

Residential Development
Land at Millstones
Oxspring
Sheffield

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Ref 18.24
Version 02

Design and Access Statement

This statement has been prepared to accompany an application for Full Planning Permission for residential development of land at Millstones Oxspring.

1.0 Proposals

This Affordable Housing led scheme has evolved to meet an identified housing need for Affordable Homes in the Parish of Oxspring, a Western Rural Village within the Barnsley Borough. The proposals have due regard to the policies and objectives of the adopted Oxspring Neighbourhood Plan (June 2019) in respect of supporting the provision of fair and accessible housing for local needs and local people and of the Barnsley Local Plan (January 2019) namely Policy H7 and supporting paragraph 9.29, which make provision for Rural Exception Sites to be considered to provide affordable homes in rural settlements that are constrained by or washed over by Green Belt.

Three of the proposed homes will be made available as discount for sale affordable homes for first time buyers of the Village/Parish area. The value of these properties will be discounted by 35% from their market value in order to ensure that they are affordable. This level of discount will be legally fixed to the properties, ensuring they remain affordable in perpetuity.

Two detached market homes are also proposed as part of the scheme, which are essential to ensure the Three Affordable Homes are viable. The two detached market homes have been designed to respond to the Council's Housing and Economic Strategies and the 2014 Strategic Housing Market Assessment Update, all of which identify a need for larger family/Executive homes in the Western Rural part of the Borough.

In total, the scheme comprises of 5 homes.

2.0 Assessment

The site is located at the north-eastern edge of the village on the approach from Silkstone Common. The two-storey housing development, Millstones, is located to the eastern boundary, the river Don lies to the southern boundary and the west and north feature semi-mature and mature trees in the form of a small woodland.

2.1 Physical Context

A topographical survey has been prepared and a copy is included with the application documents.

- The site is undeveloped and comprises poor quality managed grassland.
- The housing development to the east is separated by a 1.8m high concrete post and timber panel fence and there is a post and rail fence to the western boundary. There is currently no physical boundary to the north and the river Don defines the southern boundary.



Fig 01. Aerial Photo showing proposed development site.

- The vehicular access is located at the north eastern corner of the site and an unmade track follows the northern boundary giving access to the land to the west for occasional maintenance.
- The site slopes from north to south towards the River Don with a total fall of around 4m.



Fig 02. View of site access from Millstones looking west.



Fig 03. View of access from site looking east.



Fig 04. View of site from access looking west.



Fig 05. Existing housing to Millstones at east of site.



Fig 06. View from access looking south.



Fig 07. View from the south east of the site looking north west.



Fig 08. View of the site looking west.



Fig 09. Example of existing housing to Millstones.



Fig 10. Example of Traditional terraced housing at junction of Bower Hill Road and Roughbitchworth La.

Whilst there is a wide range of traditional and modern housing within Oxspring, original housing tends to be two storey dwellings constructed in regularly coursed stone with slate roofing, without verges or fascias and with sash or casement windows set into deep reveals with a vertical emphasis.

2.2 Ecology

An Ecological Appraisal has been prepared by Smeeden Foreman and a copy of their report is included with the application documents. The report recommends that a 3-meter river corridor habitat buffer is maintained and that a number of bio-diversity enhancements such as the siting of bat boxes and bird nest boxes, all of which have been included on the proposals.

2.3 Drainage and Flood Risk

Foul water drainage will connect to an existing sewer at the north east corner of the site and drain by gravity.

Surface water drainage will include independent rainwater harvesting tanks for each property and an overall storage tank with flow reduction system before connecting to the River Don. A comprehensive drainage and flood risk strategy has been prepared by Topping Engineers and a copy of their designs and report are included with the application documents.

2.4 Land Quality

A Phase 1 Land Quality Assessment has been prepared by Roberts Environmental Ltd and a copy is included as part of the application documents. Although originally prepared in March 2014 the report remains relevant as the circumstances at the site remain unchanged.

The report is supplemented by a Statement from the applicant providing further information in respect of the small former quarry to the north west of the site that was backfilled with inert material (approved by Barnsley Council) in preparation for the Original Millstones Development during the late 1990's. This seeks to address at the outset of the application, the report's various references to infilling of the small quarry and associated recommendations in respect of potential

made ground, which in light of additional evidence provided in the supplementary statement, we do not believe to be necessary.

