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2024/0525

Mr Bradley Tavernor

9 Parkers Terrace, Birdwell, Barnsley, S70 5UR

**Demolition of existing single storey side projection and removal of existing greenhouse and adjacent landscaping, erection of detached garage and creation of new driveway, patio and landscaping, erection of two-storey and single storey side extensions, erection of front porch, and conversion of loft to habitable space (Amended Plans and Description).**

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### Site Description

The application relates to an end-of-street plot located on the north-east of Parkers Terrace and in an area that is principal residential characterised by a mix of dwelling types of varying scale and appearance. Parkers Terrace is characterised by two-storey semi-detached dwellings of a similar scale and appearance with their gardens to the front on the south-west side of the street. Green Belt land is located to the north-west and Chapel Street to the south-east.

The property in question is a small relatively narrow two-storey semi-detached property constructed of stone with a pitched roof with slate roof tiles. The property benefited from an existing single storey side lean-to projection which has since been demolished. This was abutted by a small garden area to the north-west within the plot. Fronting the property and on the opposite side of the street is a larger garden. Existing outbuildings within this garden have also since been demolished. Parkers Terrace is relatively level and is accessed from Chapel Street. The adjoining dwelling has the benefit of a two-storey side extension.



## Planning History

There is one previous application associated with this site.

1. B/80/0742/WB – Extension to dwelling. – Approved.

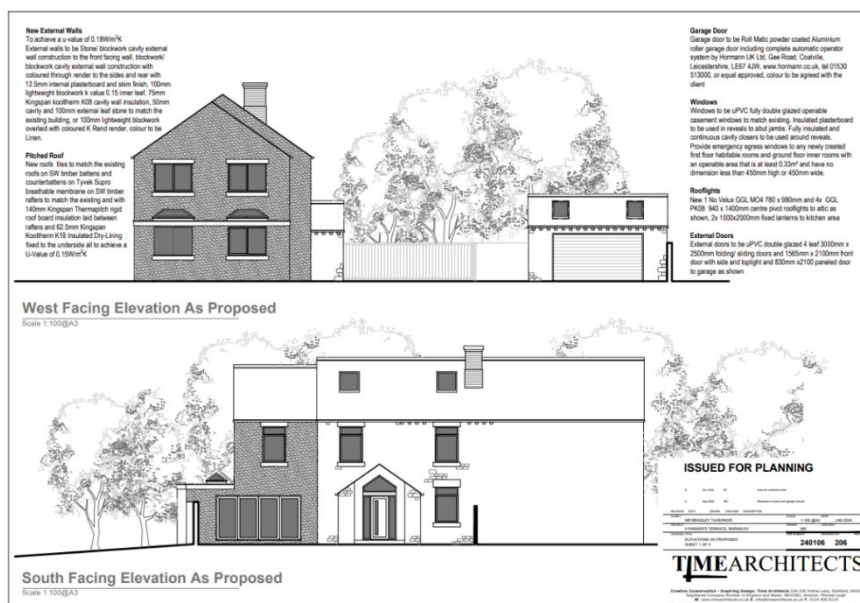
## Proposed Development

The applicant is seeking permission for the demolition of an existing single storey side projection, the removal of an existing greenhouse and the removal of adjacent landscaping, the erection of two-storey and single storey side extensions, the erection of a single storey front porch, the conversion of a loft to form additional habitable space, the erection of a detached garage and the creation of a new driveway, patio and landscaping.

The proposed two-storey and single storey side extensions would replace an existing single storey side projection and have a total width of approximately 9.8 metres and total depth of approximately 8.3 metres. A two-storey extension would replace an existing single storey side projection and would adopt a pitched roof with an approximate eaves and ridge height of 5.8 metres and 8.8 metres to match the existing dwelling and approximately match the width of the extended adjoining dwelling. A second element to the two-storey extension would be of a smaller scale and adopt a pitched roof with a set back and set down to give the appearance of a later, smaller extension. This element would have an approximate eaves and ridge height of 5.8 metres and 8.4 metres respectively. An adjoining single storey side extension would adopt a flat roof with an approximate height of 2.9 metres. The larger element of the two-storey extension would be finished with stone to its front elevation and 'linen' coloured render to its remaining elevations. The smaller second element of the two-storey extension and the adjoining single storey extension would be finished with 'linen' coloured render on all elevations.

The proposed garage would measure approximately 6.5 metres by 3.5 metres (5.85 metres by 2.85 metres by 5 metres internally). The garage would adopt a pitched roof with an approximate eaves and ridge height of 2.5 metres and 4 metres respectively. The garage would be constructed of closely matching external materials, including stonework and roof tiles.

