



## **HERITAGE STATEMENT**

Former Belmont Care Home and Garden House Farm, Monk Bretton

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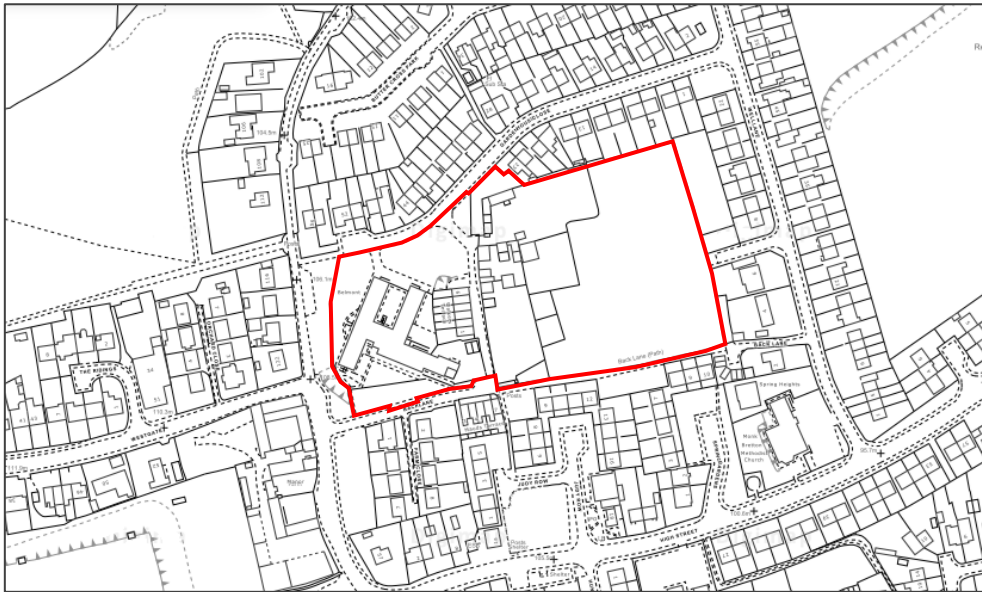


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## 1.0 Introduction

- 1.1 This Heritage Statement has been prepared on behalf of Mr Anthony Lidster in support of an outline planning application with all matters reserved except for means of access for the demolition of the former Belmont Care Home and Garden House Farm and the redevelopment of the site for approximately 82 dwellings.
- 1.2 The application site is located to the north of Back Lane in the centre of Monk Bretton village, a northern suburb of Barnsley (NGR SE 36246 08032) (**Plate 1**). The site is allocated for residential development in the adopted Barnsley Local Plan (ref. HS14).
- 1.3 This Statement has been prepared in order to understand the potential impact of residential development on known or suspected heritage assets within and adjacent to the application site in accordance with NPPF Paragraph 189.



**Plate 1** – Red line boundary of application site.

## 2.0 Planning Policy Context

- 2.1 The National Planning Policy Framework ('NPPF') was revised in February 2019 and overwrites all previous national planning policy. It establishes that the purpose of the planning system is to contribute to the achievement of sustainable development by pursuing three interdependent objectives, which are economic, social and environmental. Section 16 of the NPPF relates specifically to conserving and enhancing the historic environment.
- 2.2 Paragraph 184 of the NPPF establishes that heritage assets are "an irreplaceable resource, and should be conserved in a manner appropriate to their significance, so they can be enjoyed for their contribution to the quality of life of existing and future generations."
- 2.3 The NPPF defines heritage 'significance' as "the value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting."
- 2.4 NPPF Paragraph 189 requires applicants to describe the significance of any heritage assets affected by a proposed development, including any contribution made by their setting. It clarifies that the level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. This Heritage Statement has been prepared to directly address the requirements of Paragraph 189.
- 2.5 Paragraph 193 states "when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance."
- 2.6 Paragraph 194 states "any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification."
- 2.7 Paragraph 197 states "the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset."
- 2.8 The same sentiments are expressed in local planning policy. For example, Policy HE1 of the Barnsley Local Plan establishes the Council's commitment to the "management, conservation, understanding and enjoyment" of the historic environment. It sets out that development proposals will be supported where they "conserve and enhance the significance and setting of the borough's heritage assets, paying particular attention to those elements which contribute most to the borough's distinctive character and sense of place."
- 2.9 Policy HE2 underlines the requirement for Heritage Statements where there is potential for known or suspected heritage assets to be affected by a proposed development.
- 2.10 Policy HE5 relates to the demolition of historic buildings, including non-designated heritage assets. It sets out that the demolition of buildings with evident historic significance will not be approved unless the building structurally unsound, dangerous and cannot be viably repaired, or where it can be demonstrated the retention of the building is outweighed by the overarching public benefit of the development.