3.0 Evaluation

3.1 Use

The site is currently vacant. The Barnsley MBC Local Plan Maps indicate a Green Belt allocation. The proposed use is residential with three of the five proposed dwellings being affordable homes which means that 60% of the development is provided as affordable housing. Planning policy compliance for the development of the site is examined within the accompanying Planning Statement.

3.2 Amount

The site has a total area of 0.36 Hectares. A development of 5No dwellings is proposed. The floor gross internal floor areas (GIFA) and private rear garden areas of the proposed dwellings are given below.

	GIFA	Gardens	Garage or covered parking
Unit 1	90sqm	113sqm	-
Unit 2	80sqm	65sqm	32sqm
Unit 3	80sqm	82sqm	32sqm
Unit 4	317.8sqm	527sqm	55.2sqm
Unit 5	301.7sqm	544sqm	55.2sqm

Unit 1 is a three-bedroom dwelling with two parking spaces on a driveway at the side of the house. Units 2 and 3 have two bedrooms and have sheltered parking is provided within a small parking court.

Units 4 and 5 are larger 4-bedroom detached houses at the rear of the site which private parking areas and garages for 3 cars. The space above the garages, located partly within the roof, has been designed to provide a clearly established need for home working which is encouraged within the Oxspring Neighbourhood Plan and has gained increased significance during the recent Covid-19 Pandemic.

All properties have good sized garden areas which exceed the minimum standards for private amenity space.

The density of the site is relatively low but provides a good mix of small cottages and larger dwellings that is considered to be appropriate for a site in this location being adjacent to larger detached housing and reflecting the design and density of better-quality housing within the village.

3.3 Layout

An extract from the Site Layout Plan is shown in Fig 11.

The development takes access from Millstones and uses a Private Drive Access along the northern boundary which includes a turning area large enough to accommodate service vehicles. It follows the path of an existing track which leads to the land to the west and would retain occasional access for maintenance.



Fig 11. Extract from Drawing Ref: P1E Site Plan

Units 1 2 3 provide frontage to the private drive and provide streetscape. A small parking court provides covered parking for units 2 and 3 as well as two visitor parking spaces and bin storage in an area that is easily accessible for a refuse vehicle. Units 1, 4 and 5 have space to leave bins at the side of the road for collection.

The area required for service vehicle turning provides access to Units 4 and 5 which are located at the rear. All dwellings have south facing gardens and private amenity space.

The proposals exceed minimum distance requirements for space between dwellings and avoid overlooking. The distances are shown on the Site Plan ref: P01E and show 13 meters between the rear of Units 1-3 and the blank gable wall of Unit 4; 16.8m between the blank gable of Unit 1 and No 33 Millstones and 27.3m between the east elevation of Unit 4 and No 29 Millstones.

Stone walls and hedges provide clearly defined boundaries with rear gardens that provide attractive separation that can be secured by fencing and gates.

3.4 Scale

Proposed dwellings are generally two storeys with one and a half storey garages and single storey covered parking. Units 4 and 5 include a single storey element within rear gardens all of which provides an interesting mix of heights and scale.

All properties will be of traditional domestic proportions with heights to the two storey eaves of 4.75 meters and roof pitches of around 35 degrees. The overall size and scale are proportionate and not dissimilar to the existing housing adjacent to the site.

3.5 Landscaping

The site has the benefit of mature landscaping to the perimeters. The Tree survey has identified one tree to the south boundary which is recommended for removal but all others are to be retained.

A Landscaping Layout has been provided which indicates proposals for structural tree and hedge planting to enhance the site and help promote bio-diversity. In particular a native thorne hedge is proposed to the northern boundary to form a 'green' boundary between the site and the woodland beyond.

3.6 Appearance

The proposals illustrate a development of five dwellings comprising a row of three terraced cottages and two larger detached houses.

The terraced cottages have small front gardens and access to larger private gardens at the rear. They adopt a design style and appearance to similar more traditional cottages within the village being of similar scale and featuring steeply pitched roofs, external walls in stone with stone quoins to principal corners, tall sash windows and front doors with over-lights.



