

DESIGN/HERITAGE STATEMENT A;

AUGUST 2023



Proposed Infill Dwelling
Willow House, High Lane, Ingbirchworth, S36 7GG

WOOD ASSOCIATES
architecture+interiors

- **Use.** This application seeks to make efficient use of a private area of land to provide an appropriate sustainable home for a family.

- **Amount.** The area of land is approximately 510 square metres in size, with the proposed home being 126 square metres plan area.

- **Layout.** The immediate area is dominated by farm buildings, both stone historical and more modern industrialised agricultural barn construction.

- **Scale.** The form and character of the immediate surrounding is contained within the conservation area of Ingbirchworth. The scale of development is set largely from the limitations of traditional stone walling under stone slate roofs supported by simple trusses and purlins. This provides from smaller ancillary buildings, pigsties, mistles, butteries, etc through to 2 storey farmhouses to barns for animal protection and storage.

- **Appearance.** The immediate area is dominated by traditional farm building architecture.

- **Access.** The main approach to the site uses High Lane and New Row Lane within this area of Ingbirchworth .

- **Use.** See Page 8.

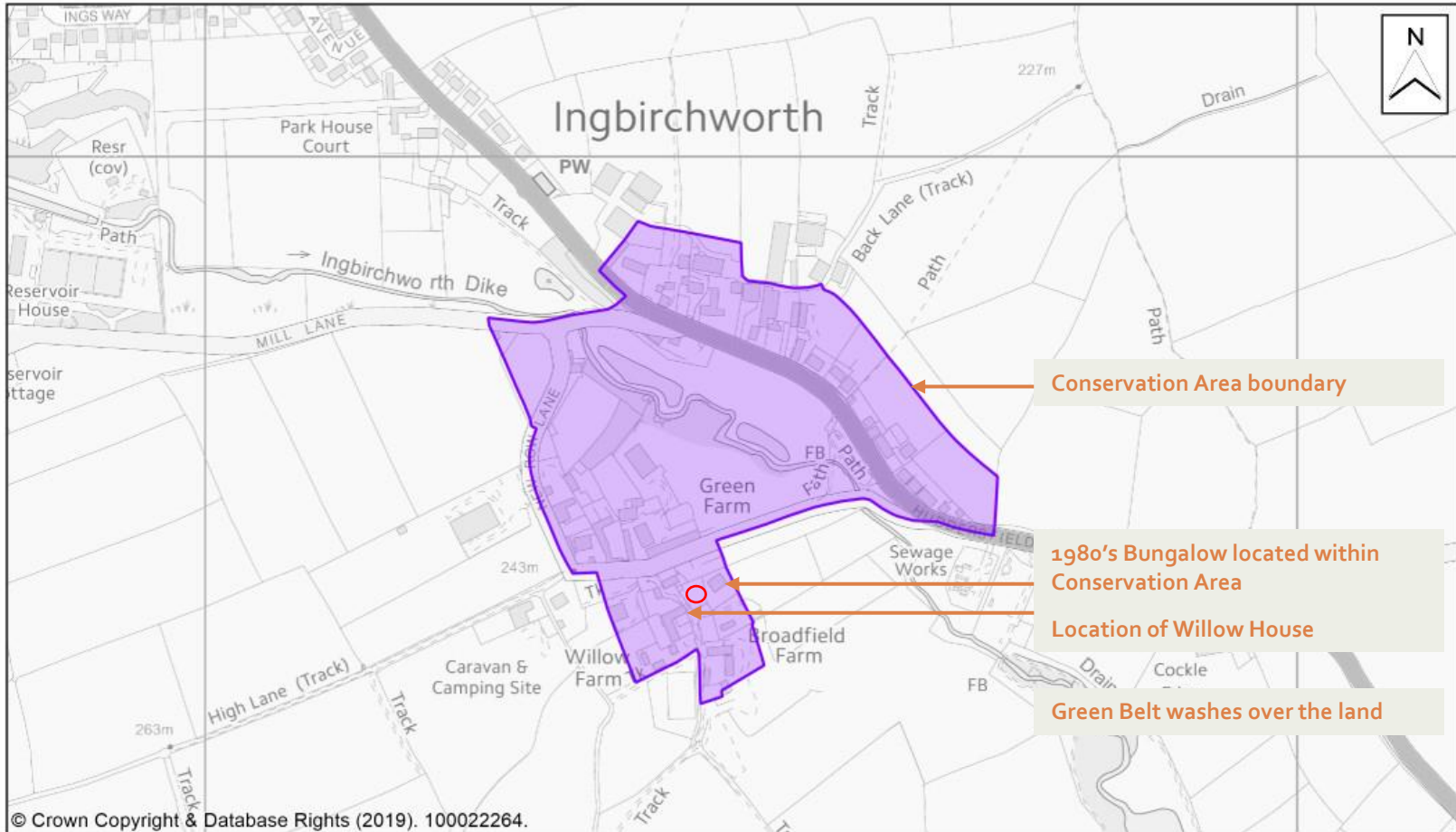
- **Amount.** See Page 9.

