

ROOF
 The roof is to have steel profile sheeting (Goosewing Grey) with the joints and fixing bolts sealed on to three layers of bitchumen bedded felt on 20mm exterior quality plywood over 50mm x 50mm cross battens on 50mm x 195mm C16 roof joists at 400mm centres supported off double joists and external walls. With 170mm Kingspan TP10 between joists and finished to the underside with 500 gauge vapour barrier and 12.5mm plasterboard and 5mm skim. 25mm ventilation strips with flyproof mesh are to be fixed to the soffit on both sides and the front to give adequate cross ventilation to both flat roofs.

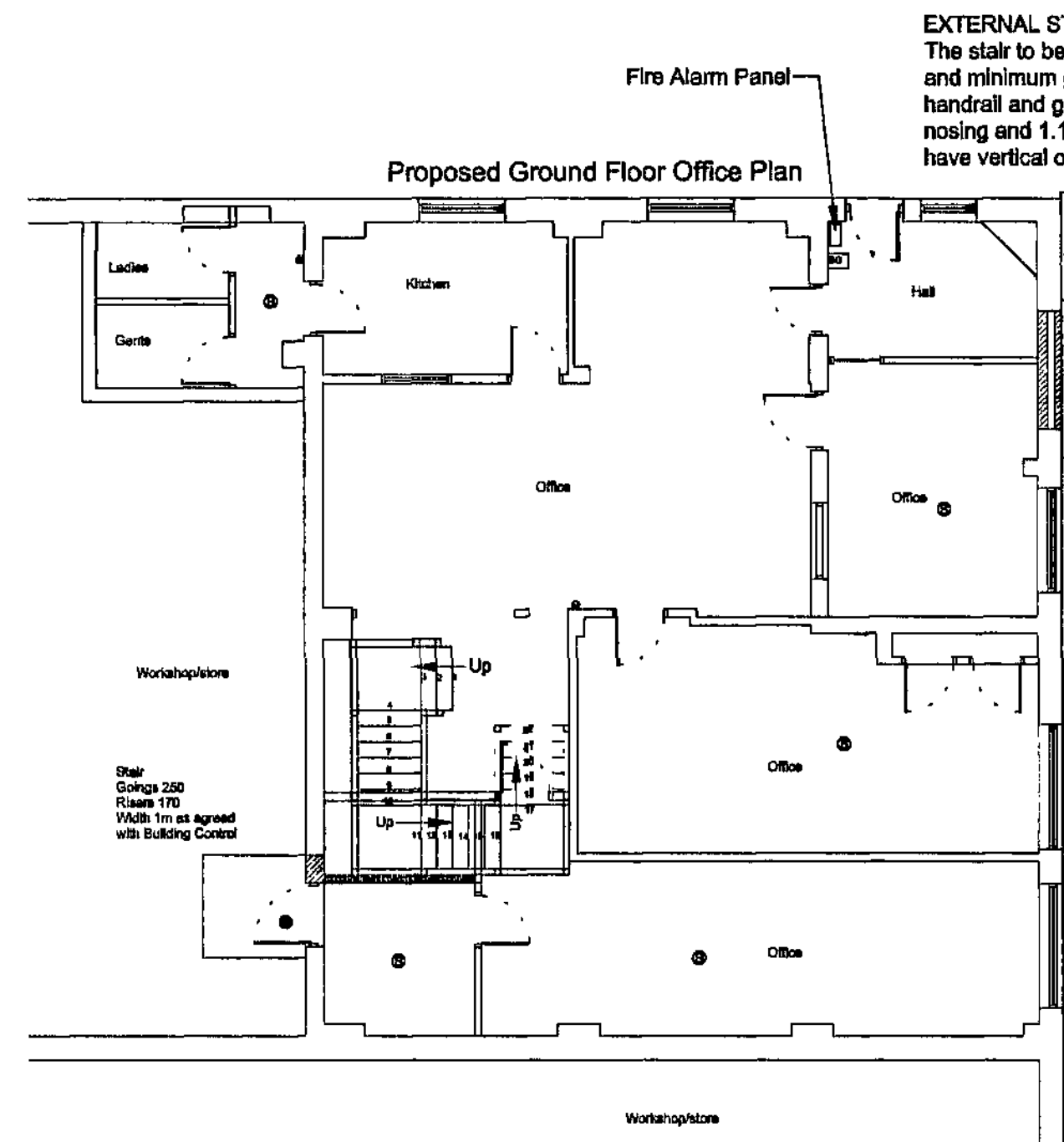
EXTERNAL WALLS
 The external walls to be 150mm stud built off the off the reinforced concrete floor with the external finish of steel profile sheeting (Goosewing Grey) to match existing over breathable felt on 18mm exterior plywood. The stud is to be infilled with 150mm Kingspan Thermawall TW55 insulation and finished on the inside with 12.5mm plasterboard and 5mm skim.

