

2023/0007

Mr and Mrs Tullett

46 Timothy Wood Avenue, Birdwell, Barnsley, S70 5RX

Erection of conservatory extension to side of bungalow

Site Description

Timothy Wood Avenue is a residential estate road located in an area that is predominantly residential in nature; with the residential dwellings being a mix of two-storey, semi-detached dwellings, and single storey, detached, and semi-detached bungalows. There are several examples of extensions to the side within the street scene which vary in scale and design; a commercial unit is located opposite the site.

The application relates to a single storey, detached, brick-built bungalow located on a corner plot at the junction of Timothy Wood Avenue with Green Spring Avenue. Green Spring Avenue extends along the side elevation of the dwelling and Timothy Wood Avenue extending along the front with the site bounded by hedging and other vegetation, low brick-built walls, and timber fencing.

The dwelling is positioned at the lowest point within the building line with staggered height increases visible along Timothy Wood Avenue. The dwelling benefits from modest garden spaces to the front, side, and rear of the property with vehicular access taken from Green Spring Avenue onto an existing driveway and leading to an existing detached garage to the rear.





Planning History

There are no previous planning applications for this site.

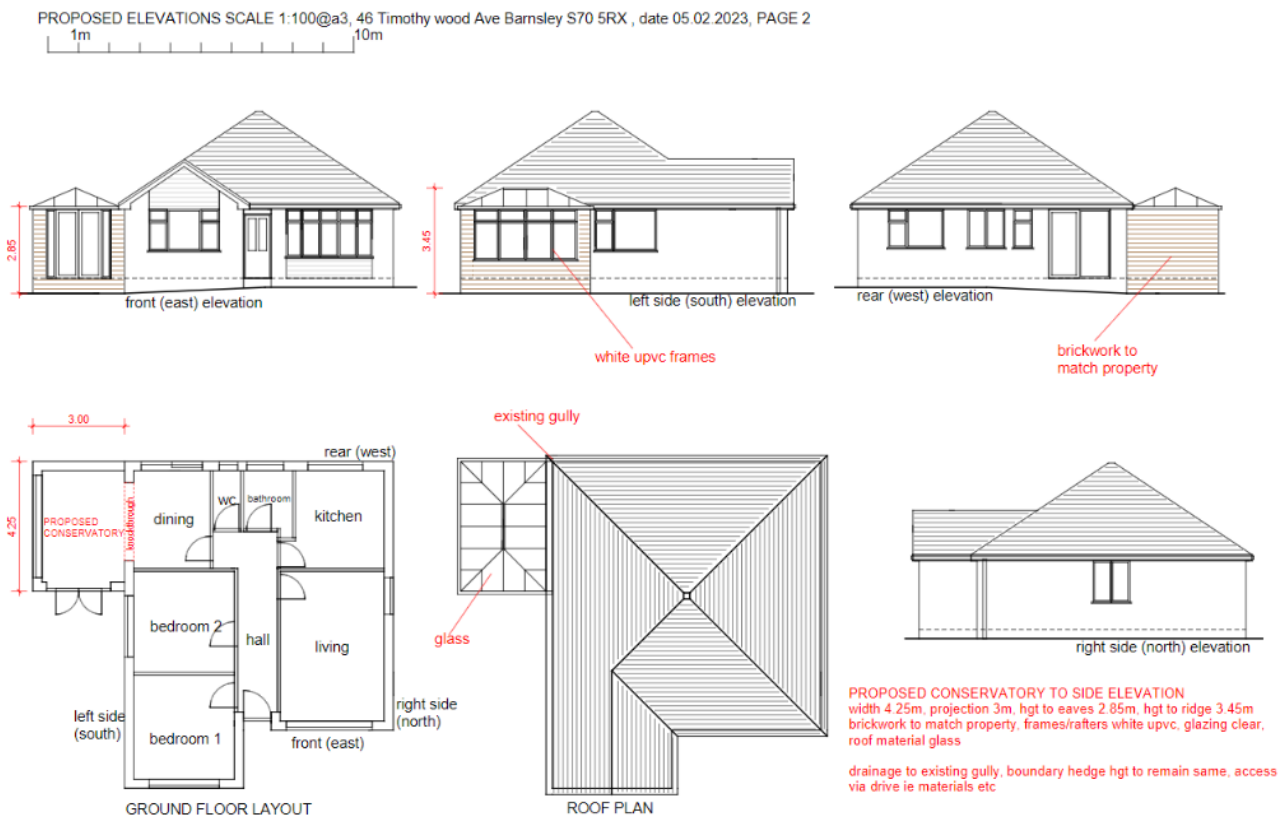
Proposed Development

The applicant seeks permission for the erection of a conservatory extension to the side of a bungalow that would be brick-built with a glazed hipped roof.