- **Layout.** See Pages 11.

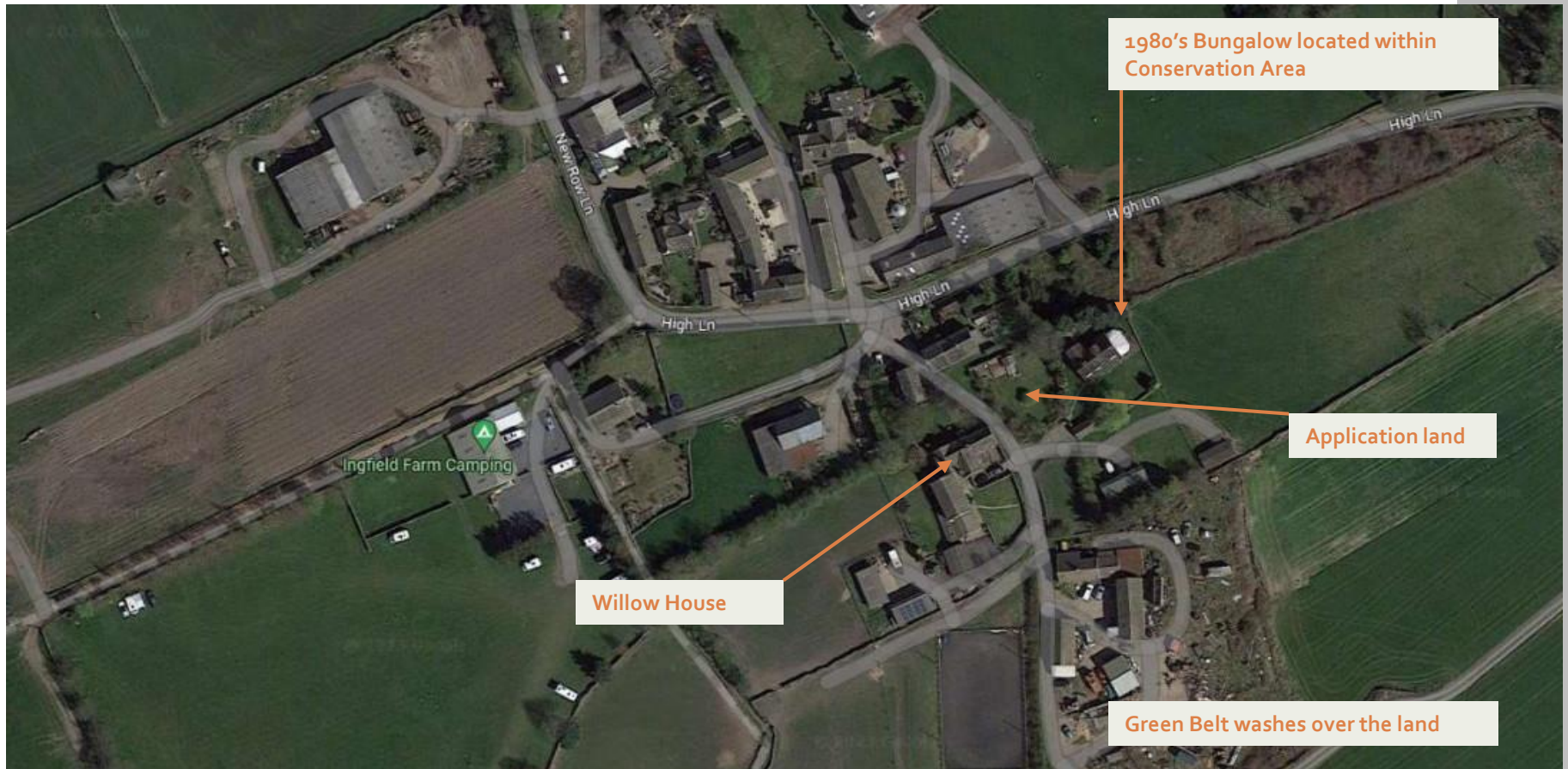
- **Use.** See Pages 9 & 12.

