
2023/0675

Mr S O'Keefe

Demolition of changing rooms and erection of two storey detached house, diversion of existing culvert, and associated works

Former Changing Rooms, Land adjacent Smithy House, Sheffield Road, Oxspring, Sheffield, S36 8YQ

Site Location & Description

The application relates to a plot of land located on the northern side of Sheffield Road, Oxspring a busy route linking the surrounding areas to Penistone. The site is located on the periphery of the village, adjacent to open agricultural land and opposite local playing fields and a public house. The immediate area is predominantly residential and is characterised by a mixture of housing types, styles, and construction materials. The site is located between a pair of stone built semi-detached dwellings and associated micro-brewery to the north-west and open agricultural land to the east.

The site is currently overgrown and occupied by a green painted corrugated metal building which is locally referred as "former changing rooms". The site is set back from the highway and separated from it by an intervening grass verge which is classed as adopted highway. The site is enclosed by a low-level stone wall to the front side boundaries which extends to the rear and a low-level brick wall along the front boundary.

Proposed Development

Planning permission is sought for the demolition of the existing metal clad former changing room building and the erection of 1no detached dwelling, with the accommodation to be laid out in a traditional manner with living accommodation at ground floor and bedrooms at first floor. The scheme involves a parking area for 2no vehicles adjacent to the western boundary. It is proposed to construct the dwelling from natural sandstone with natural slate roof tiles.



FRONT ELEVATION

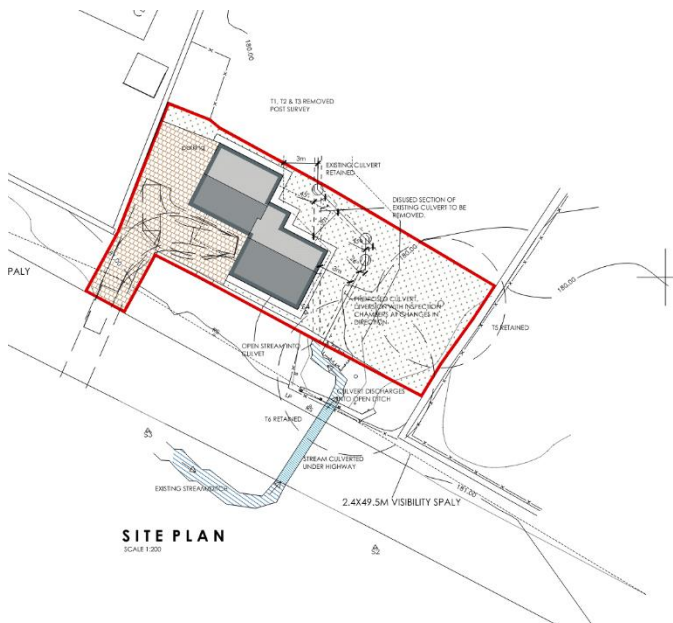
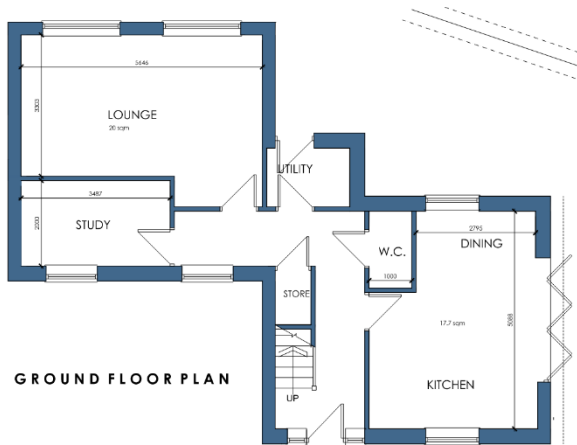
SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

Local Plan

The site is allocated as Urban Fabric within the Local Plan Proposals Maps and therefore the following policies are relevant:

Policy H4 Residential Development on Small Non-allocated Sites
Policy GD1 General Development
Policy D1 High Quality Design and Place Making
Policy T3 New Development and Sustainable Travel
Policy T4 New development and Transport Safety
Policy Poll1 Pollution Control and Protection

Supplementary Planning Documents (SPD)
Supplementary Planning Document – Design New Housing Development
Supplementary Planning Document – Residential Amenity and Siting of Buildings
Supplementary Planning Document – Parking
Supplementary Planning Document – Sustainable Travel
The South Yorkshire Residential Design Guide (SYRDG)