- 2.11 Policy HE6 concerns below-ground archaeology and requires all applications for development on sites where archaeological remains may be present to be accompanied by an archaeological assessment identifying the likely location, extent and significance of the remains and the potential impact of the development.

### 3.0 Assessment of Significance

- 3.1 This section aims to identify and assess the significance of those heritage assets which have the potential to be affected by the proposed development.

#### Baseline Assessment

- 3.2 A scoping exercise was carried out using the South Yorkshire Archaeology Service Sites and Monuments Record ('SMR') to identify heritage assets within a 1km radius of the application site. The exercise returned 16 results, which are displayed in **Table 1** below.

**Table 1** – Identified heritage assets

Description	Period	Designation
Market Cross at Junction with High Street, Cross Street, Monk Bretton, Barnsley	Medieval – Modern	Grade II Listed / Scheduled Monument
Dovecote at Cricket Farm	Post-medieval	Grade II Listed
Farmbuildings approximately 20 metres to south of Manor Farmhouse, Cross Street, Monk Bretton, Barnsley	Post-medieval	Grade II Listed
Farmbuildings approximately 20 metres to north of Manor Farmhouse, Cross Street, Monk Bretton, Barnsley	Post-medieval	Grade II Listed
Church of St Paul, Burton Road, Monk Bretton, Barnsley	Post-medieval	Grade II Listed
Osbourne House	Post-medieval	Grade II Listed
Cartshed approximately 40 metres to south of Manor Farmhouse	Post-medieval	Grade II Listed
Manor Farmhouse	Post-medieval	Grade II Listed
St Helen's Well, St Helen's, Barnsley	Medieval – Post-medieval	Non-designated
Monk Bretton Miners' Welfare Ground, incorporating earlier Ridge and Furrow	Medieval – Modern	Non-designated
Site of medieval Chapel of St Ellen, Carlton	Medieval	Non-designated
Newbridge Bleachworks	Post-medieval	Non-designated
Leaf-shaped Flint Arrowhead and Scraper Finds, Monk Bretton	Neolithic	Non-designated
Oaklands Avenue, Monk Bretton, Cropmark Enclosure	Iron Age – Roman	Non-designated
Roman coin, Monk Bretton cricket ground	Roman	Non-designated
Site of the Ridings, post-medieval house, Westgate, Monk Bretton	Post-medieval	Non-designated

- 3.3 A total of 8 listed buildings have been identified within the study area, although there are no Conservation Areas or Registered Parks and Gardens. All of the listed buildings are located close to the medieval core of the village of Monk Bretton, which is centred on High Street and Cross Street.
- 3.4 The Church of St Paul, situated at the junction between Burton Road and Cross Street, is the furthest designated heritage asset from the site boundary. The church was built in 1878 and its tall tower and steeple are widely visible in the local area, including from parts of the application site.
- 3.5 Osbourne House is also located off Burton Road and is large early C19 house built for a colliery owner.
- 3.6 Closer to the site and on the west side of Cross Street is the three-storey Dovecote at Cricket Farm, which is believed to be mid-late C18 in date. Since designation, the building has been converted to residential use and forms part of Dovecote Mews.

- 3.7 The Market Cross is located at the junction between High Street and Cross Street, at the heart of the medieval village and some 100 metres south of the application site boundary. The feature itself contains fabric from various periods, including medieval stone base elements, a post-medieval stone shaft and a modern concrete base and lantern.
- 3.8 The remaining listed buildings form a cohesive group that is located to the immediate southwest of the application site. This group includes the C17 Manor Farmhouse and associated late C18 farm buildings.