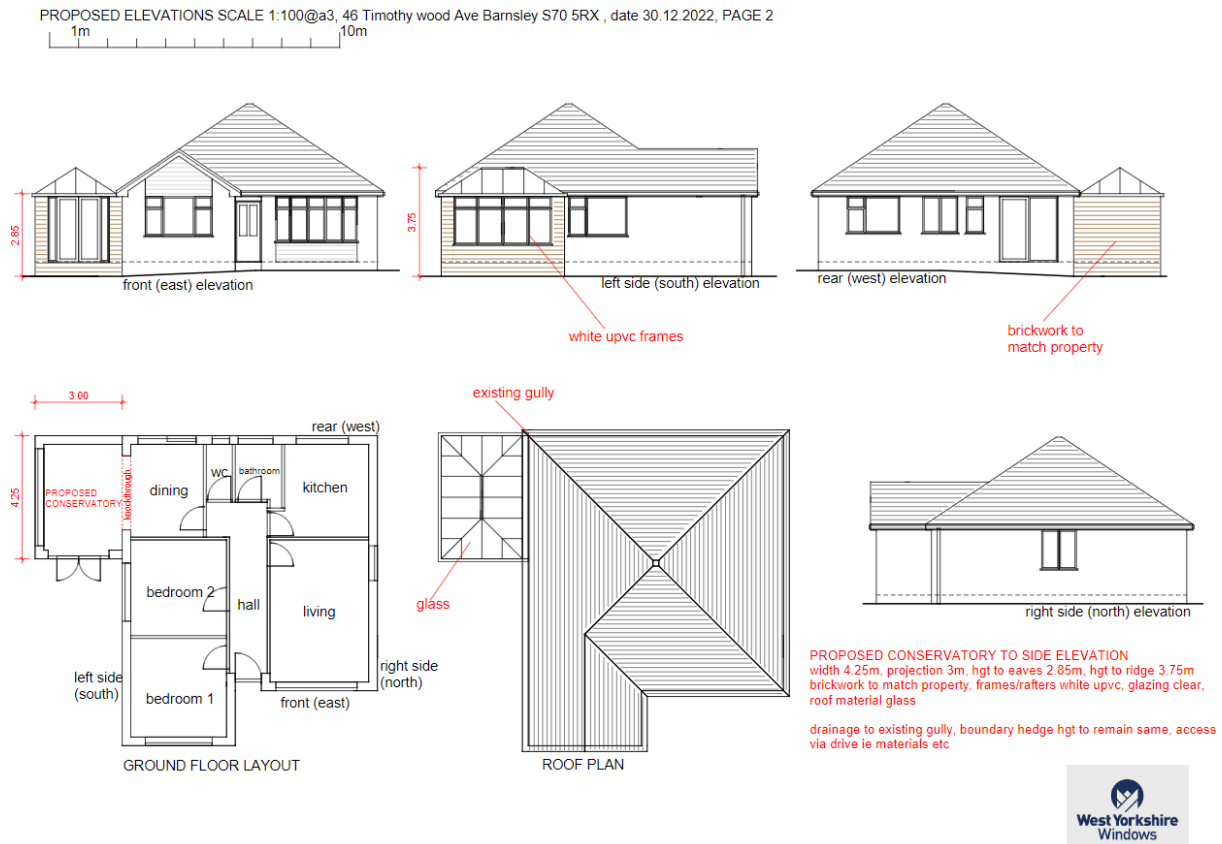
The original proposals received 04/01/2023 indicated that the proposed extension would project approximately 3 metres from the southern elevation, extending along the same elevation for approximately 4.25 metres, with an approximate eaves and ridge height of 2.85 metres and 3.75 metres retrospectively.

Following discussions, amended proposals were received 05/02/2023 indicating that the proposals had now incorporated a reduced ridge height of approximately 3.45 metres, with all other dimensions remaining unchanged.

Considered proposals:



Original proposals:



Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as Urban Fabric within the adopted Local Plan, which has no specific land allocation and therefore, the following policies are relevant:

Policy D1: High quality design and place making – The policy states that development is expected to be of high-quality design and will be expected to respect, take advantage of, and reinforce the distinctive, local character and features of Barnsley.

Policy GD1: General Development – The policy states that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

Policy SD1: Presumption in favour of Sustainable Development – The policy states that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

Policy T4: New Development and Transport Safety – The policy states that new development will be expected to be designed and built to provide all transport users within and surrounding the development with safe, secure, and convenient access and movement.

Supplementary Planning Document: House extensions and Other Domestic Alterations

This document establishes the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations. The general principles are that proposals should:

- Be of a scale and design which harmonises with the existing building;
- Not adversely affect the amenity of neighbouring properties;
- Maintain the character of the street scene; and
- Not interfere with highway safety.