The proposed front porch extension would measure approximately 3.9 metres by 1.5 metres. The extension would adopt a gable pitched roof with an approximate eaves and ridge height of 2.4 metres by 3.8 metres respectively. The porch would be constructed of closely matching external materials, including stonework and roof tiles.



**Demolitions**  
Existing external walls, internal partitions, staircase, doors, windows and kitchen units to be carefully removed, shown dotted

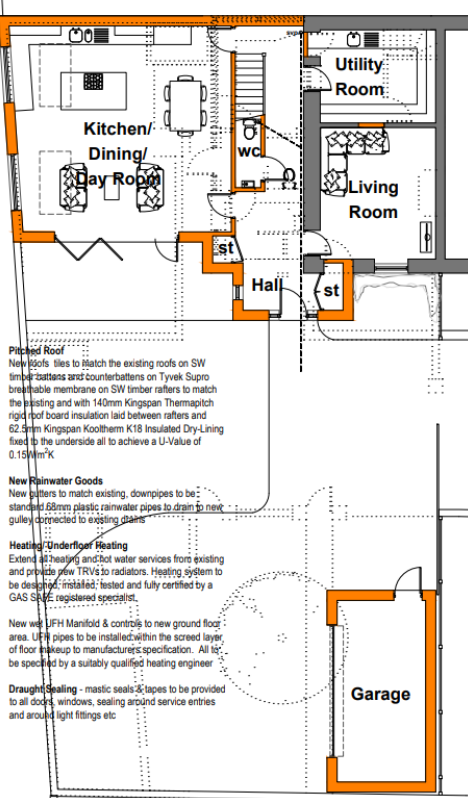
**New Foundations**  
New foundations are to be concrete strip foundations 600mm width, depth to suit ground conditions and to be confirmed on site. High Alumina concrete must not be used.

**New Solid Ground Floor**  
Solid ground floor to consist of 150mm consolidated well-rammed hardcore. Blinded with 50mm sand binding. Provide 100mm ST2 or Gen2 ground bearing slab thickened 300mm at garage entrance, laid over a 1200 gauge polythene DPM. DPM to be lapped in with DPC in walls. Floor to be insulated over slab and DPM with min 90mm thick Kingspan Kooltherm insulation. 25mm insulation to continue around floor perimeters to avoid thermal bridging. A VCI should be laid over the insulation boards and turned up 100mm at room perimeters behind the skirting, all to achieve a U-value of 0.18W/m<sup>2</sup>K. NOTE - remove existing GF timber floors and replace with above construction also.

**Garage Floor**  
Solid garage floor to consist of 150mm consolidated hardcore. Blinded with 50mm sand binding. Provide 150mm ST2 or Gen1 ground bearing slab thickened 300mm at garage entrance, laid over a 1200 gauge polythene DPM as required. DPM to be lapped in with DPC in walls. Ensure a 1:80 fall is provided to floor from back of garage to front garage door.

**Upper Floors**  
New floor construction to be finish (to be confirmed by the client) laid on 22mm plywood deck on sw timber floor joists to size and spec by the S. Eng and Lay 100mm Rockwool mineral fibre quilt or equivalent between floor joists. Ceiling to be 12.5 FireLine plasterboard with skim plaster set and finish.

**New External Walls**  
To achieve a U-value of 0.18W/m<sup>2</sup>K  
External walls to be Stone/blockwork cavity external wall construction to the front facing wall, blockwork/blockwork cavity external wall construction with coloured through render to the sides and rear with 12.5mm internal plasterboard and skim finish, 100mm lightweight blockwork k value 0.15 inner leaf, 75mm Kingspan kooltherm K08 cavity wall insulation, 50mm cavity and 100mm external leaf stone to match the existing building, or 100mm lightweight blockwork overlaid with coloured K Rend render, colour to be Linen.



**Ground Floor Plan As Proposed**  
Scale 1:100@A3

**Garage Door**  
Garage door to be Roll Matic powder coated Aluminium roller garage door including complete automatic operator system by Hormann UK Ltd, Gee Road, Coalville, Leicestershire, LE67 4JW, www.hormann.co.uk, tel 01530 513000, or equal approved, colour to be agreed with the client

**Windows**  
Windows to be uPVC fully double glazed operable casement windows to match existing. Insulated plasterboard to be used in reveals to abut jambs. Fully insulated and continuous cavity closers to be used around reveals. Provide emergency egress windows to any newly created first floor habitable rooms and ground floor inner rooms with an operable area that is at least 0.33m<sup>2</sup> and have no dimension less than 450mm high or 450mm wide.