NEW INTERNAL STAIR
 Floor to floor approximately 3735mm. N.B. To be checked on site prior to ordering. The new stair to be 1000mm wide with risers of 170mm and goings of 250mm. The headroom a minimum 2 metre with handrails both sides at 900mm high from the line of the nosing and guarding 900mm to stair and 1100mm to top landing and with vertical balustrades at 100mm centres.

STAIR WALLS
 The new stair walls are to be 100mm stud partitions finished both sides with two layers of 12.5mm plasterboard with staggered joints and finished with 5mm skim and infilled with 100mm mineral fibre quilt a minimum density of 10kg/m2. The existing concrete block are to be taken up to the underside of the concrete floor and fire stopped.

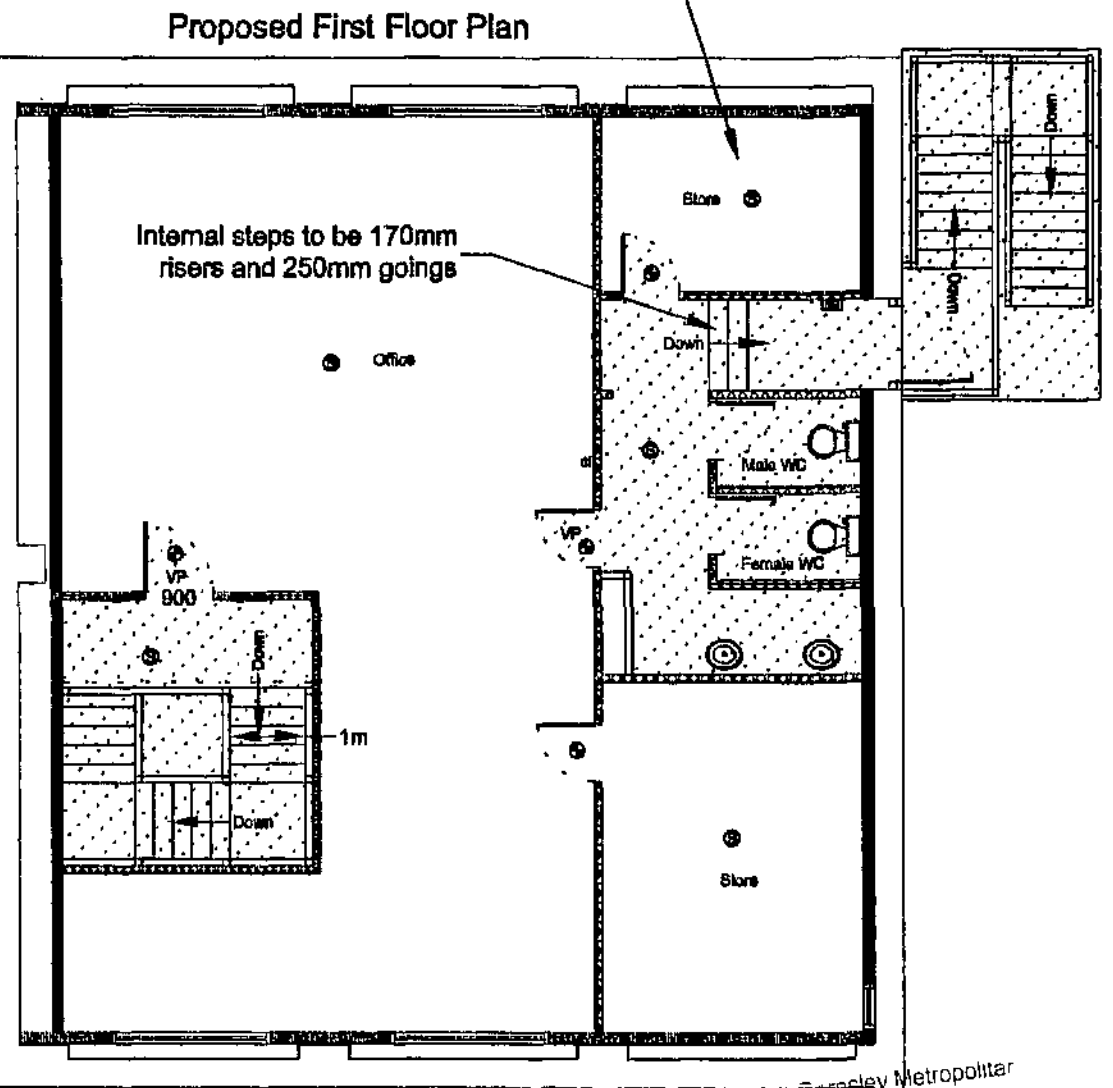
WINDOWS & VENTILATION
 The windows are to be UPVC double glazed with 16mm air gap and a "soft" low-E coating and draught stripped with trickle ventilation of 8000mm2 and opening lights minimum 5% floor area of the room. Glazing to doors within 1500mm and windows within 800mm of the floor must laminated or toughened safety glass and marked according to BS 6206. Mechanical ventilation provided to the WC and wash basin area of 15L/sec ducted to the external air. The first floor windows to be provided with escape windows a minimum area 0.33m2 with a minimum clear opening height and width of 450mm (ie. minimum clear opening of 450mm wide and 750mm high) with the opening window between 800mm and 1100mm above finished floor level.

