
2022/0259

Mr A Douglas

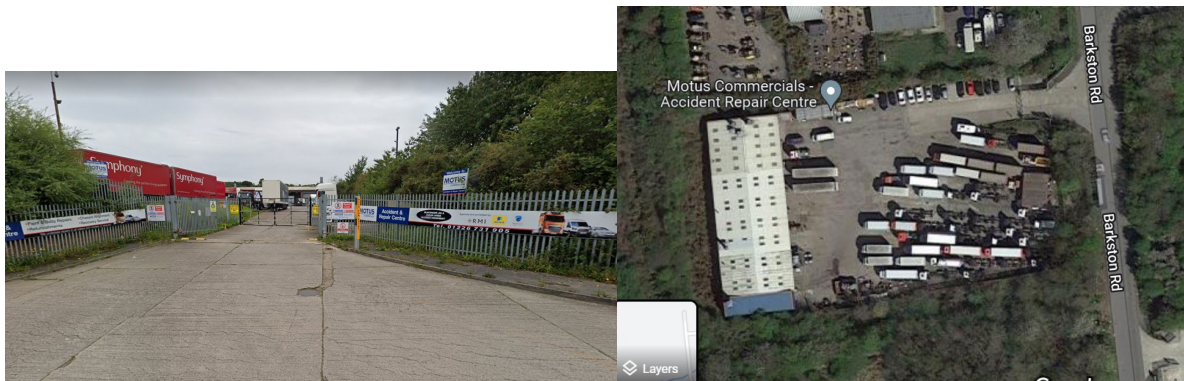
Erection of two storey office building

Plot 26, Unit 2, Barkston Road, Carlton, Barnsley, S71 3HU

Site Location and Description

The site is an industrial unit and a substantial forecourt parking area, used for the repair and maintenance of HGVs, within Carlton Industrial Estate. The site area is given as 0.78ha

Photos of the site and google aerial snip.



Site History

The most recent planning permissions on the site are:

2007/0398 permission for erection of a spray booth and 2 portakabins

2007/1127 permission for a free standing shot blasting unit

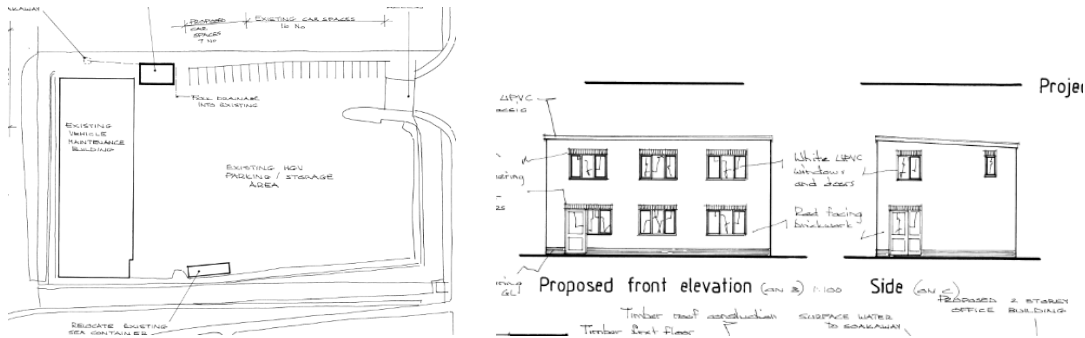
B/04/1012/B permission for change of use from body shop to storage and transfer of glass cullet.