#### Prehistoric – Roman (10,000 BC – AD 410)

- 3.9 Definitive evidence for prehistoric occupation of the site or its environs is sparse, due in no small part to the limited archaeological investigation that has taken place in this area.
- 3.10 A leaf-shaped flint arrowhead of probable Neolithic date was discovered during excavations for the reservoir to the west of Manor Farmhouse. However, there is some doubt about the exact provenance of this find.
- 3.11 A Roman coin of Nero (at least AD 54-68) was found on the cricket ground to the west of Cross Street and reported as part of the Portable Antiquities Scheme.
- 3.12 In addition, a rectilinear cropmark was identified by aerial photography in 2001 near Oaklands Avenue, some 500 metres to the east of the application site. The potential enclosure has not been investigated and there is little evidence on which to estimate a date, although it is recorded as being Late Iron Age or Roman.

#### Early Medieval – Medieval (AD 410 – AD 1543)

- 3.13 The village proper is likely to have its origins in the Saxon period and is recorded in the Domesday Survey of 1086 as *Brettone*, meaning settlement of the Britons.
- 3.14 The evolution of the name to *Munkebretton* and its current form *Monk Bretton* is related to the establishment in 1154 of a Cluniac priory by local landowner Adam Fitzswaine on land to the southeast of the village.
- 3.15 St Helen's Well and Chapel are believed to have been established in the 13<sup>th</sup> century, the latter of which was believed to have healing powers. Excavation took place in the vicinity in 2000 but neither the well or chapel were discovered. The approximate location of the well is indicated on the Jeffreys 1771 map of Yorkshire and the remains are thought to lie beneath modern buildings.
- 3.16 The Market Cross at the junction of Cross Street and High Street is a significant survival from the medieval period, having been originally erected in c. 1300 as a meeting point and local landmark.
- 3.17 Aerial photographs of the former Miners' welfare ground just 50 metres to the west of the application site show undulations indicative of ridge and furrow cultivation.
- 3.18 The South Yorkshire Historic Environment Characterisation Project describes the historic core of Monk Bretton as "a mix of privately built housing and areas of mid 20<sup>th</sup> century social housing, with few examples of pre 20<sup>th</sup> century housing surviving – although the road pattern has stayed the same... urbanisation has left islands of agricultural land and small areas of surviving strip fields can be found around Monk Bretton. These would have been part of the medieval open field, which was later enclosed into strips."

### Post-medieval – Modern (AD 1543 – present)

- 3.19 The Ridings, a C17 stone house, formerly stood on the north side of Westgate just 50 metres to the west of the application site before its demolition in the early 1970s.
- 3.20 Newbridge Bleachworks is recorded as being sited close to Barnsley Canal at Littleworth in a directory of 1822. While some of the works buildings appear to have survived to at least 1904, the site disappeared beneath the spoil from Monk Bretton Colliery.
- 3.21 As previously mentioned, most of the listed buildings in Monk Bretton were constructed in the post-medieval period, although a high proportion of the historic fabric of the village has been replaced and enclosed by modern development of suburban character.
- 3.22 Generally, it is understood that the area around Monk Bretton was mined for coal from 1700. The Monk Bretton Colliery opened in 1870, extracting coal from the Barnsley Seam. The colliery was modernised on nationalisation and pit head baths, which still stand today, were opened. A village Miners' Welfare Hall was opened on Cross Street, before the closure of the colliery in 1968.

### Historic Map Regression

- 3.23 Thomas Jeffrey's 1771 map of Yorkshire shows the historic layout of Monk Bretton, with buildings organised along four principal streets: Westgate, Cross Street, High Street and Burton Road (**Plate 2**). The application site is shown as open land bound to the south by the buildings lining the north side of High Street. No field boundaries are depicted in the map. Monk Bretton Priory is shown to the southeast of the village, with St Helens Well to the north.



Plate 2 – Extract from Thomas Jeffrey's 1771 map of Yorkshire.

- 3.24 The 1854-55 OS Map (**Plate 3**) offers more detail, showing that the site contained a mixture of long, narrow wooded enclosures and more open agricultural enclosures, as well as a number of unlabelled buildings and a draw well. The buildings at the north end of the site are believed to be the earliest phases of Garden House Farm, which was likely connected to the surrounding enclosures.



Plate 3 – Extract from First Edition Ordnance Survey Map of Yorkshire, 1854-55.