GENERAL
 These Plans are of works already carried out plus additional works to be carried out to comply with Planning and Building Regulations. The structural calculations are to be submitted to Building control as soon as possible. The contractor shall ensure that all works comply with the Planning consent and the Building Regulations and that all materials are fixed in a workmanlike manor and in accordance with the relevant British Standard Codes of Practice and in accordance with the manufacturers recommendations. The contractor is to be responsible for checking and verifying all levels and dimensions on site and for submitting the relevant notices at the appropriate stages to the local authority for inspection of work.



EXTERNAL STEEL STAIR
 The stair to be 1m wide and have maximum risers of 180mm and minimum goings of 240mm with quarter space landings. The handrail and guarding to be at 900mm high from the line of the nosing and 1.1m above the landing area. The steel guarding to have vertical or horizontal balustrades at 200mm centres.

New timber floor over existing concrete floor to be 22mm t&g boarding on 50mm x 150mm C16 joists at 400mm centres



FIRE PRECAUTIONS
 The fire alarm is to be an L1 system Designed and installed to comply with BS 5839-1:2002 smoke detectors and manual break glass call points to comply with BS 5839-2:1983.
 The emergency lighting is to cover the accommodation stair plus the means of escape route indicated and external escape stair and wired to a separate fused circuit and fittings provided with a two hour battery backup and with exit signage over final exit doors. Emergency lighting installed in accordance with BS 5266 Part 1 and signage in accordance with BS5499 Part 1

FIRST FLOOR INTERNAL WALLS
 The new internal walls are to be 100mm stud partitions finished both sides with 12.5mm plasterboard and 5mm skim and infilled with 100mm mineral fibre quilt a minimum density of 10kg/m2.

DRAINAGE
 The new WC and wash basins are to connect into the existing 100mm soil vent pipe and the waste pipes are to be 40mm and fitted with deep seal anti-vac traps.

LIGHTING, HEATING & HOT WATER
 The existing lighting, heating and hot water systems are to be checked, serviced and extended by qualified and certified Electrical Contractor with certification on completion. All new heaters are to be fitted with thermostats and all pipes in unheated areas are to be insulated to the current standards.

