

Application Reference: 2025/0088

Location: 52 Garden House Close, Monk Bretton, Barnsley, S71 2ED.

Introduction

This application seeks planning permission for the erection of a two-storey extension to the side and the installation of a dormer window to the rear.

Relevant Site Characteristics

This application relates to a modest sized plot located to the western end of Garden House Close – a residential cul-de-sac located within an area that is a mix of greenspace and residential properties, comprising two-storey semi-detached properties of a similar scale and appearance. Immediately to the west is a relatively modern stone-built pair of semi-detached properties.

The property in question is a two-storey semi-detached dwelling that is constructed of brickwork with a pitch interlocking tiled roof. The property features an existing single storey front and side extension that is constructed of brickwork with facing stone to its front elevation. The extension has a pitched roof with red interlocking roof tiles. The property is fronted by a driveway bounded by low-built brick walls. To the rear is a modest sized garden with an existing pergola and extension. The rear garden is bounded by high timber fencing and conifer trees.

Site History

Application Reference	Description	Status (Approve/Refuse)
B/00/0692/BA	Erection of single-storey side extension.	Approved.
2020/0154	Erection of first floor side and front extensions to dwelling.	Refused.
2023/0894	First floor front and side extensions, front balcony and loft conversion with front and rear dormers to two storey dwelling.	Dismissed at appeal APP/R4408/D/24/3340594.
2024/0750	Erection of single storey rear and side extension with flat roof (Retrospective).	Approved.

Detailed Description of Proposed Works

This application seeks planning permission for the erection of a two-storey extension to the side and the installation of a dormer window to the rear.

The proposed first-floor side extension would be erected atop and existing side extension to form a two-storey extension and would measure approximately 7.4 metres (L) x 3.4 metres (W) x 7.5 metres (H). The extension would be constructed of closely matching external materials.

The proposed rear dormer window would measure approximately 3.3 metres (D) x 6.1 metres (W) x 2.3 metres (H) and would be timber clad and painted anthracite grey.

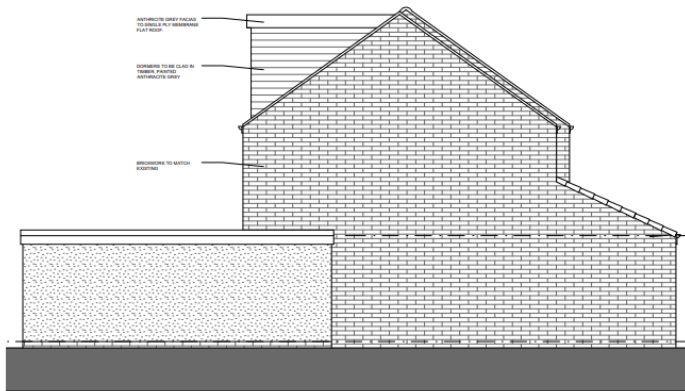
During the application process, the proposal was amended to set the extension down and back, alter the materials of the dormer window, remove a second dormer and align openings.



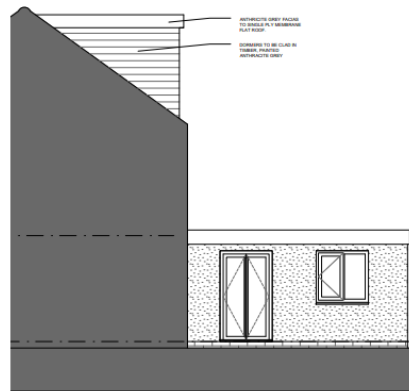
PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED LEFT SIDE ELEVATION



PROPOSED RIGHT SIDE ELEVATION

Revisions

Rev.	Issued	By	Comment
01	01/01/2014	BP	Issue for client approval
02	01/01/2014	BP	Issue for client approval
03	01/01/2014	BP	Issue for client approval

Drawing Title

PROPOSED ELEVATIONS

Property

52 Garden House Close,
Monk Stratton,
Barnstaple,
ST11 2SD
Client:
Marie Scott

Site Reference

124

Drawing No.

