core buildings, Home Farm, The School complex and, further to the south, The Old Vicarage, are all contained within the Wortley Village Conservation Area which also features a number of Listed buildings. Most buildings are grouped in terraces or around shared courtyard space, providing shelter for both inhabitants and farm animals whilst, at the same time, allowing access to ancillary outbuildings used to accommodate stock, agricultural implements, fuel and original privies.

A plan illustrating the village Conservation Area and Listed buildings is attached.



Village centre shops



Home Farm Cottages

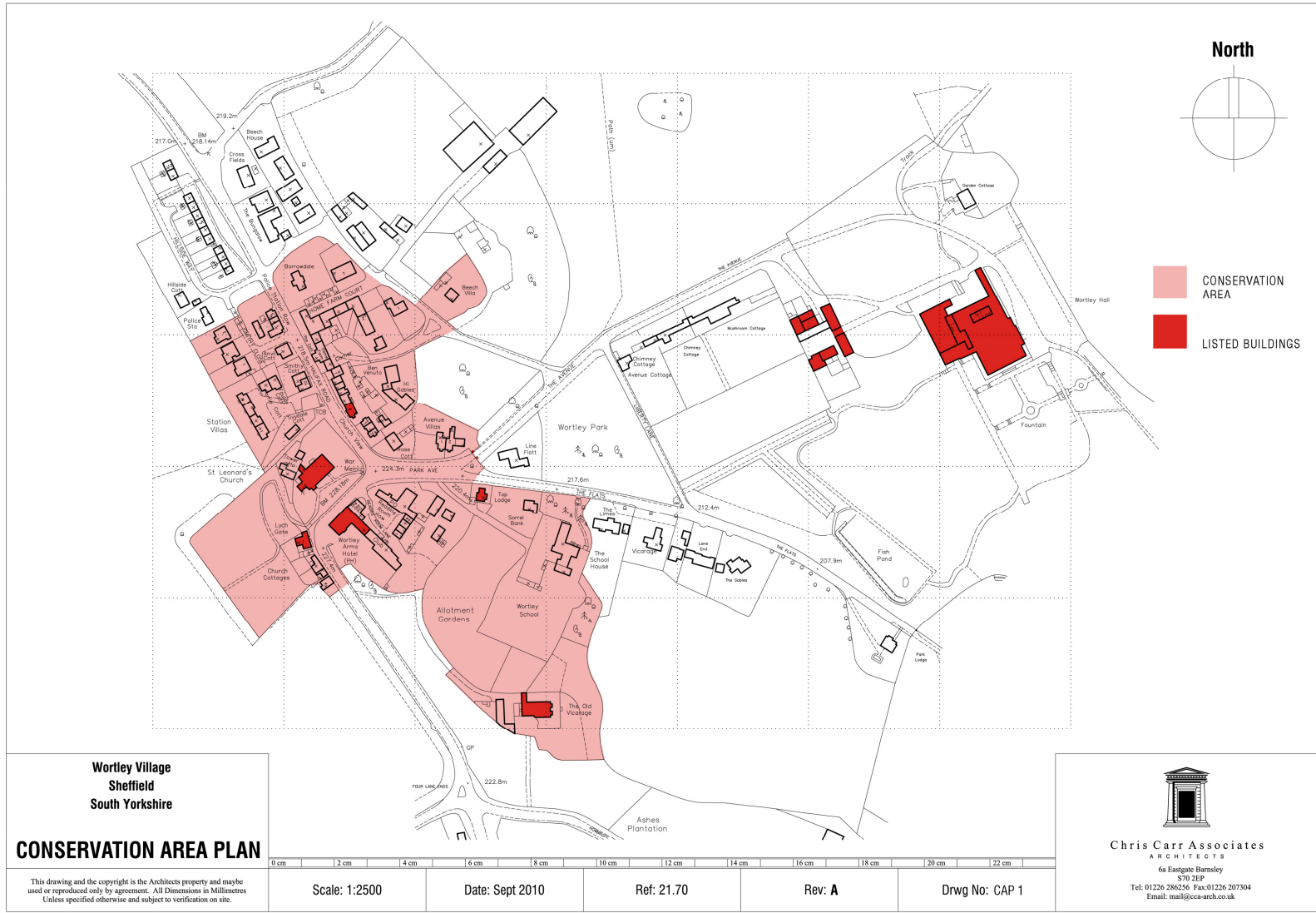


Wortley Club and the Old School



The Conservation Area and Listed Buildings

Wortley Village



5.2 The Village Today

With the exception of the stone built workshops and Smithy to the north and Wortley School to the south, there are few original buildings outside the Village Conservation Area boundary. A mix of privately owned and publicly funded housing extends the village in a northerly direction towards the junction of Halifax Road with Hermit Hill Lane, and to the south of The Flats which runs in an easterly direction from the centre of the village to the park gates at Park Lodge. New housing, although largely constructed in natural stone and with pitched roofs, does not always respect traditional form and vernacular detail. The following plan illustrates the original village core and modern expansion.