**Rooflights**  
New 1 No Velux GGL MO4 780 x 980mm and 4x GGL PK08 940 x 1400mm centre pivot rooflights to attic as shown, 2x 1000x2000mm fixed lanterns to kitchen area

**New Staircase**  
Existing ground floor to first floor staircase to be replaced to consist of 15 No risers (2.85m FFL to FFL) as shown, install new sw timber staircase from first floor to second floor to consist of 14 No risers (2.7m FFL to FFL) as shown, treads to be 220mm, risers to suit change in level to maximum 42 degree rake and with bullnose nosing, include for 48mm diameter sw timber handrail fixed to adjacent wall on wall brackets and on balustrading at 900mm above the rake of the stair, NOTE the design of the balustrading to match that of the adjacent and below staircase

**Internal Partitions**  
Form new 125mm overall timber stud partitions consisting of 12.5mm plasterboard to each face, 100 x 50mm timber studs at 600mm c/c's and 25mm Iso wool insulation between studs as shown

**Internal Doors**  
Internal doors to be 763 x 1981mm FD30 doors, style to be confirmed by the client, allow for replacing existing doors with FD30 fire doors also

**Smoke Detection**  
Mains operated linked smoke alarm detection system to be mains powered with battery back up to be placed on each storey with an additional interlinked heat detector at ceiling level in kitchens

**External Doors**  
External doors to be uPVC double glazed 4 leaf 3000mm x 2500mm folding sliding doors and 1565mm x 2100mm front door with side and top light and 830mm x 2100 panelled door to garage as shown

**Structural Items**  
All structural openings and supports to removed items, including new roof structure to the design and spec of the S. Eng

**Services**  
Contractor to allow for relocating existing Gas meter, breaker box and supply routes, locations to be agreed with the client

**Lintels** - over masonry openings in external walls to be Catnic Lintels sized appropriate to the opening and to all manufacturers recommendations. Install pre cast concrete relieving lintels over drains under masonry walls

**Wall and Ceiling Finishes** - finishes to all rooms to be 3mm skim finish on plasterboard/partitions, wall, ceilings and timberwork are to be emulsion painted, satin paint to all timber skirtings, decorative woodstain to all exposed timber boarding. No of primers, undercoats and finishing coats to all manufacturers recommendations

**Sanitaryware**  
New bathroom suite to be supplied by the client and to include wc and basin to the ground floor wc, wc, basin and shower to the en-suite and bath, shower, wc and basin to the bath room. NOTE allow for installation. Contractor to allow for new domestic style 15l/s Bathroom mechanical extract vent through the external wall with 15min overrun and connected to the light switch to all bathroom and wc areas. NOTE all extracts to be taken to front or rear wall and not through the side wall or through the roof if possible.

**Kitchen Utility Units & Appliances**  
New Kitchen & utility units all to be supplied by the client, Contractor to allow for new domestic style 30l/s mechanical extract vent through the external wall (allow for installation)

**Electrics**  
All new light fittings to be low energy units, type, number and locations all to be confirmed by the client on site, new light switches to be stainless steel domestic style, switch locations to be confirmed by the client on site. All new electrical sockets etc to be stainless steel domestic style number of and locations all to be confirmed by the client on site and installed 450mm above FFL or min 150mm above Utility work surface. All electric works to be carried out by a member of an appropriate competent persons scheme

**Upgrade Party Wall to Attic Floor**  
Insulate wall on the warm side using 47.5mm Kingspan Kooltherm dry-riding board. Battens out to provide a nominal 25mm cavity between the masonry and insulation. Provide a vapour control layer under the insulation.

**Glazing** - New and replacement windows and doors to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band D or better and to achieve U-value of 1.4 W/m<sup>2</sup>K, to be safely glazing within 1500mm above floor level in doors and side panels within 300mm of door opening and within 800mm above floor level in windows.