- 3.25 At this time, the application site formed part of the northern edge of the village and to the north and east of the site were further agricultural fields. To the south and west are the various buildings of the C19 village, including a Methodist New Connexion chapel to the south of Back Lane, as well as Manor Farmhouse and associated buildings.

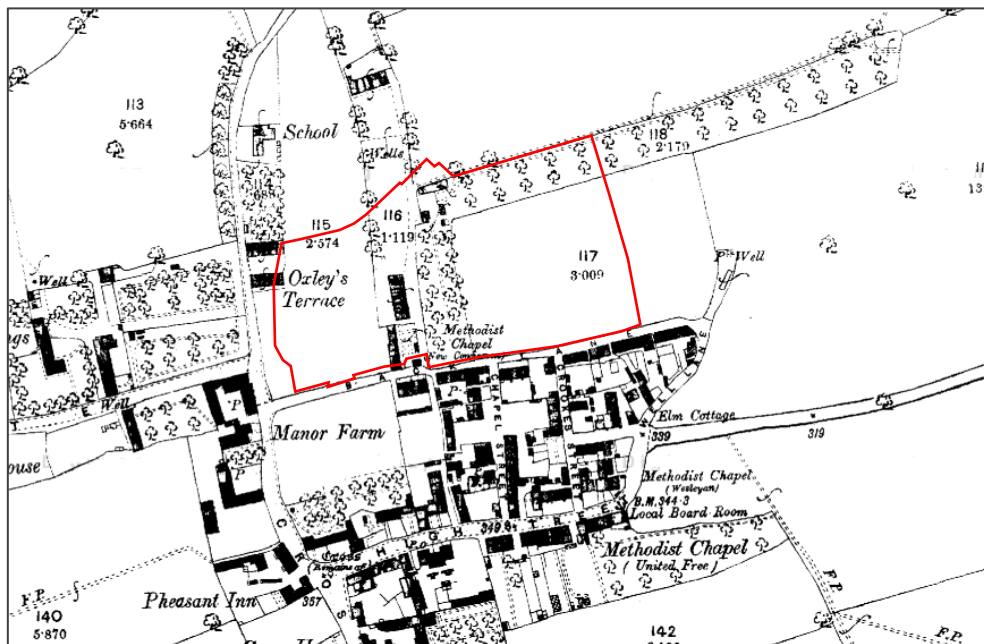


Plate 4 – Extract from Second Edition Ordnance Survey Map of Yorkshire, 1892.

- 3.26 The 1892 OS Map (Plate 4) shows that a new row of terraces was built at the centre of the site, perhaps replacing earlier cottages. The greater clarity of the map reveals that the unlabelled buildings within the site are terraced rows, one of which is labelled 'Oxley's Terrace'. Given their location on the periphery of the village it is possible that some of these terraces were weaver's cottages, all of which have since disappeared from Monk Bretton. Garden House Farm is also shown to consist of one narrow, principal range and three smaller outbuildings.
- 3.27 Within the context of the site, little appears to have changed to the general form and density of the village. A school has been constructed to the northwest of the site, as well as another terraced row to the north which is accessed by a track running from Back Lane through the middle of the site. The map also notes the presence of wells to the north and east of the site.