Oxspring Neighbourhood Development Plan

Policy OEN4 Landscape and Building Design Guidelines for New Development

New development will be required to demonstrate consideration of the following landscape design guidelines:

1. The retention of features such as stone walls, bridges, trees, and natural landform of demonstrable interest will be encouraged, and where possible repaired and maintained.
2. New buildings should maintain a visual and physical connection with their rural context through use of traditional local materials, and designs which respond positively to the local context and immediate setting.
3. Where proposals for new buildings are located on valley sides, valley-side planting of native species to enhance wooded character of the valley and soften the urban edge will be encouraged. The use of local stone should be used for boundary features.
4. Proposals should be designed and located in order not to be unduly intrusive in the landscape and reduce its natural character. Colours and materials should be chosen carefully to integrate the development into the landscape. Muted colours, particularly on roofs, will be important in successfully integrating new development.

5. Views to existing landmark buildings such as Oxspring Viaduct, the Waggon and Horses and Travellers Inn public houses are protected, and buildings should be sited and designed to enhance these views and not be unduly intrusive.
6. The scale of built development will be crucial to its successful integration. Low rise, two storey properties are likely to be most successfully accommodated into this rural landscape. Exceptions to this may be appropriate where it is demonstrated that a third storey is required to accommodate technologies to maximise energy and resource efficiency

National Planning Policy Framework (NPPF)

The National Planning Policy Framework sets out the Governments planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise.

Where the development plan is absent, silent, or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

Para 7 - The purpose of the planning system is to contribute to the achievement of sustainable development.

Para 11 – Plans and decisions should apply a presumption in favour of sustainable development.

Para 60 - To support the Government's objective of significantly boosting the supply of homes, it is important that a sufficient amount and variety of land can come forward where it is needed, that the needs of groups with specific housing requirements are addressed and that land with permission is developed without unnecessary delay

Paras 74-77 - reiterates the importance of a deliverable supply of homes to meet the needs of the district.

Para 92 - Planning policies and decisions should aim to achieve healthy, inclusive, and safe places

Para 111 - Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

Para 126 - The creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

Para 134 - 'Development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes.

Para 174 – Planning policies and decisions should contribute to and enhance the natural and local environment.

Consultations

Biodiversity – No objections subject to conditions
Highways DC – No objections subject to conditions

Drainage – No objections – happy for drainage details to be checked by Building Control
Forestry Officer - No objections subject to conditions
Pollution Control – No objections subject to conditions
Hunshelf Parish Council – No objections received
Oxspring Parish Council – No objections received
Ward Councillors – No objections received
Yorkshire Water – No objections received

Representations

Neighbour notification letters were sent to the surrounding residents and a site notice was posted adjacent to the site; comments have been received in relation to:

- Access to and from Sheffield Road due to the volume and speed of traffic
- Overlooking of garden
- Impact of culvert diversion on existing property.

Assessment

Principle of Development

Local Plan Policy H4 'Residential Development on Small Non-allocated Sites' states that proposals for residential development on sites below 0.4Ha will be allowed where the proposal complies with other relevant policies in the plan. These sites make a valuable contribution to the housing supply. Sites in towns and villages can offer good opportunities for providing houses where other people already live, near to shops and services. Developing these sites also reduces the need to provide new sites outside settlement boundaries. We will allow small scale residential development within towns and villages in line with other plan policies, including those protecting people's living conditions, road safety and design. The proposal is considered to be in line with the principles of this policy and will be a replacement of an existing building close to residential properties so will be in character with what is there already.

In addition to the above, all new dwellings must ensure that living conditions and overall standards of residential amenity are provided or maintained to an acceptable level both for new residents and those existing. Development will only be granted where it would maintain visual amenity and not create traffic problems/reduce highway safety. An assessment of the proposals against those criteria is set out within the sections of the report below.

Residential Amenity

The SPD Design of New Housing Development states that 'in order to ensure adequate levels of privacy are provided/ maintained, to ensure residential development does not result in unacceptable levels of loss of outlook and in order to provide adequate amenity, development will be expected to comply with external spacing standards.' The proposed dwelling is to replace an existing dilapidated metal clad former changing room building albeit on a larger footprint and altered siting.