- ⊙ One hour fire door with self closing device
- ⊙ Half hour fire door with self closing device
- ⊙ Smoke detector
- ⊙ alarm point
- ⊙ Break glass
- VP Vision Panel

Drawing No. ACC/08/02

Address Apollo Cradles Ltd
 428 Carlton Road, Carlton
 Bamsley S71 3HX

Project Proposed Plans

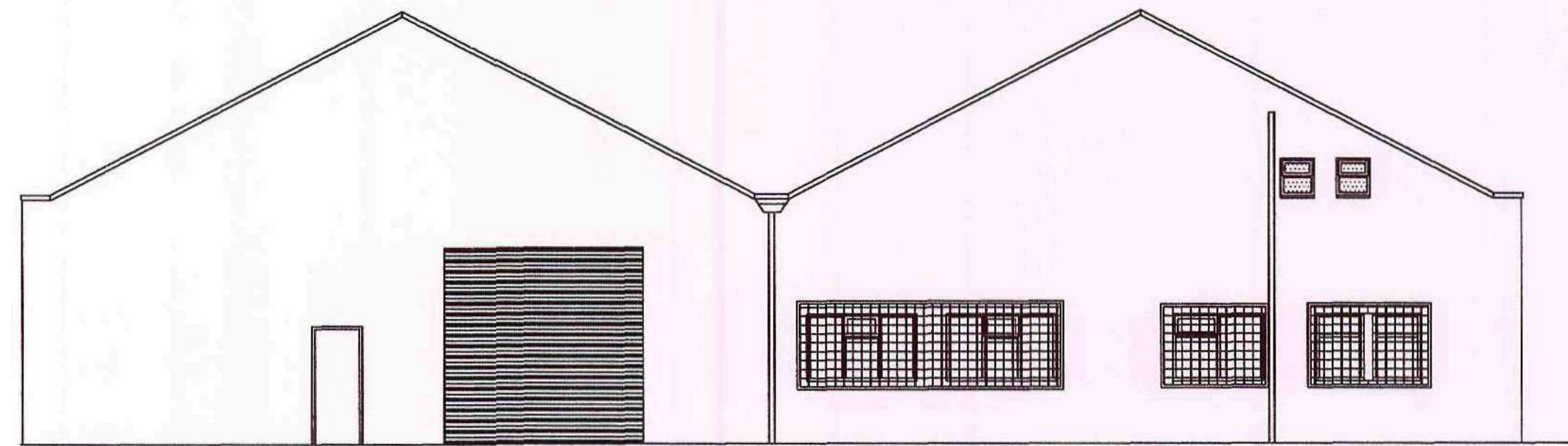
Scale 1 : 100 Date April 2009

© Copyright I. J. Mawson

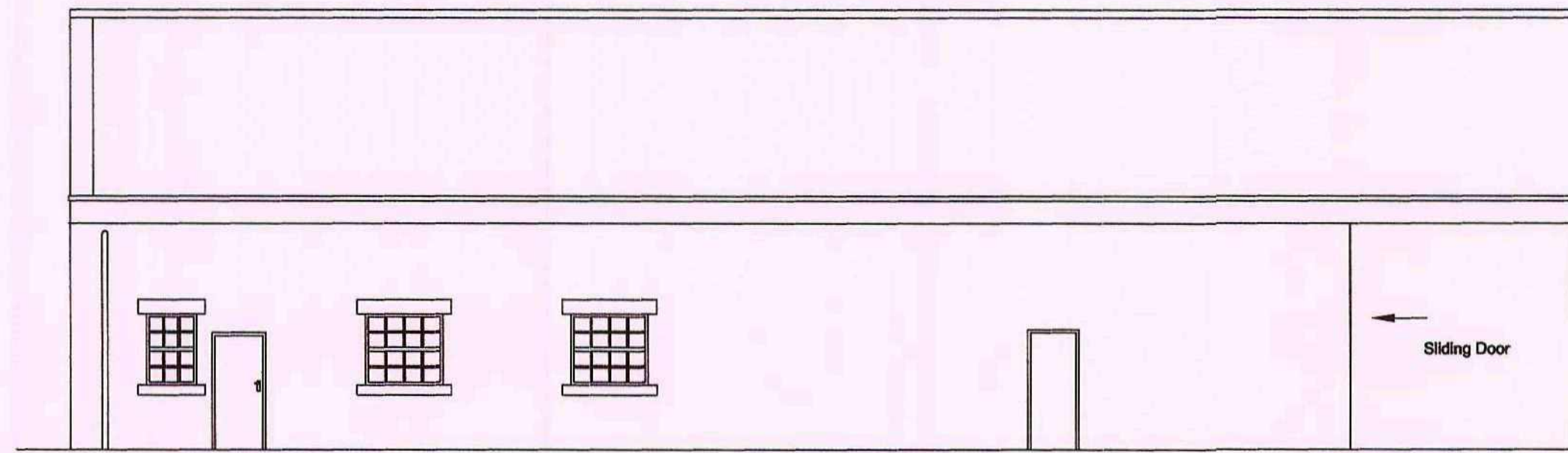
Willowbrook Design Services

Mr. I. J. Mawson M. B. Eng.
 14 Willow Brook Close Darton Barnsley
 Telephone 01226 - 380043

