

2022/0307

Mr Gavin Bassinder

10 Woodside View, Bolton Upon Dearne, Rotherham, S63 8GZ

Two storey rear extension

Site Description

The dwelling is a two-storey semi-detached buff brick built dwelling located in Bolton-Upon-Dearne. Woodside View is a mix of detached, terraced and semi detached two storey properties, constructed of a mix of red brick and buff brick. The property has a north facing garden of approx. 12m in length which backs on to agricultural land to the north. The neighbouring detached dwelling to the east, number 8, is set further back than the applicant's dwelling.

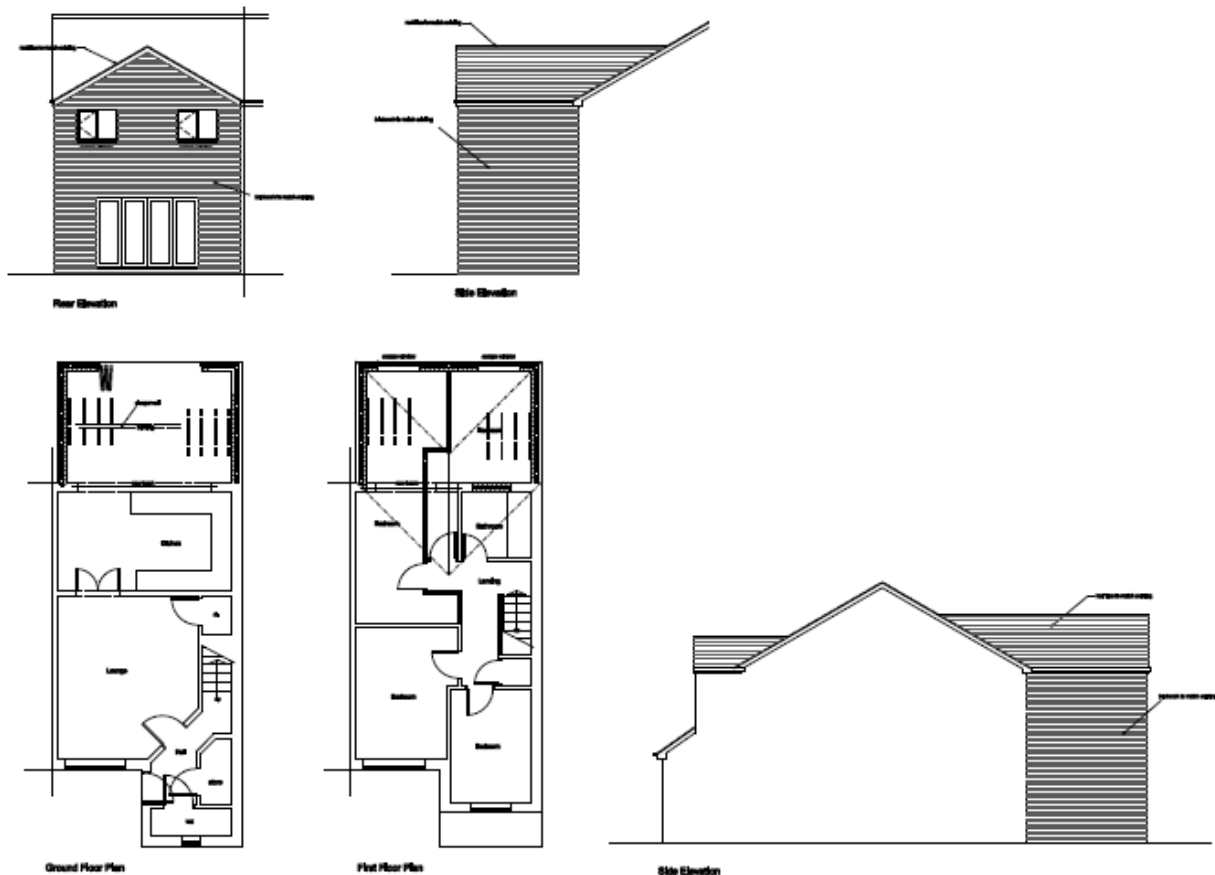




Proposed Development

The applicant is seeking approval for the erection of a two-storey rear extension. The extension will project 3.5 meters from the rear elevation of the dwelling. The extension has a width of 5.4 meters. The extension will feature a pitched roof with a maximum height of 6.5 meters and a height to the eaves of 4.8 meters. The materials used will be matching brickwork and roof tiles. There are no windows proposed to the side elevations.

The plans have been amended twice during the course of the application. The first amendment included a pitched roof to the proposed extension. The second amendment was a change in the materials proposed from render to matching brickwork.



Policy Context

Planning decisions should be made in accordance with the Local Plan unless material considerations indicate otherwise. The National Planning Policy Framework (NPPF) does not change the statutory status of the Local Plan as the starting point for decision making. The Local Plan was adopted by the Council in January 2019 along with a series of Supplementary Planning Documents (SPD) and Supplementary Planning Guidance Notes, which are other material considerations.