Modern village housing



The Developing Village



5.3 Employment

Historically, the houses and cottages of Wortley Village were constructed to accommodate the staff who worked at Wortley Hall, agricultural labourers and, more recently, employees of the Wortley family's industrial and mining enterprises. The sale of Wortley Hall in 1959, together with the demise of the mining industry and the contraction of in-hand farming, have all affected local employment, and the majority of residential property is now occupied by people who commute to the conurbations of South and West Yorkshire for their work.

Local employment remains an important part of a vibrant community and jobs are still provided at the public house, the village club, the post office, local shops, and village garage.

Future employment prospects should be protected and enhanced wherever possible. Purpose-built, small rural workshops and offices, providing modern energy-efficient and well designed workspace would attract new business and employment.

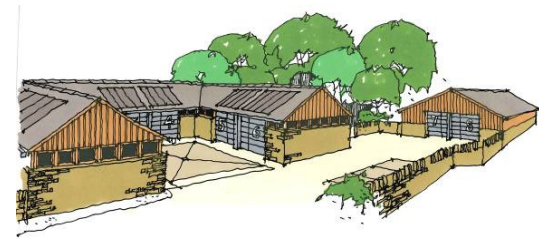
5.4 Recreation

The village recreation ground is located approximately 0.5km to the south of Wortley Village with access from Finkle Street. Although there is footpath access from Halifax Road to the south of the Wortley Arms Public House, the remote position of the sports and recreational facilities does not help to "anchor" the community and requires the majority of residents to cross a busy trunk road.

Future redevelopment proposals for Wortley should consider the allocation of additional sports and recreational facilities, including a possible village cricket ground and area for children's play.



Existing workshops



New workshops and offices



A possible future village cricket ground

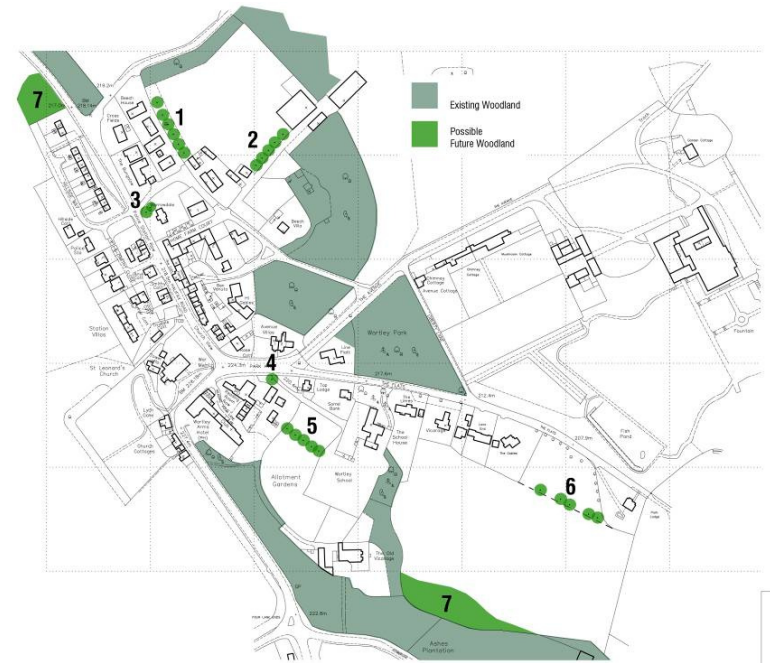
5.5 Woodland

Wortley Village is enclosed on its eastern side by mature woodland. There are a large number of specimen mature trees as well as areas of dense self-seeded sycamore and ash. Future development plans for the village and possible highway improvements should include proposals to maintain and enhance existing woodland, to thin and manage where appropriate and to plant new woods, shelter belts, avenues and individual specimen trees where appropriate.

The attached plan illustrates how tree planting could enhance enclosure and restore formal avenues within the village.

Key to Plan

1. Infill heavy standard tree planting to enhance existing avenue of lime trees (site 17).
2. New avenue of lime trees (site 17).
3. Additional planting to screen tree removal (site 6).
4. Replacement heavy standard specimen in lieu of recently removed trees.
5. New tree planting to mitigate removal of holly hedge and separate housing site 3 from car park site 15.
6. Tree planting to extend and define boundary to adjacent agricultural land (site 1).
7. Structural woodland planting to provide improved amenity and mitigate tree removal.