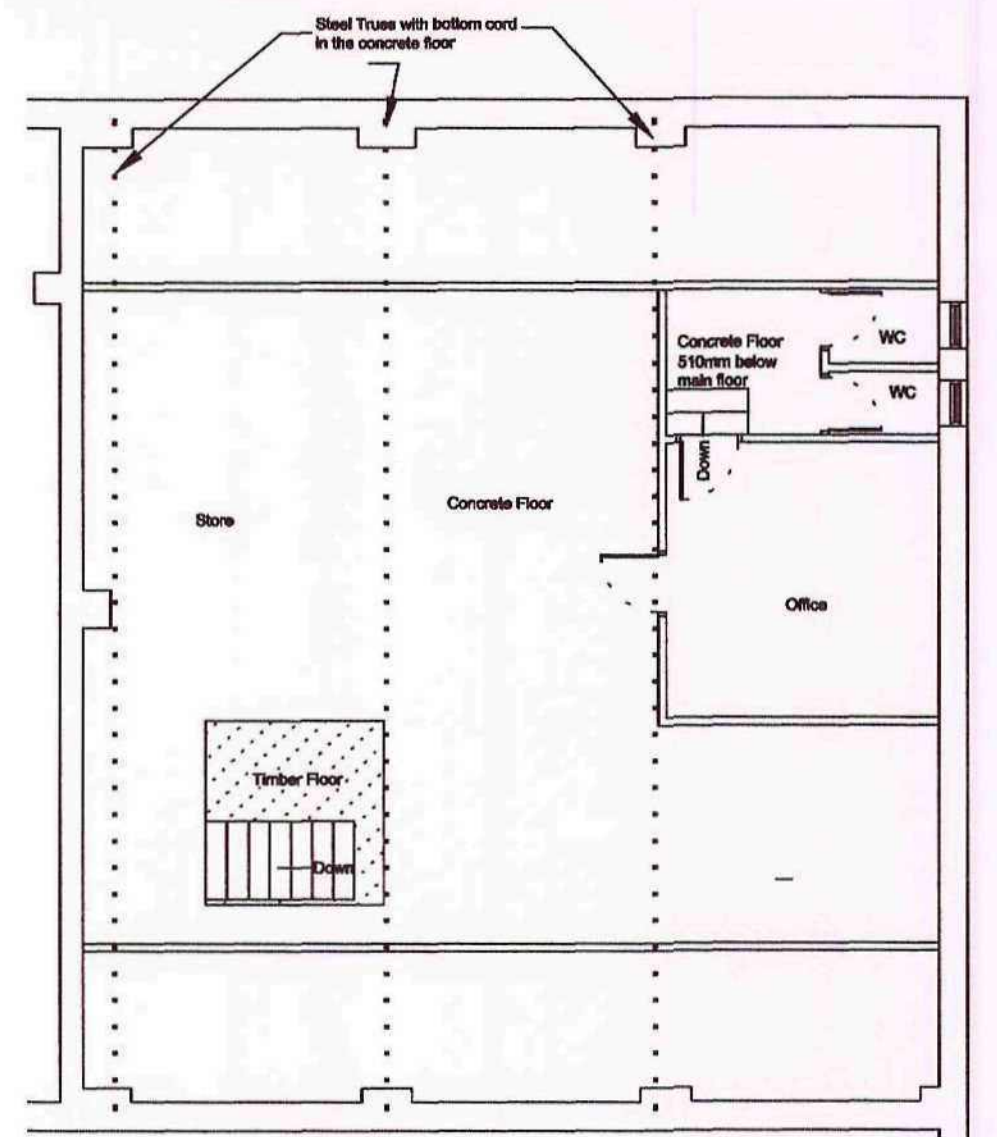
Barnsley Metropolitan Borough Council
 06 MAY 2009
 Corporate Mail Room