Fig 12. Sketch View of Units 1-3

Low stone walls provide enclosure to front gardens with space for landscape planting. The design of the terrace is typical of the semi-rural vernacular and provides an attractive streetscape at the entrance to the site. The covered parking (shown on the right of the sketch) extends the frontage and provides sheltered parking for Units 2 and 3.

Units 4 and 5 are larger dwellings but also maintain traditional appearance with dark brown roof tiles, natural stone walling, black ogee section gutters and off white or oak colour window frames with flush casements set into deep reveals.

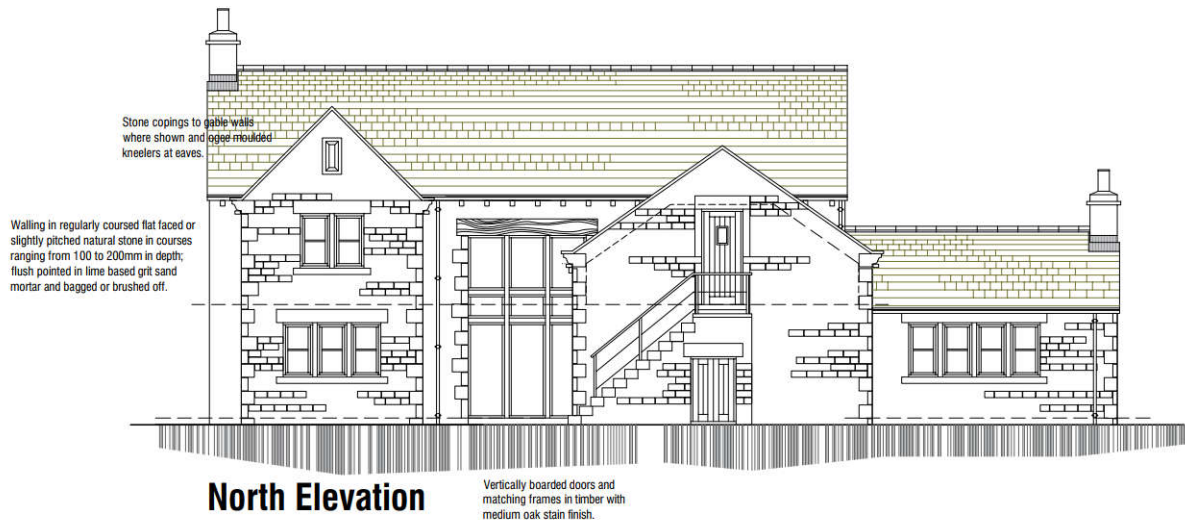


Fig 13. Typical appearance of Units 4 and 5

The larger dwellings feature a two-storey principal element with lower additions to provide an interesting and attractive appearance, limiting mass and scale whilst providing good quality and flexible living spaces. In particular large garages and storage is provided and a Home Office above the garages to provide opportunities for more flexible working.

4.0 Access

4.1 Sustainability

The site is located within walking distance of local amenities within Oxspring Village including a local school, parks and play areas, a public house, countryside walks including the Trans Pennine Trail. Bus stops are located on Sheffield Road providing public transport links to Springvale (1.2 miles) and Penistone (1.8 miles), other local villages as well as Barnsley and Sheffield in the wider area. The site is considered to be in a sustainable location.

4.2 Design for accessibility

Dwellings will be designed to be inclusive in terms of access and level approach to all main entrances can be accommodated. Internal layouts will be compliant with the requirements of the Building Regulations.

5.0 Summary

The proposals comprise a carefully considered small scale residential development within a residential area providing much needed good quality local housing within a sustainable location, including a significant affordable housing provision.

Proposed dwellings will reflect the design and appearance of traditional dwellings within the area incorporating high quality materials. The proposals have been sensitively designed to delivered a scheme which takes full account of the physical characteristics of the site and avoids overlooking and loss of amenity to new and existing dwellings.

The accompanying planning statement explains how the proposals are consistent with local and national planning policy and we look forward to receiving the support of the council in determining this application.



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