

SUPPLIMENTARY
PLANNING
DOCUMENT

MR & MRS
K SHELBOURNE

NEW DWELLING OFF
BARNSELY ROAD/ FRICKLEY BRIDGE LANE
BRIERLEY
BARNSELY
SOUTH YORKSHIRE

Applicant	Mr & Mrs K Shelbourne
Address	Land off Barnsley Road/ Frickley Bridge Lane Brierley Barnsley South Yorkshire S72 9LQ
Application Type	Support document to planning application
Building & landscaping materials Items covered in this document	<p>External materials stonework superstructure) (roofing Main Dwelling & detached garage) (windows & doors)</p> <p>Finished floor levels to all buildings drg No 24/005</p> <p>Road level, existing & finished ground Drg No 24/005</p> <p>Hard & soft landscaping to access road</p> <p>Species of trees to be planted, positions of Hedgerows to be retained drg No 24/002</p> <p>Boundary treatments</p>
Appendix 1	photograph building materials

Proposed build materials

Superstructure.

Type (Walls)

Dwelling & garage external envelope superstructures.

Style

Random lengths of 400, 365, 300mm laid coursed, with quoins to external corners.

Material

Marshalls P 3110, Cromwell walling pitched face weathered to BS EN 771 Specification for masonry units.

Colour

Natural sandstone.

Manufacturers Address

Marshalls Plc
Landscape House
Lowfields Business Park
Premier Way
Elland
HX5 9HT

Fixing system

Sand cement mortar natural colour

General usage

Rural Buildings, Conversions, New Buildings.

Comments

External stone work to be laid coursed to the main dwelling & detached garage. (Samples are available if required.)

Appendix 1

photograph of stone units

Type (Roof duo pitch)	Dwelling & garage roof finish.
Style	Interlocking concrete tiles marley smooth modern laid broken bonded.
Colour	Grey
Manufacturer Address	Marley Ltd Litchfield Road Branston Burton-on Trent DE14 3HD
Fixing system	Tiles nails on battens
General usage	All building types.
Comments	A flat single lap smooth interlocking tile with slate like appearance in grey enhanced when laid broken bonded.

Type (windows)	Upvc
Style Windows (dwelling)	Stone mullions to windows with stone heads & sills. Frames to be colour fast upvc in cream.
Colour	Cream (within RAL code 9001)
Manufacturers Address	Specialist window manufacturer
Fixing system	mechanically fixed into openings, external weather sealed with non hardening mastic sealant.
General usage	All building types.
Comments	Maintenance free upvc with colour complimentary to rural settings.
Type (doors openings)	Dwelling
Style (dwelling) (rear door) (side door south east) (Principle entrance door)	Stone heads & sills Stone heads & sills Stone arch with individual voussours & key stone to centre
Material (finish) (rear door) (side door) (bi-fold doors) (principle entrance door)	Upvc stable type Upvc Powder coated Aluminium Oak twin opening leaf with oak side panels
Colour (rear door) (side door south east) (principle entrance door)	Cream (within RAL code 9001) Cream green (within RAL code 9001) Stained waxed & varnished natural oak
Proposed build materials	Superstructure.

Type (gutters)

All building types,

Style

Ogee

Material (finish)

Plastic

Colour

Black

General usage

All building types.

Manufacturers Address

Marley building products.
Litchfield Road
Branston
Burton-on Trent
DE14 3HD

Type (gutters brackets)

All building types,

Style

Rise & Fall

Material (finish)

Mild steel

Colour

Black

General usage

All building types.

Manufacturers Address

Marley building products.

Comments

All guttering complete with gutter brackets and fixings are to be supplied by “Marley” which displays an ogee moulded profile in black plastic which closely replicates original timber rainwater gutters of the late 19th to early 20th century periods

Proposed Hard landscaping

Type (Access Road/drive/hardstanding)	Constructed permeable tarmac With kerb edgings to each side.
Comments	A level entrance off Frickley Bridge Lane gives access to the drive which is to be finished in permeable tarmac allowing dissipation of rainwater to ground to occur, a downward slope of the drive over 50 metres gives an initial gradient of 1 in 14.3 before levelling out to onto the preformed plateau providing level access to the garage/ hard standing and residential curtilage of the site. (see section drawing plan ref QA/002/24).
Type (residential area patio)	Patio in stone slabs set to the rear of the proposed dwelling measuring full width of dwelling 19.7m with a 3metre projection
Type (Fencing)	2.4m High
Material	Boundary to the south east depicted on drawing 24/002 as position Z-Z erected timber post with feather edge boarding 2.4m high set 300mm of the finished ground level to facilitate the passage of wild life. Existing local authority concrete post and concrete rail fence abutting Barnsley Road to remain in situ with no alteration. Position W-W denotes stock fencing with no alteration. Positioned to the north west boundary a single young oak tree exists which is to remain. In addition 2 silver leaf poplar trees occupy the corner of the paddock highlighted on drg 24/002.

Proposed Soft landscaping

Type boundary treatment (existing)	All existing trees inclusive of hedgerows are to be left in position with no alteration or removal from the site. By inspection See plan No 24/002. For retained trees heights and species
Type boundary treatment (planting)	Additional planting to the north boundary is proposed consisting of a supplementary 50% more hawthorn combined with holly to increase the density of the hedgerow which will provide an added stock proof barrier, shelter and enhance the landscape.
Comment	Additional planting is in line with the predominant species occupying the site.

Appendix 1



Photograph 1 stone sample to be used on external superstructure of dwelling and garage.



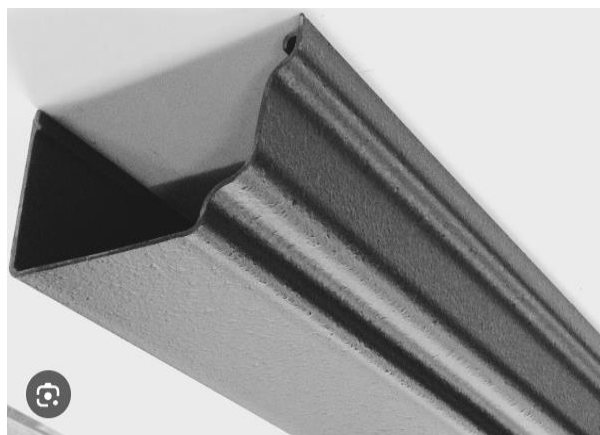
Photograph 2 Corner quoin stones



Photograph 3 roof tile Marley modern smooth tile in grey



Photograph 4 Marley segmental ridge in grey.



Photograph 5 ogee style gutter cast iron effect.



Photograph 6 Ogee style rise and fall gutter bracket.



Photograph 7 Permeable tarmac drive



Photograph 8 Feather edged timber fence panels to boundaries marked ZZ on plan No 24/002



Photograph 9 stock fencing to boundaries marked WW on plan No 24/002