Possible future woodlands and tree planting

6.0 **Architectural Detail**

The urban structure of Wortley Village is based around the relationship of individual buildings to Halifax Road. Sections 5.1 and 5.2 of this design guide describe the form and layout of the original village and show that, with the exception of Home Farm, almost all buildings face onto Halifax Road. Principal elevations of houses and cottages are constructed close to the road with small and in some cases no private gardens, whilst the rear elevations give access to shared inner courtyard space and utility storage buildings.

The existing buildings of Wortley Village demonstrate a clear palette of architectural detail and building materials. It is important that future development respects this tradition and that repair, extension or redevelopment should be correctly executed with appropriate materials and architectural detail.

Existing village streetscape within the Conservation Area



6.1 Roofs

Most roofs are of a double pitch over a rectangular building with a central ridge and chimney stacks. Most buildings, whether individual or attached in terraces, have a wider frontage than span depth and roofs terminate at the gable walls with the edges of roofing slates supported by a simple cement fillet.

Additions to the main roof continue the double pitch form and are often constructed at 90° to the principal roof. Gable walls facing Halifax Road are a feature of the village, both in individual properties and more recently constructed terraces.

St Leonard's Church, and a number of other properties, feature gable parapets with flat capping stones supported at eaves by projecting ogee eaves stones. This is a typical detail of the area.

The principal roofing material used in the village is stone slate which has been laid in diminishing courses to a pitch of between 35°/40° and with a stone ridge capping. A large number of roofs have been re-laid with blue/grey Welsh slates and others with clay Rosemary tiles. Eaves stone spreader courses are not a common feature in Wortley.

More modern housing located at the north and eastern extremities to the village has been roofed with a mix of concrete artificial stone slates, most of which have blended well with their surroundings. Whilst a suitable artificial slate may be appropriate on the outskirts of the village, all roofs within the Conservation Area should be clad in natural materials.



Longitudinal terraces with occasional gables

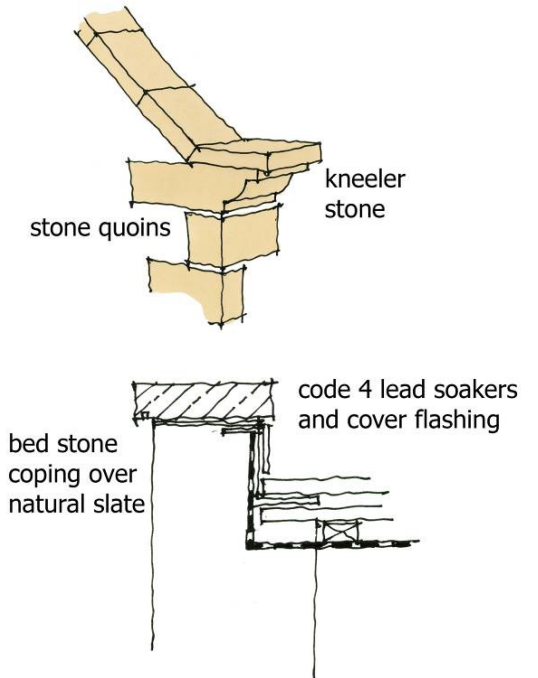


Traditional stone slate roofing

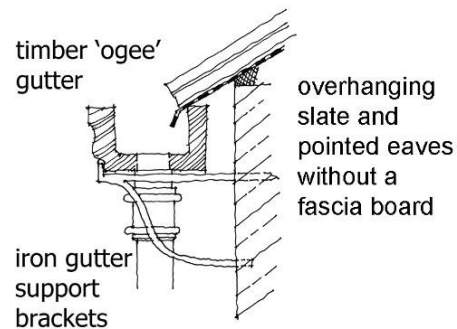
6.2 Eaves

The traditional eaves detail throughout the village is of squared section timber gutters with an ogee moulding, fixed on metal brackets set into the walling stone beneath. The eaves junction detail between roof slates and walls is finished with a simple mortar pointed joint. There should be no fascia boards or eaves soffits.

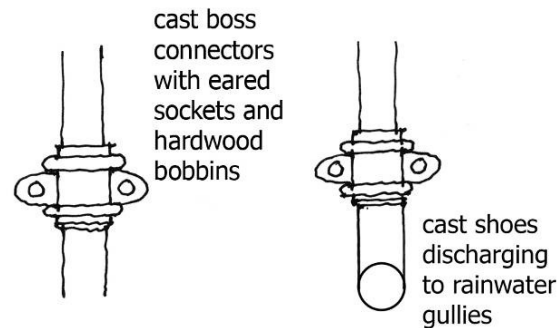
Rainwater pipes were traditionally of cast iron construction, erected in 2m lengths and featuring cast connectors with lugs and timber bobbins. A substantial number of buildings no longer have traditional timber and cast rainwater goods, which have been replaced with modern uPVC. Whenever possible, with any refurbishment work that is required, the construction of extensions or new building projects, traditionally detailed gutters and rainwater pipes should be provided in timber and cast iron, or the equally appropriate modern alternative of cast and pre-finished aluminium.