- **Use.** See Pages 11 & 12.

- **Use.** See Pages 7 & 13.



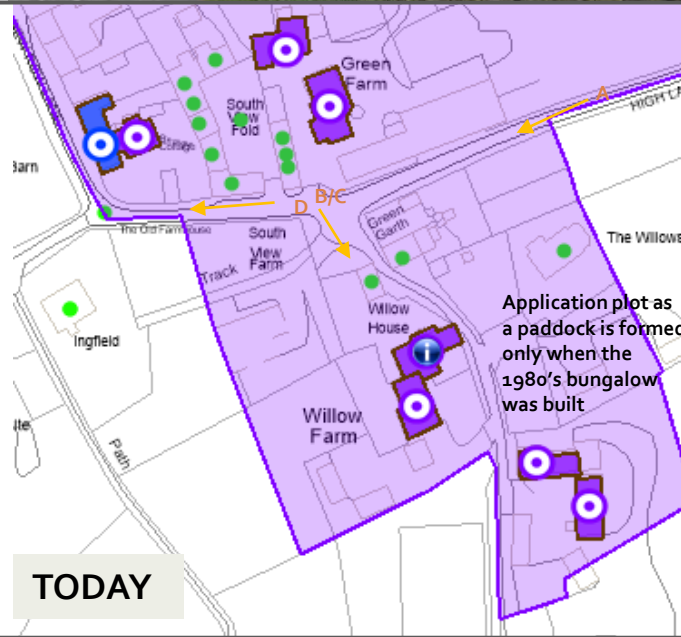
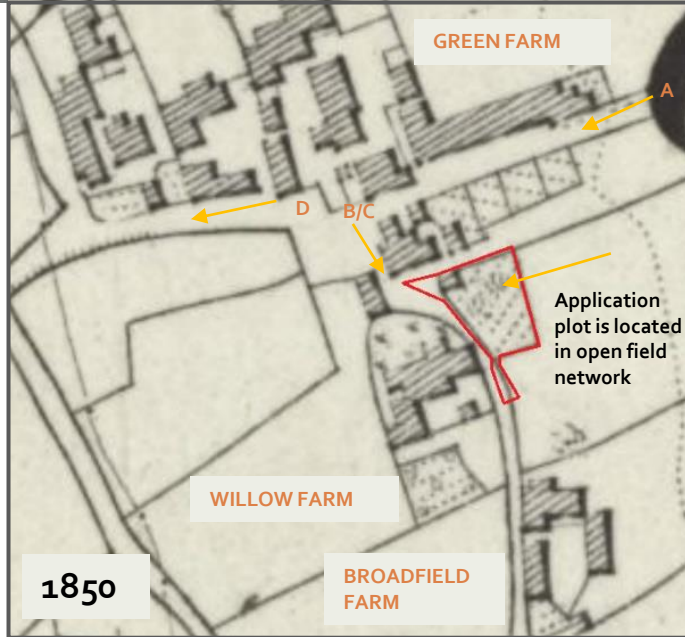
Drawn by: Wiles, Anthony Date: 18 September 2019 Drawing No: Scale: 1:5000	Title: Ingbirchworth Conservation Area	
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View looking north from High Lane