The proposed dwelling has been sited to limit its impact on the surrounding properties and complies with the guidance set out in the Supplementary Planning Documents and South Yorkshire Residential Design Guide in relation to separation distances and back to side relationships and overshadowing and loss of outlook. The western side elevation of the proposed dwelling is located approximately 32m from the south-eastern rear elevation of Smithy House, with the rear elevation within 1m of the rear boundary. In normal circumstances the proximity of the rear elevation, which incorporates habitable room windows, to the rear boundary would not be acceptable. However, given the location of the dwelling within the area, that there are no properties to the rear and that the land to the rear is allocated as Green Belt, the proximity to the rear boundary is acceptable in this instance.

The dwelling would be sited to the south-east of Smithy House, which could lead to an increase in overshadowing due its orientation in relation to the path of the sun. However, any overshadowing would be over the driveway associated with the application site and the bottom of the garden, which is an area generally used least.

The internal arrangement of the property has been designed to limit the inclusion of the windows on the western side elevation facing Smithy House, therefore there would be no overlooking of this property or its private amenity space. As mentioned previously the windows on the rear elevation would be within 1m of the rear boundary, with additional habitable room windows on the eastern side elevation, however there are no properties beyond the eastern side or northern rear boundaries, with only a small beer garden associated with the micro pub to the north- west.

The property is proportioned with the overall floor area of the property exceeding the technical guidelines set out in the South Yorkshire Residential Design Guide, with the rooms within the proposed dwelling meeting the requirements of the SYRDG; in addition, the private amenity space provided exceeds the requirements for a dwelling of this size.

It is in this regard that the proposed development complies with SPD Designing New Housing Development, Local Plan Policy H4 Residential Development on Small Non-allocated Sites and Local Plan Policy GD1 General Development.

Visual Amenity

Local Plan Policy D1 emphasises the importance of retaining the character of the area and protecting the street scene when considering proposals for new dwellings on small infill plots. The design of the dwelling is unique, due to the shape, size and orientation of the plot and the inclusion of a culvert which crosses the site. This has resulted in a stepped design, which has been modified during the application process to ensure the wider element or main dwelling, appears as the dominant feature and the western “wing” appears as an extension to it. The dwelling has been designed to harmonise with the neighbouring dwellings, in that it is designed with a pitched roof with the roof slope facing the highway, with a similar fenestration and utilising heads and cills which are features of the surrounding dwellings. The application form indicates that the dwelling is to be constructed from natural sandstone with slate roof tiles, which is not dissimilar to other properties within the vicinity.

The dwelling is set back from the highway with an intervening grass verge, therefore the parking and turning areas are set back from the highway and does not dominate the street scene. As such it is not considered that the proposed dwelling would form a dominant feature within the street scene and is therefore unlikely to be out of character with the area, as such the proposed development complies with Local Plan Policy D1 and is acceptable.

Highway Considerations

Off road parking is provided for the proposed dwelling with a turning area which provides sufficient space for the parking of at least two vehicles and allows vehicles to enter and exit the highway in a forward direction. Highways have been consulted on the proposed development and have raised no objections to the proposal subject to the inclusion of conditions.

The site is sufficient to accommodate a dwelling of this size and the required number of parking spaces in accordance with the requirements of Supplementary Planning Document, Parking and as such the proposal is acceptable and in compliance with Local Plan Policy T4 New development and Transport Safety.

Other Issues

Biodiversity – An ecological survey has been submitted as part of the application, Biodiversity officers have been consulted on the application and have raised no objection to the proposal or the recommendations within the document. Biodiversity have requested that in line with the recommendations of the report, conditions requiring the provision of bird and bat boxes and measures to prevent the spread of Himalayan balsam are included.

Trees – trees are indicated within the arboricultural report to be retained, one of these trees is located outside the red line boundary, within the adopted highway. The Councils Tree Inspections and Maintenance Manager has indicated that there is no objection to the maintenance of this tree. Given this confirmation the Forestry Officer raises no objections to the proposal subject to conditions requiring the protection of the retained trees during the construction period.

Drainage – a culvert crosses the site, and it is proposed to divert the culvert to allow for the development due to easement restrictions. The Councils Drainage Officer has been consulted on the application, and following the submission of sufficient details, there are no further observations to make with respect to land drainage and that they are happy for the details to be checked by building control. Yorkshire Water have been consulted on the application and have not provided any comment in relation to the development.

Conclusion

The development ensures that adequate levels of amenity are retained for the neighbouring residents and future occupiers of the proposed dwelling. The erection of 1no 4bed property, which whilst only a small contribution, would add to the housing supply. On balance, it is considered that the erection of the detached dwelling is acceptable and in compliance with Local Plan Policies H4, GD1, D1 and T4.

Recommendation

Approve with conditions