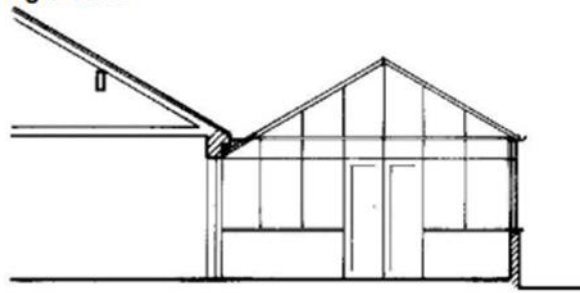
The above principles are to reflect the revised principles in the NPPF, which promote high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

The SPD also provides guidance in relation to specific types of development; Conservatories are outlined in paragraphs 8.14 and 8.15, single storey side extensions are outlined in paragraphs 8.17 and 8.19.

8.14: Conservatories are likely to appear particularly intrusive on front elevations and will not normally be acceptable. The conservatory shown in Figure 8.9 attached to this converted barn, a building not originally designed as a dwelling, is particularly inappropriate and must be avoided.

8.15: Where a conservatory abuts a bungalow, because of the level of the eaves it is often very difficult to construct a satisfactory roof slope, without resorting to a roof form such as is shown in section in Figure 8.10. This creates an awkward relationship between bungalow and conservatory, as well as a roof junction requiring a valley gutter, which is difficult to access and may give rise to maintenance problems in the long term. It also causes the conservatory to appear unnecessarily high and dominant.

Figure 8.10



8.17: The design of a single storey side extension should reflect the design of the existing dwelling in terms of roof style, pitch materials and detailing and should not have an excessive sideways projection (i.e., more than two thirds the width of the original dwelling). In Figure 8.11 both the gabled roof shown on the left-hand side and the hipped roof on the right reflect the form and pitch of the main roof. A lean-to roof (not shown) is a more traditional form and could be used as an option against a gable wall to reduce the impact on a neighbouring property.

8.19: On corner plots the sideways projection of a single storey side extension should not exceed more than half the width of the existing gap between the original dwelling and the side boundary.

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

Section 12: Achieving well designed places - The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. It is important to plan positively for the inclusion of high-quality design for all developments, including individual buildings, public and private spaces, and wider area development schemes.

Within section 12, paragraph 134 states that *“development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes”*.

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties; no objections or comments were received.

Assessment

Principle of Development

The site falls within urban fabric which has no specific land allocation; however, the site and surrounding area is made up principally of housing. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity, and highway safety.

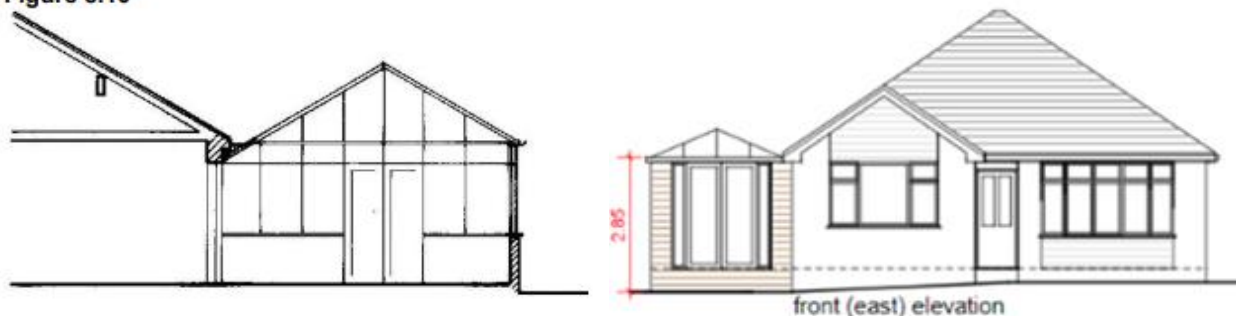
Visual Amenity

The Supplementary Planning Document – House Extensions and Other Domestic Alterations (SPD) states that ‘the design of a single storey side extension should reflect the design of the existing dwelling in terms of roof style, pitch materials and detailing and should not have an excessive sideways projection (i.e., more than two thirds the width of the original dwelling)’, adding that where the dwelling is located on a corner plot ‘a sideways projection or a single storey side extension should not exceed more than half the width of the existing gap between the original dwelling and the side boundary’.