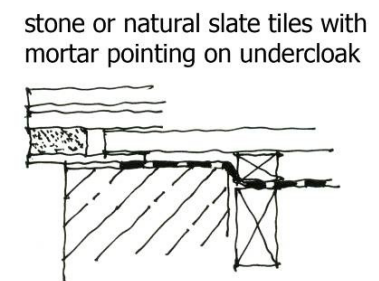
Typical parapet detail



Timber guttering



Cast iron rainwater pipes



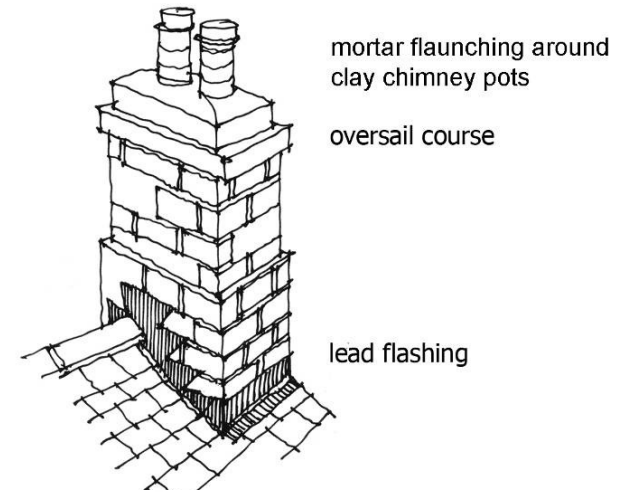
Pointed verges

Traditional Rainwater Goods

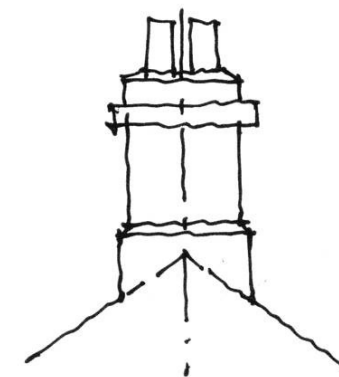
6.3 Chimneys

Chimney stacks in Wortley Village are generally constructed in stone. They are normally placed centrally on the ridge of the building, either at the gable ends or over a significant internal wall, or party wall in the case of terraced properties. Traditional chimneys normally accommodated more than one flue and are therefore twice or three times as wide across the span of the building as they are seen from the principal elevation.

Stacks are generally wider at their base, reduced in size over a chamfered plinth stone and feature an oversail course of stone at higher level. There are a number of brick chimney stacks throughout the village where brick has been used as a replacement material following weathering of the original stone chimney. All stacks are connected at roof level with stepped flashings in Code 4 lead.



Existing chimneys



stacks positioned centrally on roof ridge line

Typical stone and brick chimney

6.4 Windows

Original window details throughout the village were a combination of sash and casement frames appropriate to the hierarchy of the individual building. Unfortunately, replacement windows have been fitted to inappropriate detail and construction. Where new window frames are fitted as a result of refurbishment work on existing property, the construction of extensions or in new build residential development, windows should be constructed in best quality softwood or a more durable hardwood like Iroko and to appropriate detail with a paint finish.

Sash windows

There are a number of buildings in the village, including the Wortley Arms and property facing Halifax Road to the north of St Leonard's Church, which feature double hung, vertical, sliding sashes. Early windows had a configuration of six small panes (two high x three across) to each sash but shorter windows with unequal sashes (three in the outer and six in the inner sash) and three in both inner and outer sashes are also a common feature. There are also examples of Victorian sashes that have a single vertical glazing bar to each sash.

A mix of sash styles highlights changes in fashion over the years and is quite appropriate, subject to correct detailing. Wherever possible, individual panes of glass should be in the proportions of 1 to 1.4 vertically although, on smaller panes, this is likely to be nearer 1 to 1.2. It must be accepted that modern-day comfort and the requirement to work towards zero-carbon homes in the future mean that, wherever possible, windows will have to accommodate double glazing. Modern-day double glazing technology allows for particularly thin glazing units which can be accommodated within well proportioned slender glazing bars of between 25mm to 32mm. Oil-based putty rather than glazing bars should be used externally.