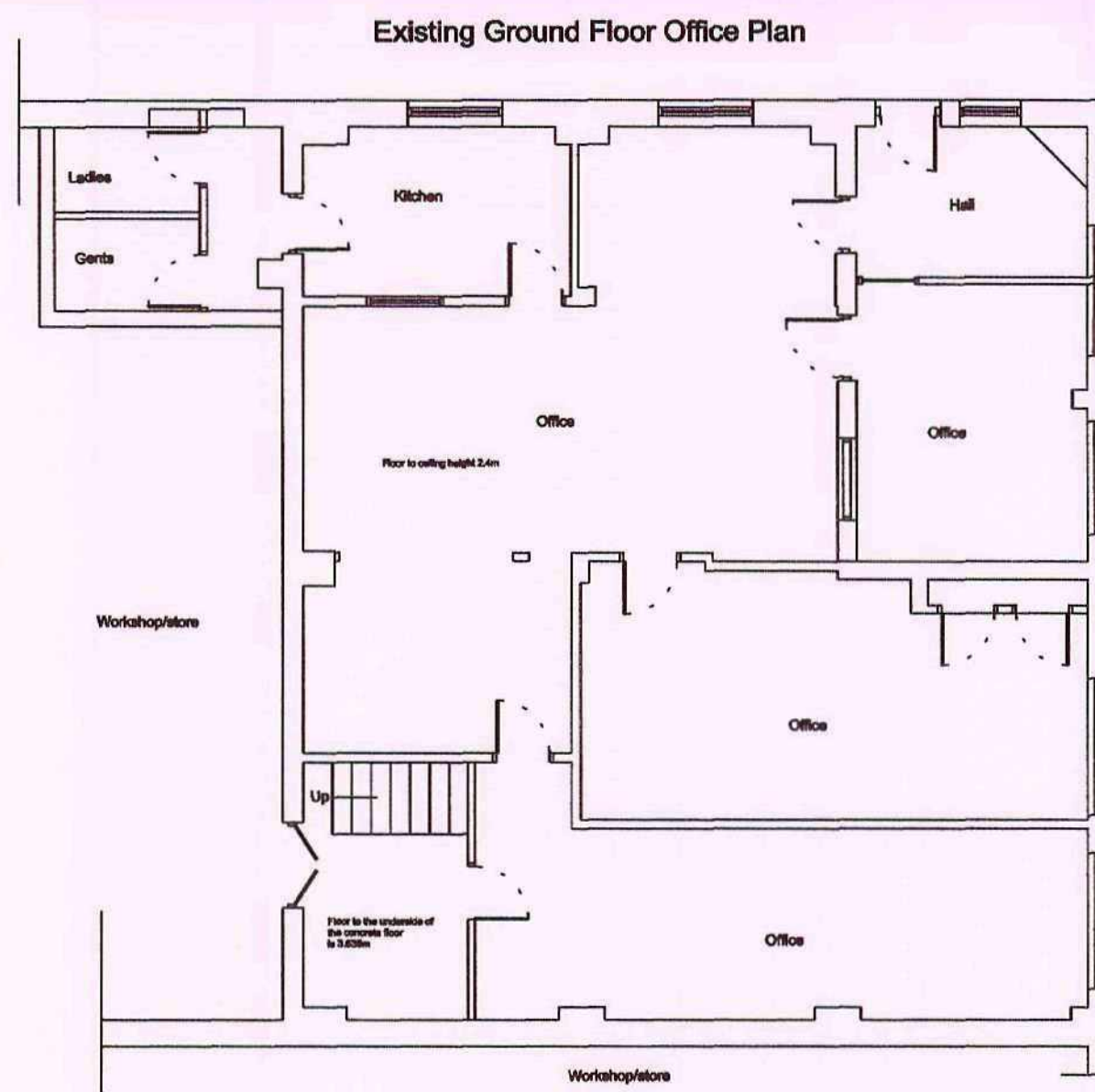
Existing Front Elevation



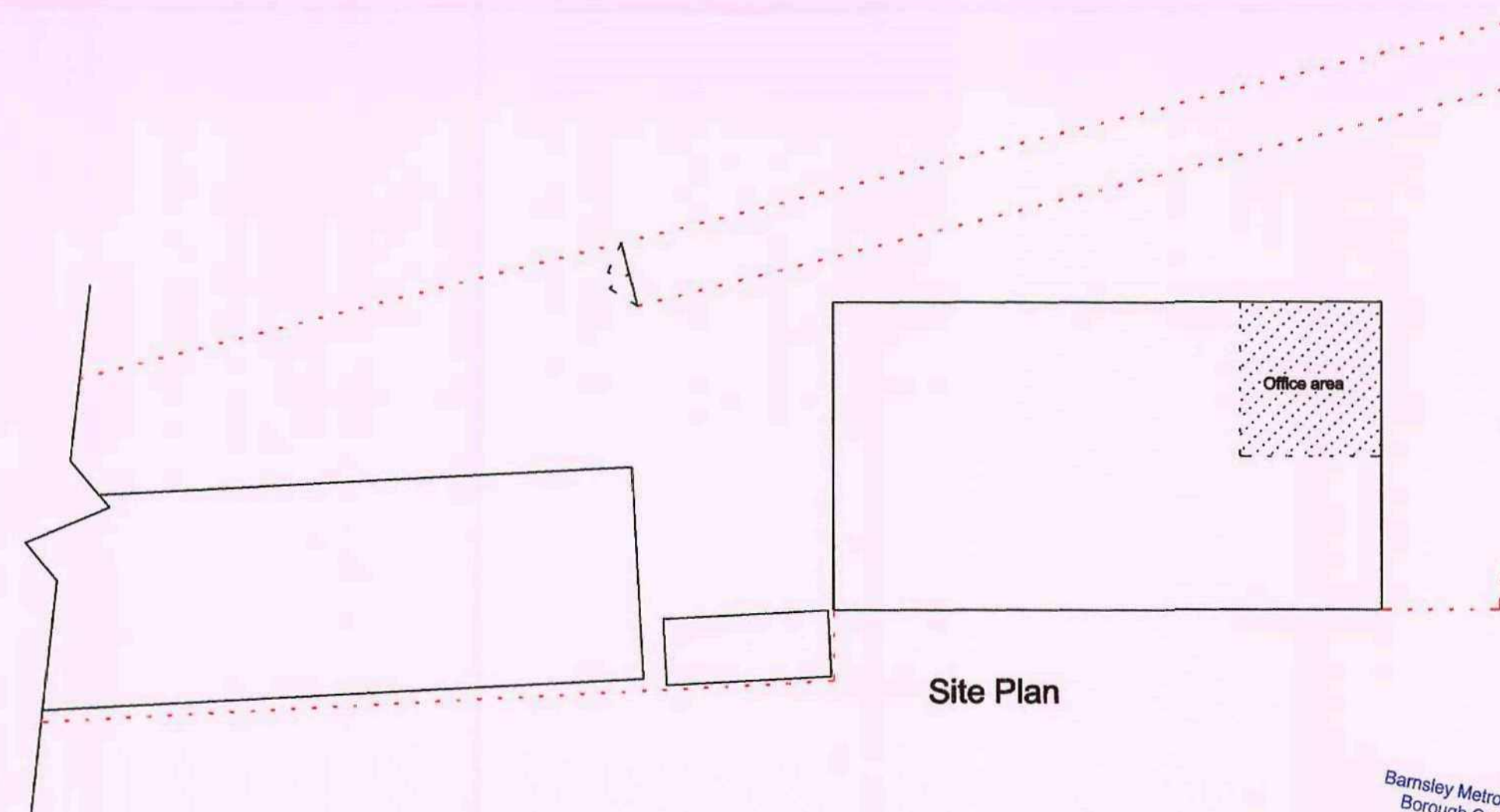
Existing Side Elevation



Existing First Floor Plan



Existing Ground Floor Office Plan



Site Plan

Barnsley Metropolitan
Borough Council
16 MAY 2009
Corporate Mail Room

Drawing No. ACC/09/01
Address Apollo Cradles Ltd
428 Carlton Road, Carlton
Barnsley
Project Existing Plans
Scale 1 : 100 & 1 : 500 Date April 2009

© Copyright I. J. Mawson
Willowbrook Design Services
Mr. I. J. Mawson M. B. Eng.
14 Willow Brook Close Darton Barnsley
Telephone 01226 - 380043