In this instance, the original dwelling would be located approximately 4.2 metres from the boundary located along the back edge of the pavement on Green Spring Avenue. Therefore, the creation of a 3-metre-wide extension would not retain half the existing gap, contrary to SPD – House Extensions and Other Domestic Alterations. Whilst it is acknowledged that the proposed side extension would be set back from the back edge of the pavement for approximately 1.2 metres, it would only be partially screened by existing boundary treatments resulting in the awkward joining between the roof of the proposed extension and original dwelling remaining visible and unnecessarily dominant within the street scene.

Paragraph 8.15 of the SPD states that ‘where a conservatory abuts a bungalow, because of the level of the eaves it is often very difficult to construct a satisfactory roof slope that creates an awkward relationship between the bungalow and conservatory, as well as a roof junction requiring a valley gutter, which is difficult to access and may give rise to maintenance problems in the long term. It also causes the conservatory to appear unnecessarily high and dominant’, as show in in figure 8.10. This is a close representation of the proposal subject to this application.

Figure 8.10



The proposals show that the proposed extension would be located to a side elevation within a prominent corner plot. Therefore, the proposed extension would be a prominent feature within the street scene, and as it would abut a bungalow with a relatively low eaves height, an unacceptable and awkward junction between the bungalow and the proposed extension would occur, resulting in

an unnecessarily high and dominant appearance, contrary to SPD – House Extensions and Other Domestic Alterations.

The applicant has argued that there are examples of conservatory extensions to the side of hipped roof bungalows within the locality. A particularly noticeable example provided to support the proposed design choices of the development is located at 12 Green Spring Avenue; the application (B/00/0645/WB/HH) was approved July 2000; however, local planning policies have since been updated and in any case, the approval of the extension to 12 Green Spring Avenue does not set a precedent for similar development.



This extension is particularly prominent and intrusive within the street scene and is considered further justification for this type of development being unacceptable.

Whilst the proposals meet the guidance of the SPD regarding external material use and appear to show a relatively modest extension that may have otherwise been acceptable in another location, or on a larger site, the SPD is clear in terms of an extension's positioning on prominent corner plots and their design. An extension in this location and of the design proposed, though partially screened by existing boundary treatments, would unnecessarily harm the character of the street scene by introducing development, which is awkward and incompatible with the original dwelling resulting in an unnecessarily dominant appearance. The proposals would, therefore, be unacceptable and contrary to Supplementary Planning Document – House Extensions and Other Domestic Alterations and Local Plan Policy D1: High Quality Design and Place Making.

Residential Amenity

The SPD sets out guidance in relation to the extensions to ensure that they are designed to limit the impact on neighbouring dwellings.

In terms of overlooking the SPD states that 'A distance of 12 metres should be maintained to a blank gable wall and a distance of 10m should normally be provided between rear-facing windows on the first floor (and above) and the rear boundary.' In this instance, the proposed extension would be of a single storey and would maintain a distance of approximately 9.7 metres from the western (rear) boundary. Though this distance is less than that stated within the guidance of the SPD, the rear boundary is well screened by existing treatments and would not increase level of overlooking and therefore, would be acceptable.

Additionally, the proposals show a relatively modest extension that would utilise a restrained roof height that would not exceed the roof of the original dwelling. Therefore, the proposals are not considered overbearing or likely to increase overshadowing resulting in a loss of light that would be detrimental to the amenity of neighbouring properties.

The proposals are therefore considered to be compliant with Local plan Policy GD1: General Development and would be acceptable regarding residential amenity. Nevertheless, this does not warrant the approval of a scheme which is considered unacceptable in terms of its impact on the character of the street scene.

Highway Safety

The proposed extension would not result in the loss of off-street parking, nor a requirement for additional provision. As such, the proposals would be considered acceptable and in compliance with Local plan Policy T4: New Development and Transport Safety.

Conclusion

In conclusion, the specific concern regarding these proposals relates to the quality of design and the potentially harmful impact the development would have upon the character of the street scene due to its location within a prominent corner plot.

Whilst it is acknowledged there is evidence of similar proposals in similar locations within the locality of the site, these are also generally of a poor-quality design, and are unnecessarily dominant and intrusive within the street scene. They are generally unsympathetic additions that do not appropriately reflect the character of the dwelling, street scene, or broader locality.

Nevertheless, each proposal is considered on its own merits and in this instance, whilst it is appreciated attempts were made to amend the proposals, they continue to reflect a poor-quality design that would be unacceptable and to the detriment of visual amenity. The proposals would introduce development to the street scene that would include a roof type that is inappropriate, creating an awkward junction between the original dwelling and proposed extension, resulting in an unnecessarily dominant appearance due its positioning within a prominent corner plot.

Unfortunately, the proposals, therefore, fail to meet the guidance of Supplementary Planning Document – House Extensions and Other Domestic Alterations and Local Plan Policies D1 – High Quality Design and Place Making and GD1: General Development

Recommendation

Refuse