**ISSUED FOR PLANNING**

REVISION	DATE	BY	DESCRIPTION
1	11/08/24	MR BRADLEY TAYNOR	ISSUED FOR PLANNING
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240106 202

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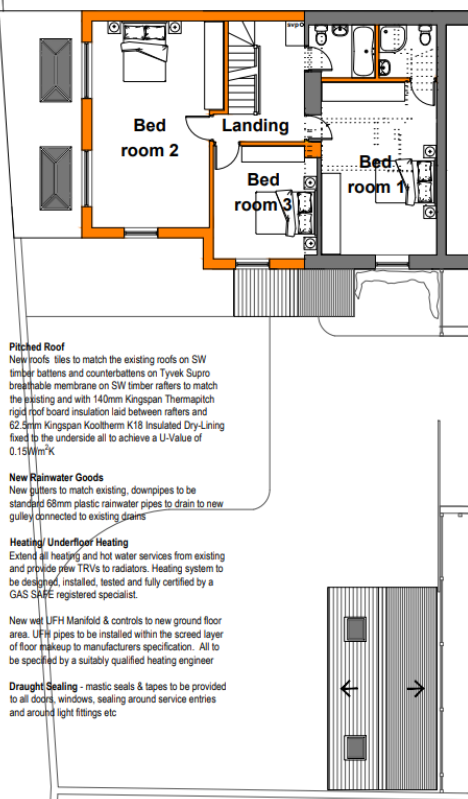
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240106 203

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## Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

### Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy GD1: General Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy GB1: Protection of Green Belt.***
- ***Policy T4: New Development and Transport Safety.***

### Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

### National Planning Policy Framework

The NPPF sets out the Government’s planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***
- ***Section 13: Protecting Green Belt land.***

### Other Material Consideration

- ***South Yorkshire Residential Design Guide 2011.***

## Consultations

Highways Development Control	No objection subject to conditions.
Forestry Officer	No objection.

## **Representations**

Neighbour notification letters were sent to surrounding properties and two objections were received from two addresses.

The following concerns which are material planning considerations were raised:

- Overshadowing, loss of light and loss of privacy.

The following concerns which are not material planning considerations were raised:

- The garage will not be pleasant to look at and feel it could be better placed in the plot.

A 14-day re-consultation was carried out due to amended plans and an amended description and no further representations were received.

While all concerns raised are acknowledged, only those which are material planning considerations can be taken into account.

## **Assessment**

### Principle of Development

Extensions and alterations to a domestic property and the erection of detached garages in domestic curtilages are acceptable in principle if the development would remain subsidiary and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

The application site is not located in the Green Belt but is located adjacent to it. A separate Green Belt assessment is therefore not required in this instance, but consideration will be given to whether the proposal would have a harmful impact on the appearance or character and the preservation of the openness of the Green Belt.

### Residential Amenity

Extensions and alterations to a domestic property and the erection of detached garages in domestic curtilages are considered acceptable if the development would not adversely affect the amenity of neighbouring properties.

During the application process, objections have been raised regarding loss of light and privacy. However, the proposed front extension would be erected to the north-west of 10 Parkers Terrace, therefore limiting any potential overshadowing impact to the evening. The extension would also be set away from the party boundary by approximately 2.75 metres, would adopt a relatively modest projection and restrained roof height and would comply with the 45-degree rule (which is applied to assess and limit the extent of overshadowing and reduced outlook). Moreover, existing boundary treatments which comprise timber fencing, a pergola and vegetation, are likely to contribute to any existing level of impact which may be experienced and tolerated and could offer some mitigation. New glazing would be limited to the north-west and south-west facing elevations of the extension which would face away from 10 Parkers Terrace. A sufficient separation distance would also be maintained to the south-west party boundary with the proposed garage and existing boundary fencing likely to provide some screening.

The proposed two-storey and single storey side extensions would be erected to the north-west of the application property and would be located to the south and south-west of the rear curtilage of 24 Chapel Street. While some overshadowing could occur, any potential impact would likely be limited to a relatively small part of the very rear of the neighbouring curtilage. The occupant(s) of 24 Chapel Street were notified of this application and no objections were received. Habitable room windows of neighbouring properties would unlikely be impacted, and new windows and doors would be limited to the north-west and south-west facing elevations of the extensions. North-west facing windows would face towards the adjacent Green Belt land and the south-west facing windows would be sufficiently distanced from the boundary line opposite. The extensions would follow the footprint and form of the existing building and would not contribute to significantly reduced levels of outlook.

While the proposal would result in the loss of existing amenity spaces to the north-west and south-west of the application property, a new landscaped area of approximately 66.9m<sup>2</sup> is proposed. It is acknowledged that the proposed amenity space would not be entirely private. However, the space would replace existing spaces that are similarly open and visible in the street scene and is therefore considered acceptable in this instance.