Local Plan Allocation – Urban Fabric

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise and the recently revised NPPF does not change the statutory status of the development plan as the starting point for decision making.

Policy SD1: Presumption in favour of Sustainable Development – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

Policy GD1: General Development – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

Policy D1: High quality design and place making – Supersedes Core Strategy Policy CSP 29 and sets out the overarching design principles for the borough. Policy D1 States that development is expected to be of high-quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley.

Supplementary Planning Document: House extensions and Other Domestic Alterations

This document establishes the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations. The general principles are that proposals should;

- ***Be of a scale and design which harmonises with the existing building***
- ***Not adversely affect the amenity of neighbouring properties***
- ***Maintain the character of the street scene***
- ***Not interfere with highway safety***

The above principles are to reflect the revised principles in the NPPF, which promote high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise.

Where a Local Plan is absent or relevant policies are out-of-date, permission should be granted, unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits. This is assessed against the policies in the NPPF as a whole; or where specific policies in the NPPF indicate development should be restricted or material considerations indicate otherwise.

In respect of this application, relevant policies include;

Section 12: Achieving well designed places - The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

It is important to plan positively for the inclusion of high-quality design for all developments, including individual buildings, public and private spaces and wider area development schemes.

Consultations

None

Representations

Neighbour notification letters were sent to surrounding properties, 1 objection has been received which raises concerns with regard to a loss of light, overshadowing impact and an overbearing impact.

A further consultation took place following the submission of amended plans which included a pitched roof to the extension. The same concerns were raised by the objector.

Assessment

Principle of development

The site falls within urban fabric as such, extensions to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host dwelling and are not detrimental to the amenity afforded to neighbours.

Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and highway safety.

Residential Amenity

The SPD states that ‘Two-storey rear extensions will be considered on the basis of the extent of overshadowing, loss of privacy and outlook. Two-storey extensions to terraces and semi-detached properties which abut a party boundary and adversely affect main windows will not normally be allowed. Two-storey rear extensions to semi-detached houses should, therefore, generally be designed with a rear projection of less than 3.5 metres” and that “two-storey rear extensions will be considered on the basis of the extent of overshadowing, loss of privacy and outlook”.

The main issue to consider, is whether or not the extension would be significantly overbearing on the adjoining neighbour to the west, number 12. The neighbour to the east, number 8, is set further back and is detached from the applicant’s property so should not be significantly affected by the proposal. The proposed extension has been designed with a rearward projection of 3.5 meters, which is in compliance with the SPD. The extension would also be sited on a north facing elevation. The SPD states that ‘The position of an extension in relation to a neighbouring property and to the path of the sun can influence the level of daylight and sunlight received by that property. Extensions should not overshadow neighbouring properties or their gardens to an unreasonable degree. Extensions directly to the south and to the south east and south west of a neighbouring dwelling will generally have a greater impact than those located to the north, east or west.’ Therefore, given the extension would be set to the north facing elevation, any increased levels of overshadowing would not be significant enough to warrant a refusal of permission on this basis.

In terms of overbearing impact/loss of outlook, the adjoining property, number 12 has a number of habitable room windows to the rear elevation, including a bedroom window and a kitchen/diner to the ground floor. The objector has cited a 45 degree rule and whilst is not part of the guidelines within the SPD House Extensions, the extension has been designed with a low pitched roof to reduce any overbearing impact and does not project any further than the guideline of 3.5m set within the SPD. It should also be noted that an extension that projects out 3m and is 4m in height would be classed a permitted development. The additional impact of the proposed extension over what could be built under permitted development is not considered significant in terms of the impact on the neighbour. On this basis it is felt that the proposal would not cause a significant loss of outlook or overbearing impact in order to warrant a refusal of planning permission on this basis and given that the extension is set to a north facing elevation where overshadowing impacts are further limited.

The proposed extension does not have any overlooking windows to the side and therefore there should not be any increased overlooking to adjacent dwellings. The proposed extension will not have a significant detrimental impact on any neighbouring property by way of overshadowing or being overbearing and the proposal is considered to be in compliance with Local Plan Policy GD1: General Development and is acceptable in terms of residential amenity.

Visual Amenity

The SPD states that 'materials should normally be of the same type, colour and texture to the existing house or as close a match as possible'. In this case, the proposed materials will match the existing dwelling with matching brickwork and roof tiles to the existing dwelling being used. The extension utilises a pitched roof with the same eaves height as the existing dwelling.

The proposed extension conforms to the SPD in terms of its external materials and roof type, therefore it will have little impact upon the character of the street scene due to the harmony with the existing dwelling. The extension would not be highly visible from public vantage points and its projection means that it appears as an extension and remains subordinate to the host dwelling.

The proposed development is therefore not considered to be contrary to Local Plan Policy D1: High Quality Design and Place Making and is considered acceptable in terms of visual amenity.

Highway Safety

There will be no impact upon highway safety.

Recommendation

Approve with conditions