Access off High Lane to Willow House



D



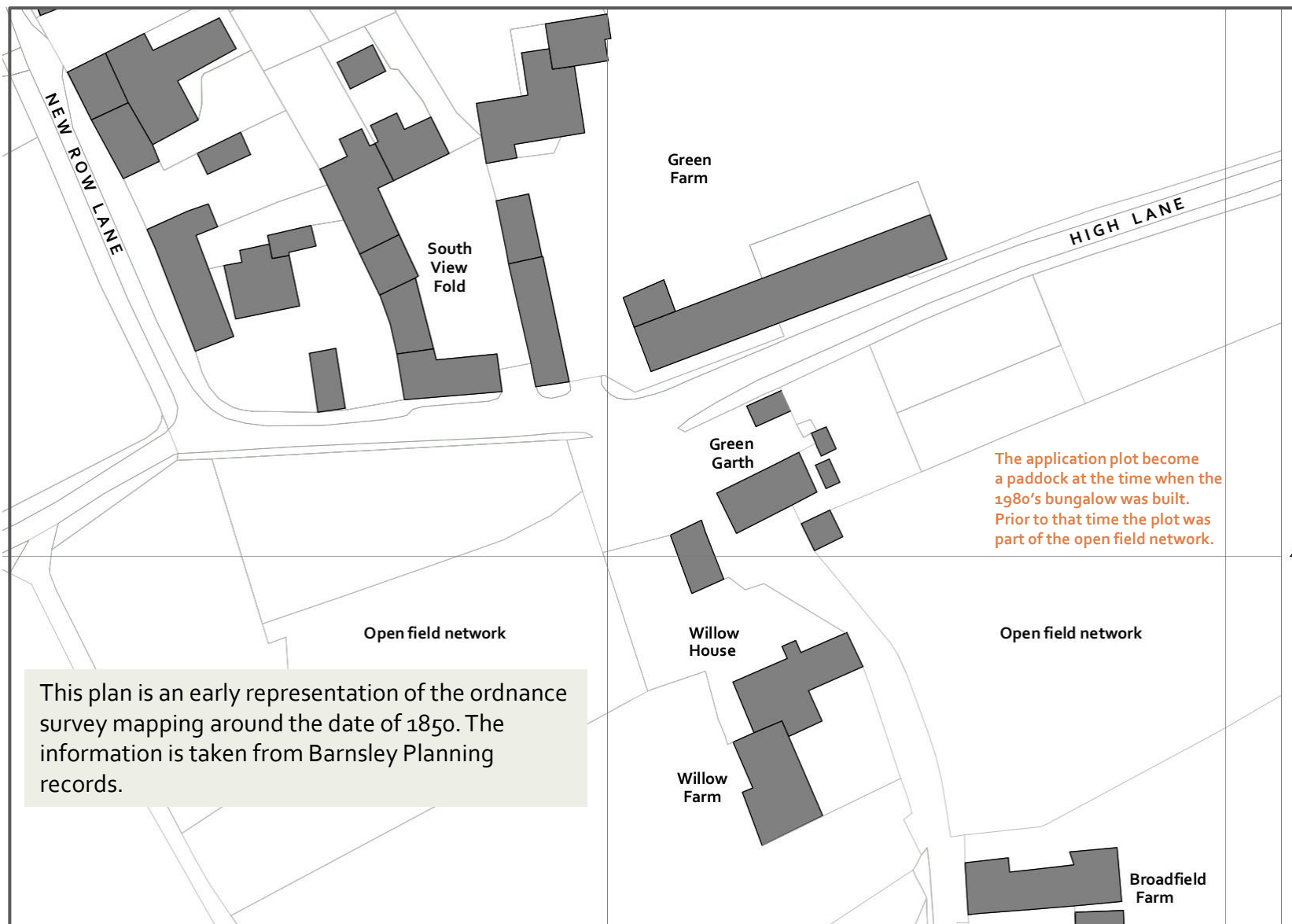
High Lane looking north into South View Fold