Traditional six pane sashes



Unattractive modern glazing



Victorian sashes



Traditional sashes with UPVC replacements to RHS

Casement Windows

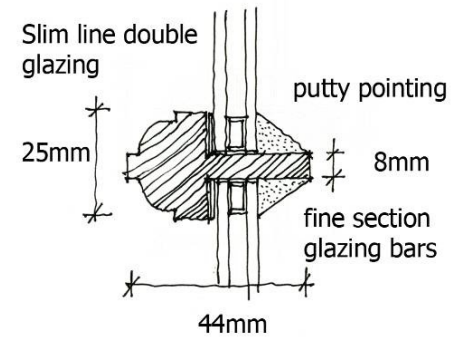
The majority of windows on secondary, side and rear elevations are of side-hung casement construction. Windows are usually arranged as a pair of handed casements with hinges on the outer frames and a meeting post or mullion at the centre. Original windows have their sashes recessed into rebated frames and are finished flush on the outer face.

Glazing was traditionally arranged with six lights per casement (two across and three high), although a large number of replacement windows throughout the village feature either a single horizontal or no glazing bar at all. Replacement windows which feature smaller top opening lights are particularly unattractive and should be avoided in the future. uPVC window frames are not appropriate.

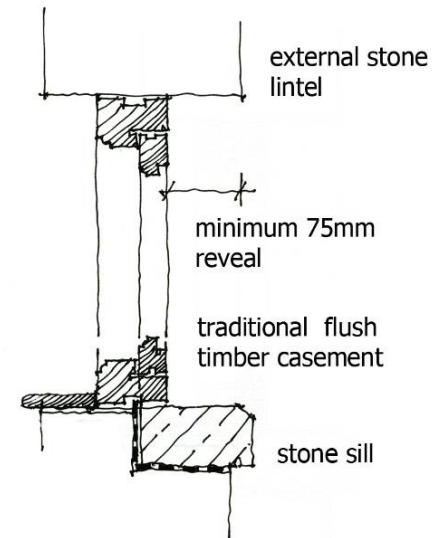
All window frames should be set in a minimum 75mm reveal to the external wall facing stone or render.

Other Windows

There are a few horizontal sliding sash windows remaining within the village and a variety of agricultural lights in the numerous outbuildings and small barns. Where traditional agricultural buildings are converted to residential use, the use of traditional casements with small panes of glass would not be appropriate and simple "punched" openings with stained or dark painted timber frames and a single pane of glass should be used.



Slender glazing bars to accommodate slim-line double glazing



Traditional casement detail

Lintels and Sills

All window openings throughout the village have stone lintels and sills.

Most have deep rectangular stone lintels and simple squared projecting sills. There are examples where lintels have been scribed with joint lines to give the impression of a segmental lintel, and a number of sills have been tooled and weathered.

Complete surrounds to windows with stone lintels and sills and matching jambs are a common feature throughout Wortley Village and a number of individual buildings feature carved stone hoods and drip moulds, tooled and chamfered stone mullions and window surrounds. All new window openings should be constructed using the traditional palette of materials and detail.



Drip mould over stone lintel



Stone lintel & sill



Stone surrounds



Stone mullions



Circular stone surround

6.5 Doors

External doors throughout the village were traditionally made of painted timber with vertical boarded construction. A small number of doors were panelled. Unfortunately, there are very few original doors remaining throughout the village and replacements have been in a variety of inappropriate styles. New external doors should generally be constructed in best quality softwood or Iroko to traditional ledged, framed and braced and vertically boarded detail, and with a paint finish. Panelled external doors should only be used where appropriate to building hierarchy and to correct detail.



Six panel



Vertically boarded

Inappropriate door & window details



6.6 Walls

The majority of external walls throughout the village are constructed with local grit stone. Unlike the sandstone used at lower altitude, most of the stone in Wortley is hard and unweathered.

Stone is generally laid in regular horizontal courses of between 125mm and 225mm depth, although a number of buildings, predominantly secondary agricultural structures, were built with rubble walling stone laid to a more irregular horizontal course.

There are several buildings in the village which have been constructed with external rendered walls, normally featuring exposed stone lintels, sills and quoins. The use of render in new build construction would be appropriate as a foil to natural stone, which should remain the dominant building material.

Heavy stone dressings, copings, corner quoin stones, stone arches, jambs and circular window surrounds are a common feature throughout the village and new building work should select from this palette of material and detail.

All repairs and re-pointing should be carried out in a mixture of lime putty and sand. The mortar should be coloured only by the sand and the introduction of natural grit and should be finished flush with the surrounding stonework, with a brushed or dragged finish exposing the natural aggregates immediately prior to final set. Mortar joints should not be laid to bucket handle or struck profiles, and wherever possible existing mortar joints finished in this way should be cut out and replaced.