The proposed garage would be erected adjacent to the party boundary to the north and north-west of 28 Chapel Street and to the north-west of the front garden of 10 Parkers Terrace, therefore limiting any potential overshadowing impact to the evening and not at peak times for use of a garden. While the garage would be erected to the south-west of the front habitable room windows of 10 Parkers Terrace, the garage would be positioned several metres away and is therefore unlikely to contribute to any significant overshadowing. The scale of the garage has also been significantly reduced during

the application process to comply with the design guidance of the House Extensions and Other Domestic Alterations SPD. Moreover, the proposed garage would not likely contribute to significantly increased overlooking and loss of privacy or reduced levels of outlook. Proposed roof lights would be relatively small and would be limited to the north-west facing roof plane of the garage which would face into the application site and away from surrounding neighbouring properties. The garage would also not directly obstruct outlook from the rear habitable room windows of 28 Chapel Street, and existing boundary treatments which comprise timber fencing and vegetation are likely to offer some degree of mitigation.

The proposed garage will be conditioned for domestic purposes only. Some permitted development rights will also be removed to retain the proposed replacement garden area, in accordance with Local Plan Policy GD1.

Overall, the proposed is therefore not considered to result in significantly increased levels of overshadowing, overlooking and loss of privacy or reduced levels of outlook and would not have an overbearing impact. Moreover, the amenity of the occupant(s) of the surrounding neighbouring properties and the application property would not be significantly detrimentally impacted and would be maintained to a reasonable degree.

*The proposal is therefore considered to comply with Local Plan Policy GD1: General Development and would be acceptable regarding residential amenity.*

### Visual Amenity

Extensions and alterations to a domestic property and the erection of detached garages in domestic curtilages are considered acceptable if the development would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

During the application process, the proposal was significantly amended to address visual amenity concerns.

The proposed two-storey extension which would replace an existing single storey side projection, maintaining the footprint of the existing projection while conforming to existing building lines. This extension would comprise of two elements, the first to be built up to the external edges of the existing building, reflecting the design and proportions of the adjoining property. This element would adopt a pitched roof with closely matching roof tiles, and its front elevation would be finished in stone, closely matching the existing and surrounding buildings. The side and rear elevations of this element would be finished in 'linen' coloured render. The use of render on these elevations is considered acceptable as they are secondary with a limited contribution to the character of the street scene, and similar rendering can also be seen on nearby dwellings.

The second element of the proposed two-storey extension would be set back from the main front wall of the existing building and aforementioned extension and would be set below the ridge of the existing roof. This part of the extension would therefore appear subservient and would adopt a pitched roof with closely matching roof tiles and would be finished in 'linen' coloured render on all elevations. The use of render on all elevations of this part of the extension, although not preferred, is considered acceptable as this element would be set back from the main building line and would not be visible from the public realm of, nor impact, the primary street scene of Chapel Street.

The proposed single storey extension to the side would follow the footprint of the smaller two-storey element. The single storey extension would adopt a flat roof and would be finished in 'linen' coloured render on all elevations. The adoption of a flat roof and the use of render on all elevations of this extension, although not preferred, is considered acceptable in this instance as the extension would be set back from the main building line and would not be visible from the public realm of, nor impact, the primary street scene of Chapel Street.

The proposed single storey extension to the front adopts a sympathetic form and features, including a modest scale, gable pitched roof and closely matching external materials, including stonework and roof tiles.

The proposal, overall, would have a width (approximately 6.8 metres) greater than two thirds the width of the original dwelling (approximately 7.4 metres), contrary to the House Extensions and Other Domestic Alterations SPD. In this instance, however, it is considered acceptable to allow the dwelling to mirror the adjoining property, improving symmetry in the street scene, and to provide rooms of a sufficient size which meet the SYRDG requirements. In addition, the backland location of the application site would limit views of the proposed development from the public realm of the primary street scene of Chapel Street.

The scale of the proposed garage has been significantly reduced to comply with the design guidance of the House Extensions and Other Domestic Alterations SPD, and study accommodation initially proposed above the garage has instead been incorporated into the extended dwelling. The reduced footprint and height would greatly reduce the prominence and dominance of the garage within the street scene and would better reflect the proportions of existing neighbouring garages, which is welcome. The garage would also adopt a gable pitched roof and closely matching external materials, including stonework and roof tiles, which is desirable.

The proposed landscaping to the front would help to soften the development in the street scene.

Considering the above, on balance, the proposal is therefore considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

#### Highway Safety

While the proposed garage would be too small to be counted as a parking space, it could be utilised for smaller vehicles and ancillary domestic storage. A proposed driveway would provide the required two off-street parking spaces, in accordance with the parking SPD. Highways Development Control were consulted, and no objections were raised.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

**Recommendation -  
Approve with Conditions**