C



Access off High Lane into site approach

Application Site; Historical Evolution



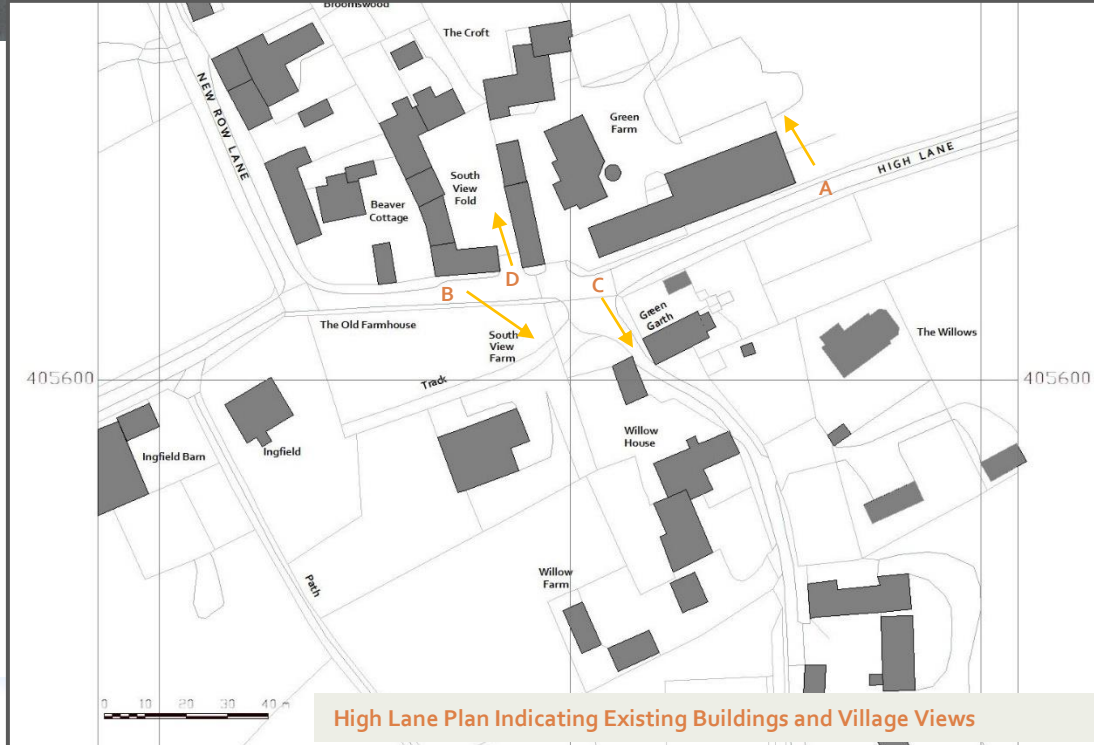
This plan is an early representation of the ordnance survey mapping around the date of 1850. The information is taken from Barnsley Planning records.

The application plot became a paddock at the time when the 1980's bungalow was built. Prior to that time the plot was part of the open field network.

View looking north from High Lane



Access off High Lane to Willow House



D



High Lane looking north into South View Fold

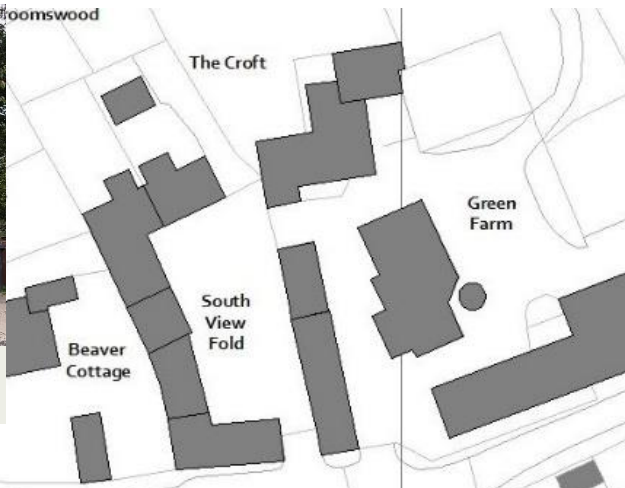
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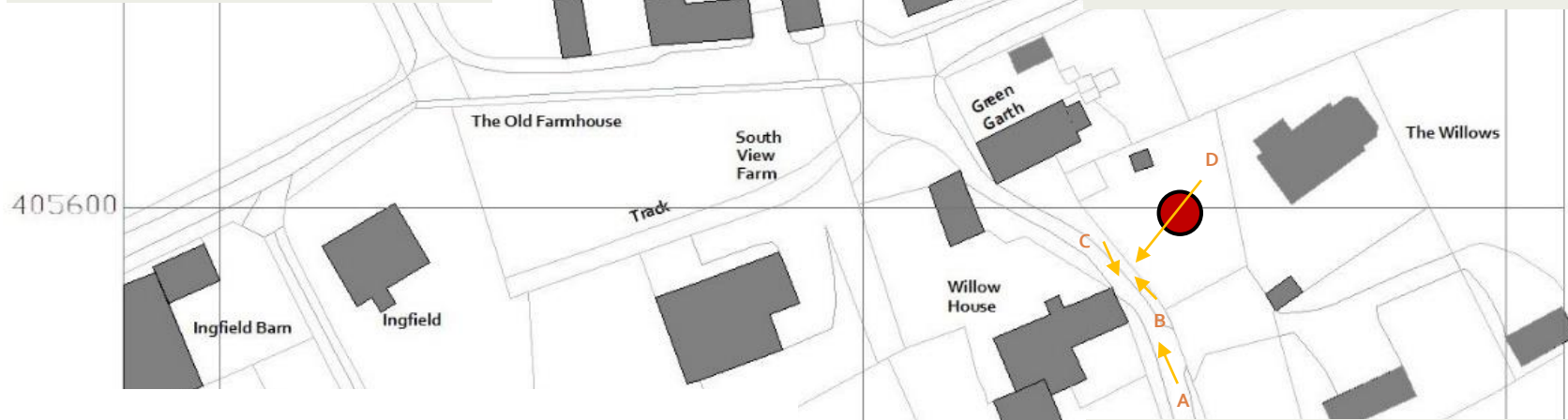
Access off High Lane into site approach