Coursed stone walling with inappropriate struck pointing



Rubble walling

Brickwork

Brick is not a common external walling material within the village. With the exception of a number of small outbuildings and replacement chimney stacks, brick would not be an appropriate building material for future alterations, extensions or new build construction.

As an exception to the above rule, the eighteenth century walled gardens to the west of Wortley Hall and Chimney Cottage adjacent to The Avenue, are constructed in brick. Any new development in close proximity to the walled garden should reflect its immediate surroundings and could be constructed in brick or stone or a mixture of both.



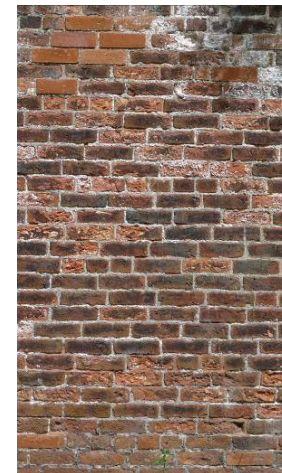
Stone and brick



Chimney Cottage adjacent to The Avenue



Brick with stone dressings

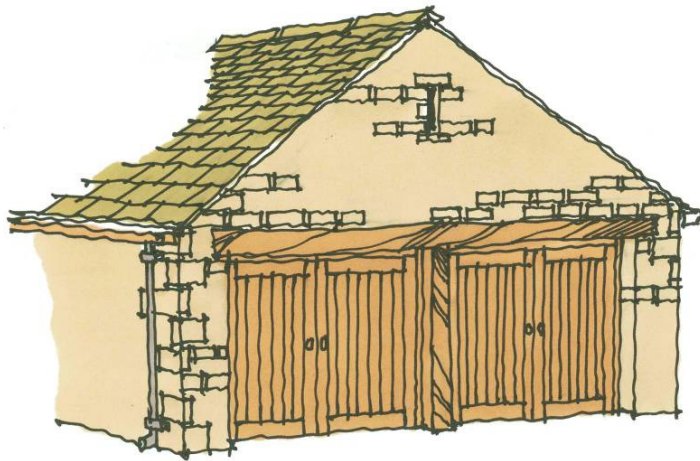


Brick walls to the Walled Garden

6.7 Outbuildings, Garages, Porches and Canopies

There are a number of secondary buildings throughout the village, generally to the rear of existing houses and cottages and accessed via shared service courtyards which have traditionally provided garaging, implement storage, stables, utility accommodation and, in the past, external privies. These buildings, which are generally of single storey construction and have a double pitched roof, are built in a mix of coursed stone and brick, most with natural stone slate roofs. Elsewhere, there are single storey lean-to structures with roofs following the pitch line of the principal building. New build garages and outbuildings should be of a similar simple construction with traditional roof, eaves and walling detail. Double garages should be fitted with a pair of single access doors separated by a stone pillar or timber post. Personnel doors should be vertically boarded for a paint finish.

Porches and canopies are not a traditional feature of Wortley Village. Wherever possible, they should be avoided, but where built they should be of solid stone construction.



New build garages to have single garage doors



Existing stone and brick outbuildings

6.8 Boundaries

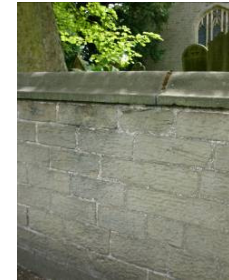
Stone walls are the dominant boundary material used throughout Wortley Village. These are of varying height and show great variety, from traditional dry stone field boundary walling, through pointed rubble walling and dry bedded delph stone, to the more formal parallel punched and ashlar coursed stone used on the boundary walls surrounding Wortley Hall and St Leonard's Church.

Wall toppers are formed with simple stones on edge, with flat topped, squared and regularly cut copings to every variation up to and including carefully tooled, half rounded and moulded copings. Openings are framed with a mix of rustic and more carefully cut and detailed stone gate posts.

Stone boundary walls are a critical part of the streetscape throughout the village and enhance the privacy and amenity of individual properties. Extensions to existing houses and cottages and new build development should follow this tradition and, wherever possible, use good quality reclaimed or salvaged material.

Boundary fences are not a common feature of the village and regardless of the requirements of Secure by Design, the use of 1.8m close boarded timber fencing should be discouraged. Where boundaries are not constructed with traditional stone walls, they should be formed with hedges using a mix of native species appropriate to the area.

Metal estate fencing is a traditional boundary treatment and has, in the past, been used to enclose properties adjoining The Flats. The addition of new metal estate fencing in conjunction with native hedging would be an appropriate boundary detail to those properties at the edge of the village.