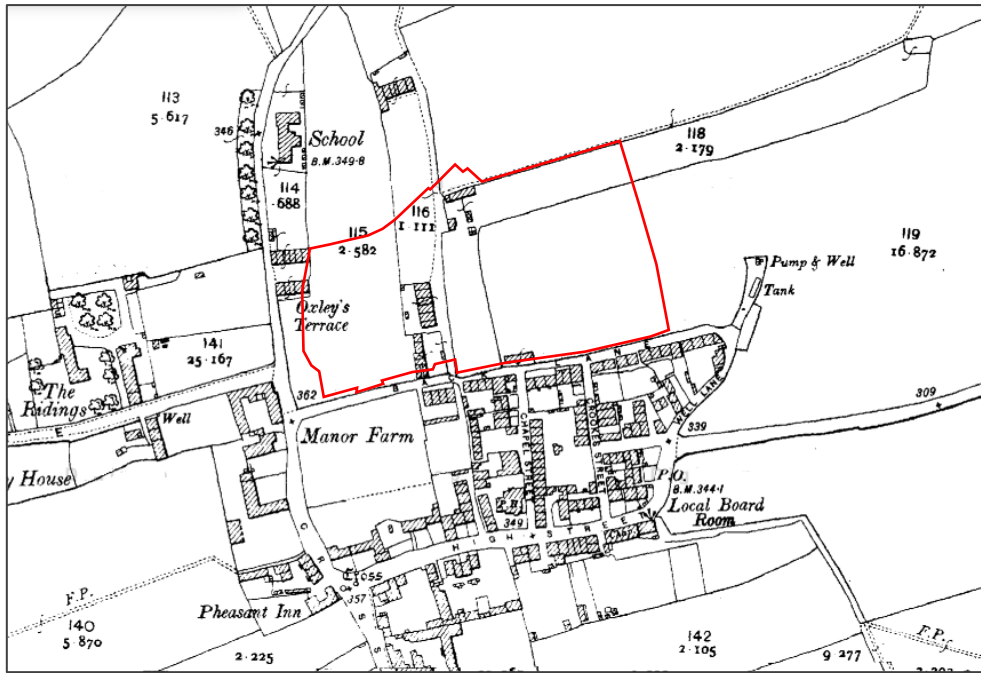


Plate 5 – Extract from 1906 Ordnance Survey Map of Yorkshire.

3.28 The 1906 OS Map (Plate 5) shows little change within the site, except for the addition of a narrow building along the north side of Back Lane. The school to the northwest of the site has expanded and there has been some infill development between Back Lane and High Street.

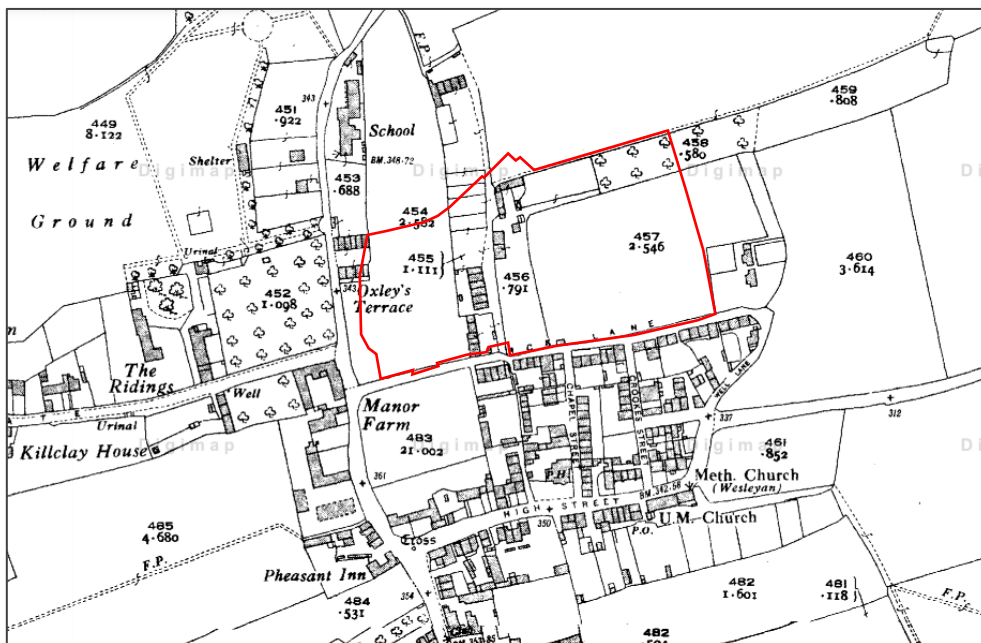
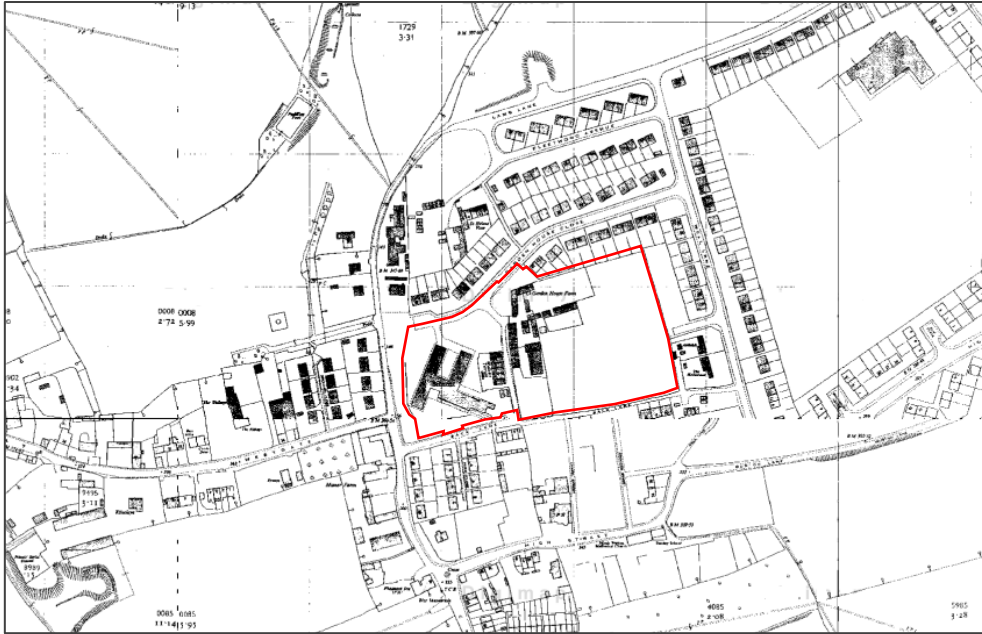