Access drive looking north-west. This view will be retained post development.



Existing view south-east to Willow House over site



Access drive looking north-west. This view will be retained post development.



B

Access drive looking south-east. This view will be retained post development.



C

WILLOW FARMHOUSE

Listed on the National Heritage List for England.
 Search over 400,000 listed places (<https://historicengland.org.uk/listing/the-list/>)

Official list entry

Heritage Category: **Listed Building**

Grade: **II**

List Entry Number: **1151110**

Date first listed: **18-Mar-1968**

Statutory Address 1: **WILLOW FARMHOUSE**

This List entry helps identify the building designated at this address for its special architectural or historic interest.

Unless the List entry states otherwise, it includes both the structure itself and any object or structure fixed to it (whether inside or outside) as well as any object or structure within the curtilage of the building.

For these purposes, to be included within the curtilage of the building, the object or structure must have formed part of the land since before 1st July 1948.

[Understanding list entries](https://historicengland.org.uk/listing/the-list/understanding-list-entries/) (<https://historicengland.org.uk/listing/the-list/understanding-list-entries/>)

[Corrections and minor amendments](https://historicengland.org.uk/listing/the-list/minor-amendments/) (<https://historicengland.org.uk/listing/the-list/minor-amendments/>)

Location

Statutory Address: **WILLOW FARMHOUSE**

The building or site itself may lie within the boundary of more than one authority.

District: **Barnsley (Metropolitan Authority)**

Parish: **Gunthwaite and Ingbirchworth**
 National Grid Reference: **SE 22431 05579**

Details

SE20NW GUNTHWAITE AND INGBIRCHWORTH INGBIRCHWORTH VILLAGE 2/41 Willow Farmhouse 18.3.68 GV II Farmhouse. C17, the left bay rebuilt late C18 or early C19, late C20 restoration. Dry, coursed rubble, stone slate roof. Three-room plan with central gabled wing at rear. Two storeys. Three 1st-floor windows. Quoins. Leaned porch between left and central bays, with good moulded doorway which has ornamental arched lintel and quoined surround. The left bay has a renewed 2-light window, in keeping, to each floor. The central bay has a 5-light mullion and transom double-chamfered window with hoodmould to ground floor and a 3-light window to 1st floor. The right bay is gabled and has a 4-light window to ground floor and a 3-light window to 1st floor, both double-chamfered and with hoodmoulds. Hollow-chamfered gable coping on cut kneelers. Two good ashlar stacks, one to left of doorway, and one to rear wing. Rear: the central projecting wing has a 4-light double-chamfered mullion window with hoodmould to each floor. The left gabled bay is partly obscured by attached barn (q.v.). To the right is a C20 lean-to extension. Left and right returns have late C20 windows in keeping. Interior: arched inner doorway with original, studded, 3-panel door. Stone benches within porch. Fireplace with deep lintel. Chamfered beams.

Listing NGR: SE2243105579

Legacy

The contents of this record have been generated from a legacy data system.
 Legacy System number: **333821**

Legacy System: **LBS**

Legal

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

The application site lies adjacent to a listed Building; Willow House. Willow House is surrounded by existing buildings of varying types.



Map

This map is for quick reference purposes only and may not be to scale.
 This copy shows the entry on 09-Sep-2022 at 18:21:28.