Typical boundary wall details

7.0 **Roads and Footpaths**

Private Roadways

The existing car parks constructed to the rear of the Wortley Arms, the village club and the village square adjoining the shops, are all surfaced in tarmac. New car parking, constructed over the area of the allotments and within woodland, should be constructed with a low impact, permeable surface using geo-textile membrane and natural gravel finishes. New build car parking should be free-draining and should have an informal character. Existing tarmac car parking should be replaced, when necessary, using a mix of natural or artificial stone setts to delineate parking spaces and with a bonded gravel finish to remaining tarmac surfaces.

Informal grass verges adjoining private roadways should be retained and separate pedestrian footpaths adjoining the highway should only be provided where absolutely necessary. Shared surfaces maintain a more informal village character and ensure that buildings dominate the urban form.

Within the boundaries of individual properties, hard landscaping should be finished with natural or approved artificial stone flags and setts and gravel; brick paviers should not be used.



Informal village roads

7.1 Halifax Road

Halifax Road (A629) is a busy trunk road connecting Sheffield, via Penistone, with Huddersfield and Halifax. It also provides a quick link to the Stocksbridge by-pass and is therefore attractive to heavy goods vehicles seeking access to the M1 motorway in the east and the Woodhead Pass to Manchester in the west. The road bisects Wortley Village, causing traffic congestion, difficulties with both access and egress at minor road junctions within the village and potential danger to pedestrians. Constant noise and traffic fumes impact upon the privacy, amenity and health of residents.

Whilst there are no plans to by-pass Wortley Village, there would be substantial benefits to the quality of life and for the future of the community should funding become available at some stage in the future. A by-pass, passing to the west of the village from a roundabout at Four Lane Ends to a junction with Halifax Road to the north of Hermit Hill, would be approximately 1km in length and could be constructed to follow the natural contours of the hillside. There would be limited impact upon the surrounding openness and character of the Green Belt which could be offset by the considerable benefits to the residential population, the many tourists and visitors who come to Wortley to walk and play golf and to the Conservation Area, Listed buildings and the setting of the village in relation to the Listed mansion at Wortley Hall, the adjoining park, woodland and policies.

The following plan illustrates the route that a future by-pass might take to help remove heavy traffic from the village centre.



Heavy traffic



Traffic congestion

North



- EXISTING WOODLAND
- PROPOSED WOODLAND
- EXISTING ROADS
- PROPOSED ROADS, CAR PARKING & REVISED JUNCTIONS
- FUTURE SPORTS & LEISURE
- PEDESTRIANISE READING ROOM LANE

Wortley Village
Sheffield
South Yorkshire

POSSIBLE FUTURE HIGHWAYS & STRUCTURE LANDSCAPING WORKS



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Chris Carr Associates
 ARCHITECTS

64 Eastgate Barnsley
 S70 2EP
 Tel: 01226 286256 Fax: 01226 207304
 Email: mail@cca-arch.co.uk

7.2 The Avenue

The Avenue is a tarmac private roadway which runs from the park entrance gates adjoining Top Lodge to Wortley Hall and passes between mature woodland to the north west. The roadway provides access for residents living within the Home Farm Court complex and private dwellings beyond, as far as Hermit Hill Lane.

7.3 The Flats

An unmade private roadway running in an easterly direction from Top Lodge to Park Lodge. The unique character of the roadway is created by its enclosure between stone walls on both sides and the deep shade created by adjoining woodland to the north and an avenue of mature lime trees to the south.

7.4 Hermit Hill

Hermit Hill connects with Halifax Road and forms the northern boundary of the village. An existing junction from Hermit Hill allows traffic to access the private roadway which links Hermit Hill with The Avenue. Forward visibility for traffic exiting to Hermit Hill is sub-standard and consideration should be given to making this junction entry only.

7.5 Borrowdale House Junction

To the south of Hermit Hill, a private road connects with Halifax Road to the north of Borrowdale House and to the south of The Bungalow. The junction forms a crossroads with Hillside Way on the opposite side of Halifax Road and there is sub-standard forward visibility for vehicular traffic exiting to the trunk road. Consideration should be given to closing the junction to vehicular traffic and creating a safe pedestrian crossing to connect with the public footpath on the opposite side of Halifax Road.



The Avenue to Home Farm



The Flats

7.6 The Village Centre

There are currently three access points from Halifax Road at the centre of the village. Park Avenue, which sub-divides to form The Avenue and The Flats, Reading Room Lane and the private junction to and from the Wortley Arms Public House.

Detailed consideration should be given to re-planning both vehicular and pedestrian circulation at the centre of the village, to altering the Wortley Arms junction to entry only, to closing Reading Room Lane to vehicular traffic and to creating a new junction with Park Avenue to an inner link road which would connect both existing and proposed village car parking.