124-020

Revision

B

Notes

Information Only

Drawn by

BP

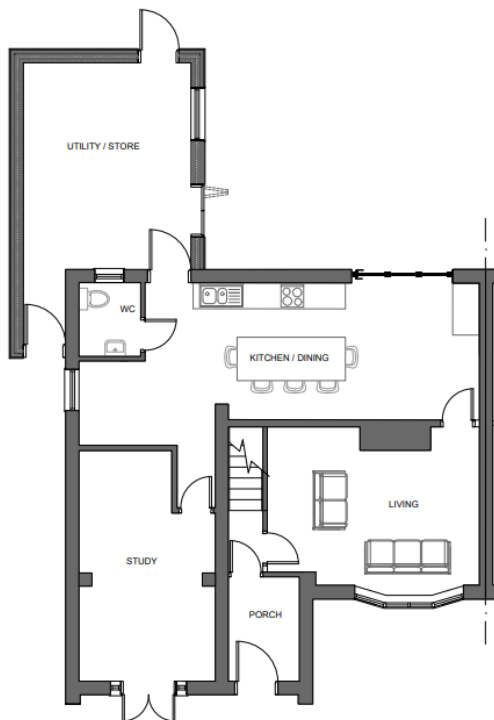
Scale

1:50

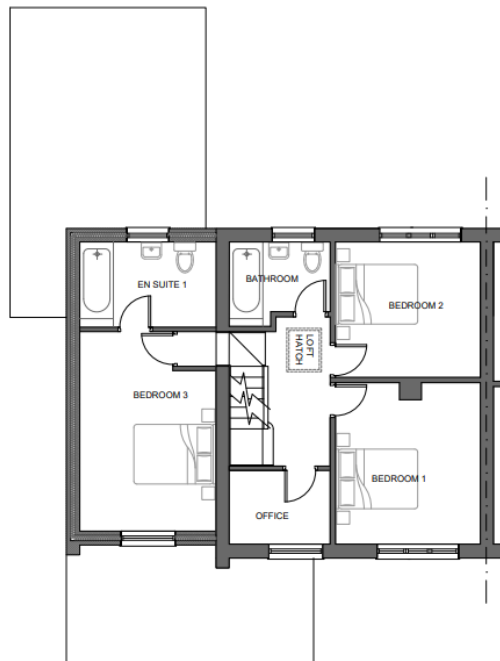
Original Size

A2

peel.
ARCHITECTURE



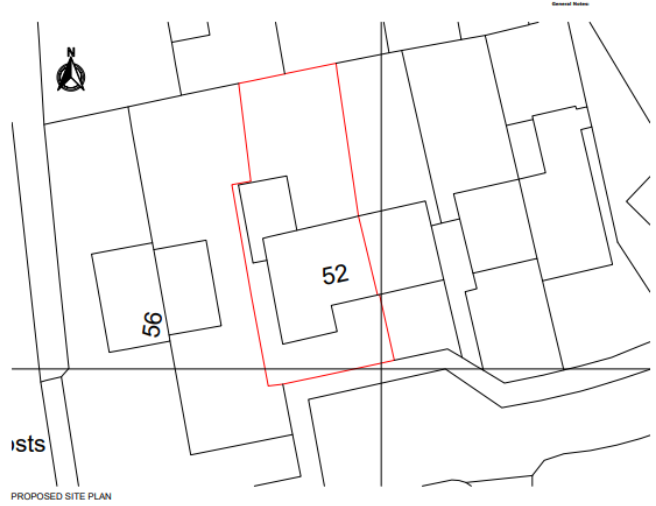
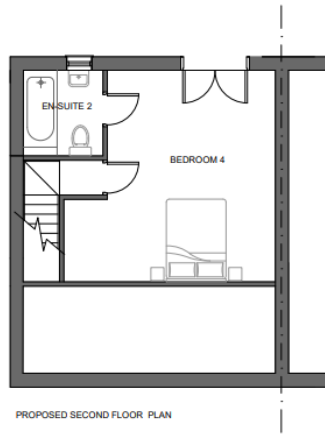
PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

			
Name:	Mr. J. Thompson	Telephone:	01323 353939
Address:	100, High Street	Fax:	01323 353940
City:	Exeter	E-mail:	enquiries@jthompson.co.uk

Drawing Title: PROPOSED GROUND AND FIRST FLOOR PLAN		
Property: 52 Garden House Close, Monk Stratton, Barnstaple, ST1 2SD		
Client: Marie Scott		
Site Reference	Drawing No.	Revision
124	124-021	A
Notes: Information Only		
Drawn by: BP		
Scale: 1:50		Original Size: A2
		



Revisions			
No.	Date	By	Reason
1	10/10/2023	MS	Initial Design
2	10/10/2023	MS	Revised Design

Summary Data			
PROPOSED SECOND FLOOR PLAN AND SITE PLAN			
Project:			
52 Garden House Close,			
Marrickville, NSW			
Client:			
Marrickville Council			
Drawing No.			
124	124-022	B	
Notes:			
Information Only			
Scale:			
1:500	Original Size	A2	

peel.
ARCHITECTURE

Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires development proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at a full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering on its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review, which is due to take place in 2027, or earlier, if circumstances require it.