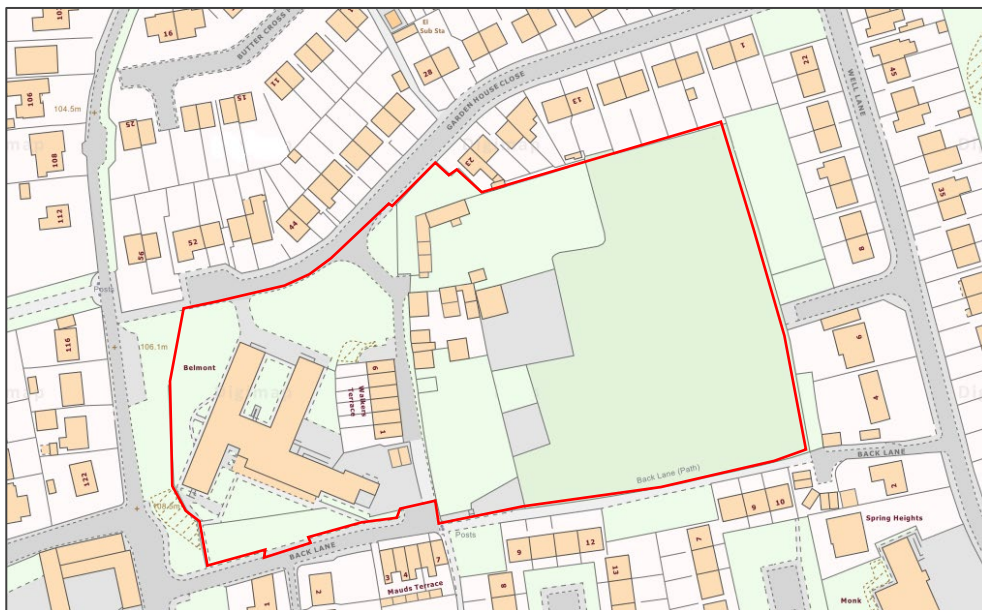
Plate 6 – Extract from 1931 Ordnance Survey Map of Yorkshire.

3.29 The 1931 OS Map (Plate 6) reveals that Garden House Farm expanded slightly in the early decades of the 20<sup>th</sup> century, adding a new detached building and extending the main range to form an L-shape configuration. New enclosures were also created to the east and west of the farm, possibly relating to pastoral activities.

- 3.30 Two detached houses were built to the immediate east of the site, while the school to the northwest continued to expand with the addition of a new wing. The general layout of the village core remains the same, although a welfare ground containing a paddling pool, bandstand and shelter has been formed on land to the northwest of the site along with two new houses to Lamb Lane.



**Plate 7** – Extract from 1962 Ordnance Survey Map of Yorkshire.



**Plate 8** – Extract from modern Ordnance Survey plan.

- 3.31 The 1962 OS Map (**Plate 7**) reveals dramatic changes within the site and in its immediate context during the mid 20<sup>th</sup> century. Notably, most of the terraced rows within the site were demolished and replaced by the sprawling Belmont Care Home, and the Garden House Farm complex has expanded further with the addition of new outbuildings.