Proposals should be prepared which result in improved highway safety, enhance the Conservation Area, the setting of existing Listed buildings, improve the privacy and amenity of residents and future business and employment prospects at the Wortley Arms, the adjoining village club, the post office, tea room and shops.



Pedestrianise Reading Room Lane



Redesign the Wortley Arms Junction



Proposed new village centre access road

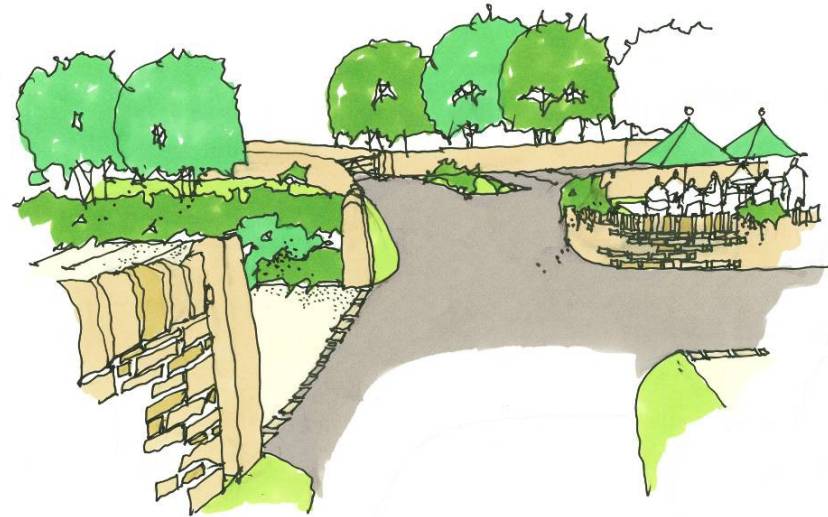
7.7 Car Parking

There is inadequate public car parking in Wortley Village. Existing parking is restricted to a small number of spaces on Park Avenue used by residents, visiting tourists, walkers and customers of the village centre shops. Private car parking to the rear of the Wortley Arms Hotel and the village club is sufficient for their own purposes, but is not available to others.

Proposals should be prepared for new village car parking to be carefully located where it can be easily accessed, where its use by residents, tourists and shoppers can be clearly delineated and where it will have minimal impact upon the privacy and amenity of residents, the Conservation Area and the surrounding Green Belt.

A village centre car park, located on the area of the existing allotments on a part of the site which has Planning Permission for residential development, would allow linkage to existing facilities, be concealed from view by existing walls and planting and be accessible from Halifax Road and Park Avenue.

A separate woodland car park, with access from The Avenue and with spaces provided on an informal basis amongst existing trees and with limited availability, could be an attractive facility to cater for the tourists and walkers visiting Wortley Park.



Access to the new village car park

8.0 Street Furniture

Existing street furniture throughout the village, including lighting, signage, seating, post boxes, telephone kiosks and litter bins are often poorly located and of inappropriate design. Consideration should be given to reviewing the design and placement of all street furniture which should reflect the fact that Wortley is an estate village.



Examples of poor street furniture

Examples of good street furniture

9.0 Hard Landscape

Future hard landscape throughout the village should include natural stone flags and setts or a good quality approved artificial alternative. Wherever possible, gravel should be used for paths. Brick paviors, concrete or large areas of tarmac should be avoided.

10.0 Sustainability

The proposals for development within Wortley Village should take account of PPS1, which gives guidance on delivering sustainable development and PPS7 which considers sustainable development in rural areas. Future proposals should, where possible, seek to conserve and enhance the very special character of the village and improve social and economic well-being of residents and local businesses. The most significant objections can be summarised as follows.

- Conserve and enhance setting and landscape
- Re-use existing buildings which provide a heritage asset and contribute to the special character of the village, and preserve archaeological heritage.
- Conserve important habitat and species.
- Promote existing and new sites capable of providing biodiversity of habitat and species.
- Protect and make accessible open space within the community.
- Reduce carbon emissions and conserve and enhance carbon sinks by maintaining existing and planting new woodland.
- Help to meet local needs for lower cost housing and, in particular, provide suitable accommodation for elderly and disabled people to remain resident in the village whilst freeing up larger family homes.
- Encourage better access to local services and amenities and encourage local businesses to develop.
- Provide opportunities for new business within the village with priority for use by local people.

11.0 Future Development

The design guide outlines the principles for future development. Traditional architectural details and choice of natural materials are likely to form the basis for development, although should not preclude more modern design to create buildings “of their time” whilst remaining sensitive to location and context.