The development site is allocated as urban fabric within the adopted Local Plan which has no specific allocation. The following Local Plan policies are relevant in this case:

- *Policy SD1: Presumption in favour of Sustainable Development.*
- *Policy D1: High quality design and place making.*
- *Policy GD1: General Development.*
- *Policy T4: New Development and Transport Safety.*

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, the Government published a revised NPPF which is the most recent revision of the original Framework, first published in 2012 and updated several times, providing the overarching planning framework for England. The NPPF sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. The revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). There are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The following NPPF sections are relevant in this case:

- *Section 2: Achieving sustainable development.*
- *Section 4: Decision-making.*
- *Section 12: Achieving well designed places.*

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take this guidance into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty-eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The following SPDs are relevant in this case:

- *House extensions and other domestic alterations (Adopted March 2024).*
- *Parking (Adopted November 2019).*

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

This planning application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015 (as amended).

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website. One objection was received citing overshadowing, loss of privacy and overlooking concerns.

No statutory or non-statutory consultees were consulted on this application.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

Extensions and alterations to a dwelling are acceptable in principle if the development would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Scale, Design and Impact on Character

The House extensions and other domestic alterations SPD establishes specific design guidance for proposals for dormer windows. It states that the design should reflect the character of the area, the surrounding buildings and the age and appearance of the existing building, and to determine whether a dormer window on the front or principal elevation would be appropriate, the roofs of the surrounding buildings should be examined. Unless the street scene is characterised by dormers on the frontage, or these are a feature of the surrounding area/street/terrace, dormer windows should be located on the rear or secondary elevations. Dormer windows should be set within the roof plane and not built off external walls. Dormer windows should also be set below the ridge, set back from the eaves and set away from party walls with adjacent properties.

Whilst rear dormer windows can usually be implemented as permitted development, in this instance, permitted development rights were removed previously under application 2024/0750 in the interests of visual amenity.

In this instance, the proposed dormer window would be installed to the rear, and whilst it would adopt a relatively large scale, the dormer window would be set back from the original eaves and set below the original ridge. The proposed dormer window would be painted anthracite grey to sympathetically reflect the colour of existing roofing materials. The dormer window would be visible from Lamb Lane, but it would not appear as an overtly dominant or prominent feature within the street scene that could otherwise detract from its character and new apertures would align with existing apertures.

The House extensions and other domestic alterations SPD establishes specific design guidance for proposals for two-storey side extensions. It states all two-storey side extensions should adopt a roof

following the form of the existing roof with a set back from the front elevation and set down from the existing ridge line. The sideways projection should not exceed more than two thirds the width of the original dwelling.

In this instance, the proposed extension would be set back from the front elevation at first floor level and would not adopt an excessive sideways projection more than two thirds the width of the original dwelling. The proposed extension be set below the existing ridge line, would adopt a pitch roof and would be constructed of closely matching external materials. The extension would therefore appear subservient and would be a sympathetic addition, designed in accordance with the Council's design guidance.

Considering the above, this is considered to weigh significantly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy D1: High Quality Design and Placemaking and is considered acceptable regarding visual amenity.

Impact on Neighbouring Amenity

During the application process, one objection was received regarding overshadowing, loss of privacy and overlooking.

Regarding overshadowing, the proposed extension would be erected to the east of 54 Garden House Close and therefore, any potential impact would likely occur in the morning, and its extent limited to the blank gable elevation of this neighbouring property. The extension would be erected to the south of properties located on Butter Cross Park but given that the extension would be located away from the rear boundary, which is defined by existing conifers, any potential impact is likely to be limited to the application curtilage and not neighbouring curtilages on Butter Cross Park.

Regarding overlooking and loss of privacy, new windows would be located on and limited to the front and rear elevations of the proposed extension and dormer window. A sufficient separation distance of approximately 14 metres would be maintained to the rear boundary and approximately 29 metres to the rear habitable room windows of neighbouring properties on Butter Cross Park, in accordance with the Council's design guidance. The presence of high conifers along the rear boundary line would continue to provide some screening and lessen the extent of any potential impact.

Regarding outlook, it is not considered that the proposal would result in significantly reduced levels of outlook.

The proposal would also comply with the minimum internal space standards as per table 4A.1 within the SYRDG.

Considering the above, this is considered to weigh significantly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy GD1: General Development and is considered acceptable regarding residential amenity.

Impact on Highways

The proposal is not considered to be prejudicial to highway safety because existing off-street parking arrangements would not be impacted, and the proposal would not result in a requirement to provide additional spaces.

Considering the above, this is considered to weigh modestly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy T4: New Development and Transport Safety and is considered acceptable regarding highway safety.

Planning Balance and Conclusion

In accordance with the provisions of paragraph 11 of the NPPF(2024), the proposal is considered in the context of the presumption in favour of sustainable development and therefore, for the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant local and national planning policies and guidance and planning permission should be granted subject to necessary conditions.

RECOMMENDATION: Approve subject to conditions.

Justification

Statement of compliance with Article 35 of the Town and Country Development Management Procedure Order 2015.

In dealing with the application, the Local Planning Authority has worked with the applicant to find solutions to the following issues that arose whilst dealing with the planning application: set the extension down and back, alter the materials of the dormer window, remove a second dormer and align openings.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering representations, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.