- 3.32 New residential streets have also been created to the west and north of the site, including Well Lane, Garden House Close and Fleetwood Avenue. To the south of the site, much of the historic core of the village has been cleared in advance of radical replanning in the 1960s.
- 3.33 The arrangement of the site in 1962 is very similar to the site as existing, as shown in **Plate 8** overleaf. The only notable difference is the loss of a number of outbuildings creation of a square yard area at Garden House Farm.

## 4.0 Proposed Development

- 4.1 It is proposed to redevelop the site for approximately 82 dwellings. The current application is made in outline with all matters reserved except for access.
- 4.2 The proposal involves the demolition of the derelict Belmont Centre and buildings comprising Garden Farm House, alongside the creation of new residential streets and the erection of new dwellings with associated drives and gardens.
- 4.3 Walkers Terrace would be retained as part of the proposals and integrated into the new street layout.



## 5.0 Impact Assessment

### Archaeological potential

- 5.1 There is no certifiable evidence for prehistoric or Roman activity in the area and the cartographic evidence suggests that the site lies on the perimeter of the medieval settlement, with the core being to the south around High Street and Cross Street.
- 5.2 While it is possible that remains of these early periods may be present within the site, the potential is considered to be low. This is compounded by the use and reuse of the site throughout the post-medieval and modern periods for domestic and agricultural activities.
- 5.3 There may be C18, C19 and C20 artefacts and features relating to the use of the northern and central portions of the site for agricultural purposes linked with Garden House Farm, as there appears to have been some turnover of buildings as the layout of the farm evolved over time. However, the significance of any features is likely to be low.
- 5.4 Equally, foundational remains of the former terraces which were demolished to make way for the Belmont Care Home may survive, but they too are expected to be of low significance.
- 5.5 An appropriate level of archaeological investigation should be discussed with and condition by the Local Planning Authority as part of any future planning approval. It is envisioned that this would involve forms of non-intrusive survey, followed by trial trenching if found to be necessary.

### Impact on designated heritage assets

- 5.6 As there are no designated heritage assets within the site boundary, the principal consideration of this section is the potential impact of the proposed development on the setting of designated heritage assets in the surrounding area.
- 5.7 The NPPF glossary defines 'setting' as "the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral."
- 5.8 In *The Setting Of Heritage Assets: Historic Environment Good Practice Advice in Planning Note 3* (2017), Historic England advise that the contribution made by setting to the significance of heritage assets varies, as does the sensitivity of the setting (i.e. the capacity of the setting to accommodate change without harm to the heritage asset's significance).
- 5.9 The Market Cross is located in a prominent location at the junction of High Street and Cross Street and this openness is a positive aspect of its setting. However, there is no intervisibility between the market cross and the application site and the site is not considered to make any contribution to the setting of the scheduled monument. The redevelopment of the site as proposed is therefore not expected to impact upon the significance of the Market Cross.
- 5.10 The Church of St Paul is located a considerable distance from the application site, and the site does not contribute to any key views of the church. The church tower and spire is widely visible in the local area on account of its height, including from certain positions within the application site, and acts as an important local marker. The

proposed development is unlikely to impact upon this existing situation and will therefore sustain the significance of the designated heritage asset.

- 5.11 Osbourne House is set back within a sheltered plot on the north side of Burton Road. There is considerable distance between the asset and the application site and no intervisibility due to the topography and the large number of intervening buildings. The application site is considered to be psychologically and experientially separate from Osbourne House, such that it makes no contribution to its setting. The proposed redevelopment of the site is expected to maintain this existing situation and sustain the significance of the designated heritage asset.
- 5.12 The Dovecote at Cricket Farm is located some 200 metres to the south of the application site, on the west side of Cross Street. There is no intervisibility between the site and the heritage asset due to the curvature of the road and the intervening buildings. In addition, the historic context of the asset has been greatly eroded and it is now surrounded by C20 dwellings of a suburban character, such that setting makes a limited contribution to its significance. The proposed development is therefore expected to have no impact on the setting of the asset and will sustain its significance.
- 5.13 Manor Farmhouse and its associated outbuildings are situated to the immediate southwest of the application site, at the junction of Westgate and Cross Street. The historic setting of these assets has been largely eroded by progressive residential development throughout the 20<sup>th</sup> century, such that setting makes a limited contribution to their significance. The relationship between the buildings and the adjacent roads, as well as the remaining open space to the east and west are perhaps the only aspects of setting which can be considered to be positive.
- 5.14 The former care home, ignoring its current state of disrepair, is of an undistinguished, modern character and is considered to make a neutral contribution to the setting of the assets. In principle, the redevelopment of the site for dwellings of an appropriate scale and layout would maintain this existing contribution and offers an opportunity for enhancement by breaking up the built form within the site and introducing more separation between the asset and new development. Subject to detailed design, the proposed development would therefore sustain the significance of the designated heritage assets.