Proposed Development

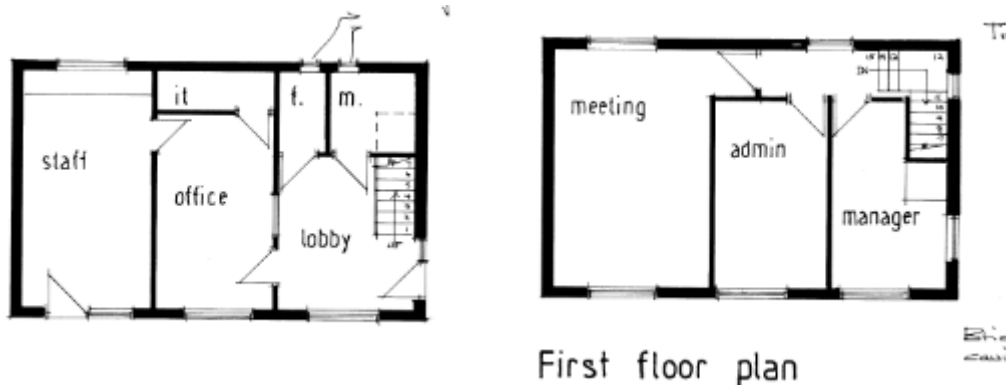
The applicant seeks permission for the erection of a two storey office building, with red facing bricks and a GRP roof covering. At 140 sq m, the proposal will result in an additional 110sq m of office floorspace as it is proposed to remove an existing portacabin office. It is also proposed to increase the number of car parking spaces within the forecourt area from 16 to 23 and to relocate an existing container storage unit to the south boundary.

Extracts from plans:

Layout showing car parking and relocated storage container and proposed building (front and side elevations)



Floor plans of proposed building



Policy Context

Planning decision should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making.

The new Local Plan was adopted at the full Council meeting held on the 3rd January 2019 after it was found to be sound by the appointed Planning Inspector following the examination process. This means that it now takes on full weight for decision making process in planning law terms as the development plan for the Borough, superseding the remaining saved policies from the Unitary Development Plan (adopted in the year 2000) and the Core Strategy (adopted in 2011).

Local Plan

The site is within an area designated as Urban Fabric within the Local Plan Proposals Maps and therefore the following policies are relevant:

Policy SD1 Presumption in favour of Sustainable Development – indicates that we will take a positive approach reflecting the presumption in favour of sustainable development in the National Planning Policy Framework and that we will work proactively with applicants to find solutions to secure development that improves the economic, social and environmental conditions in the area

Policy GD1 General Development – sets a range of criteria to be applied to all proposals for development.

Policy D1 High Quality Design and Place Making – indicates that development is expected to be of high quality design and to reflect the distinctive, local character and features of Barnsley.

Policy E4 Protecting Existing Employment Land – land or premises currently or last used for employment purposes will be retained. Non-employment uses will only take place if they would not result in significant loss of existing jobs or employment potential; there will still be an adequate supply of employment land/premises in the locality; and the land or premises can't support continue employment use.

NPPF

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

Consultations

Pollution Control – The development is unlikely to have an adverse impact on the health and quality of life of those living and/or working in the locality, so approval is recommended.

Highways DC – Having reviewed the proposal, there are no objections from a Highways perspective

Yorkshire Water – Based on the information provided, no observation comments are required from Yorkshire Water.

Drainage – the details provided are sufficient and I am happy for the details to be checked by building control.

Ward Councillors – No response

Representations

The application has been publicised by means of direct letters to nearby properties and a site notice displayed 21 March to 11 April; no representations have been received.

Assessment

Principle of Development

As the proposal is for a modest office building on an industrial estate the principle of development is acceptable subject to consideration of details.

Design

The proposed two storey building will have red facing bricks and a GRP roof. As it is located towards the rear of the site it will have minimal impact on the character of the street scene. The storage container will be relocated in less prominent location than it is a present. The proposals are considered to be acceptable and in compliance with Local Plan Policy D1. A condition requiring details of the bricks of the office building to be agreed is recommended.

Highway Safety

The proposal requires a modest change to the parking arrangements to this unit with new parking spaces being delineated to create more parking. Together with the advice of the highway engineer it is concluded that the proposals are acceptable from a highway safety point of view. A condition is recommended to secure surfacing and delineation of the additional parking.

Drainage

It is indicated on the application form and proposed drawings that foul sewage will be disposed of to the mains sewer. Both Yorkshire Water and the Drainage officer have confirmed that the submission is acceptable.

Residential Amenity

The application site is located at some significant distance from the nearest dwellings – well over 200 metres to the west and separated by Spring Wood. Together with the advice of the pollution control officer, it is concluded that the proposals are acceptable from a residential amenity point of view.

Recommendation

Grant subject to conditions