#### Impact on non-designated heritage assets

- 5.15 Non-designated archaeological features and findspots outside of the application site which have no physical embodiment would of course not be affected by the proposed development by means of change to their setting.
- 5.16 In terms of the archaeological potential within the site, it has already been established that the potential for discovery of prehistoric, Roman and medieval remains is low. While there is higher potential for post-medieval and modern remains, they are likely to be of a low significance.
- 5.17 Within the site are the buildings comprising Garden House Farm, some of which are potentially shown in the 1854-5 OS Map and certainly in the 1892 OS Map. This includes the main east-west range and several of the smaller outbuildings. These elements are stone built and contrast with other buildings on site which are of a variety of modern red brick. These early elements of the farm are considered to be of local significance and should therefore be treated as non-designated heritage assets.
- 5.18 The proposed development seeks to remove all farm buildings, making way for new dwellings and associated paraphernalia and infrastructure. NPPF Paragraph 197 requires a 'balanced judgement' be made in relation to the loss of the non-designated

heritage assets. Furthermore, Local Plan Policy HE5 establishes that the demolition of non-designated heritage assets is not permissible unless the building is structurally unsound, dangerous and cannot be viably repaired, or where it can be demonstrated the retention of the building is outweighed by the overarching public benefit of the development.

- 5.19 In this instance, the notable buildings are in a fair state of repair, although their demolition would unlock a significant portion of the site for the creation of new dwellings in an efficient configuration. This is particularly desirable as the application site is allocated for residential development within the Barnsley Local Plan.
- 5.20 Furthermore, the overall redevelopment of the site offers an opportunity to demolish and replace the former Belmont care home, which has been vacant for some time and has fallen victim to multiple cases of arson. It is apparent that all sections of the application site must be made available for new housing to ensure the scheme as a whole is viable.
- 5.21 The harm caused by the demolition of the non-designated heritage assets could also be offset in part by a programme of archaeological recording to ensure a permanent record of the buildings is created.
- 5.22 In this light, the proposed development would cause the loss of Garden House Farm, some aspects of which are of local significance, but this is considered to be acceptable within the context of the public benefits that will flow from the scheme.

### Summary

- 5.23 Overall, it is considered that the proposed development would sustain the significance of all identified designated heritage assets in accordance with NPPF Paragraph 184.
- 5.24 The significance of most non-designated heritage assets would also be sustained. Elements of Garden House Farm which are of local significance would be lost, but this harm is outweighed by the public benefits of the scheme.
- 5.25 The archaeological potential of the site is considered to be low for early periods, but there is likely to be remains of low significance from the post-medieval and modern periods.

## 6.0 Conclusion

- 6.1 This Heritage Statement has been prepared on behalf of Mr Anthony Lidster in support of an outline planning application with all matters reserved except for means of access for the demolition of the former Belmont Care Home and Garden House Farm and the redevelopment of the site for approximately 82 dwellings.
- 6.2 The overall archaeological potential of the site is considered to be low, particularly for the prehistoric, Roman and medieval periods. There is likely to be some evidence of post-medieval and modern activity within the site, though it is expected to be of low significance. A programme of non-intrusive survey (followed by trial trenching if necessary) should be organised as a planning condition in the event of approval.
- 6.3 The proposed development would sustain the significance of all identified designated heritage assets in the vicinity of the site, including Manor Farmhouse and its associated buildings. The demolition of Garden House Farm, parts of which are considered to be of local significance, is outweighed by the public benefits of the scheme including the provision of new housing and the redevelopment of Belmont care home.
- 6.4 Overall, the proposed development is considered to accord with all local and national planning policy relating to conservation of the historic environment.