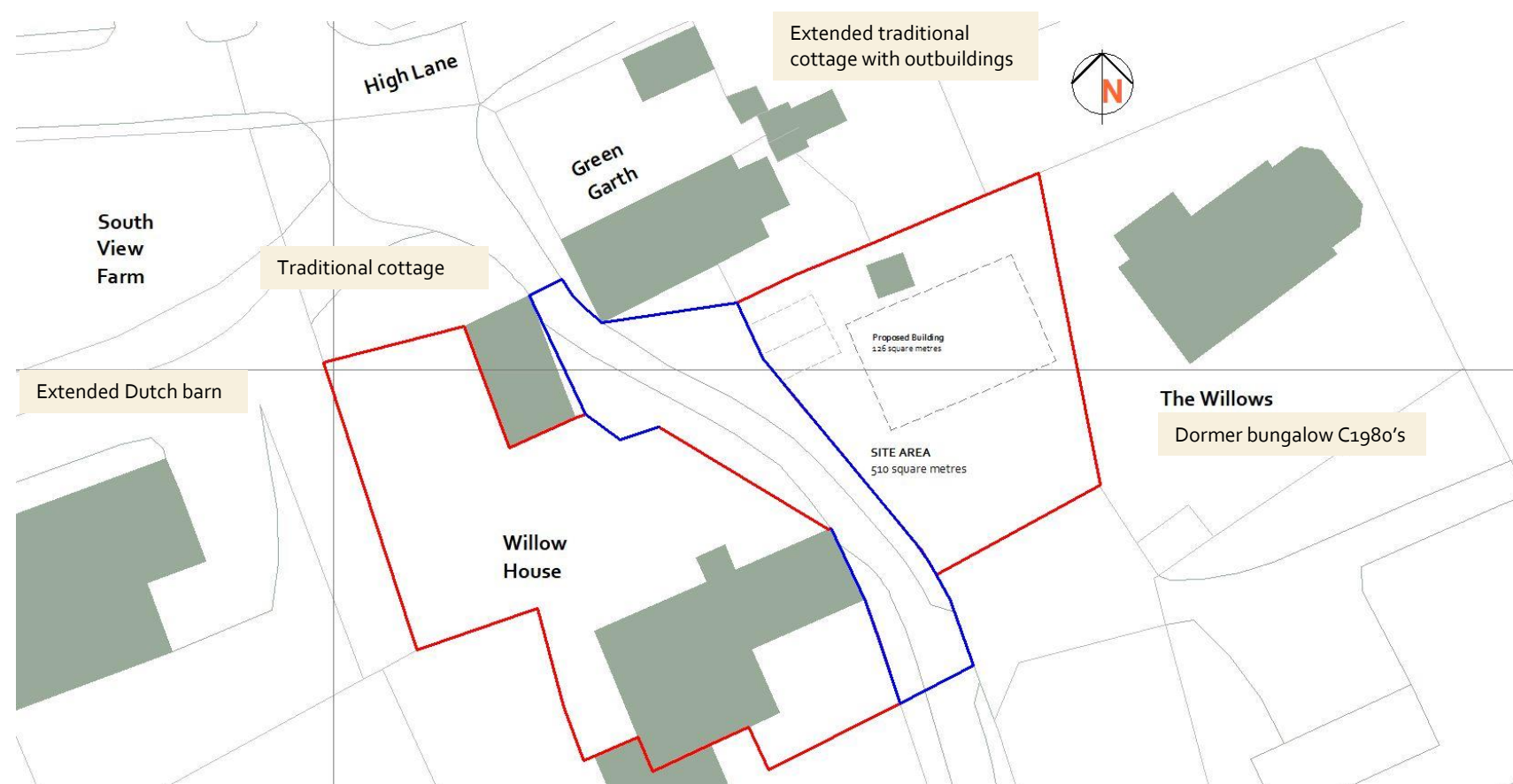
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End of official list entry

← Previous - [Overview](#)



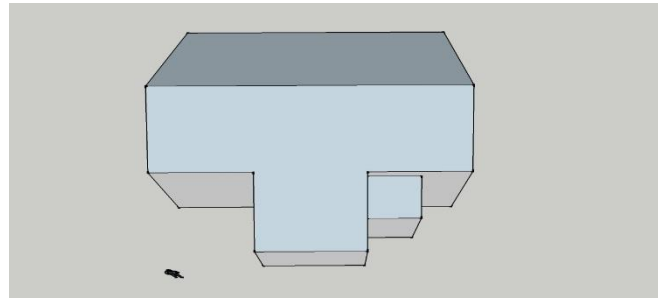


SITE PHOTOGRAPHS



Existing Site & Character

SKETCH MODEL ROOF VIEW



The National Planning Policy Framework (NPPF Document) provides for the following development options within the Green Belt

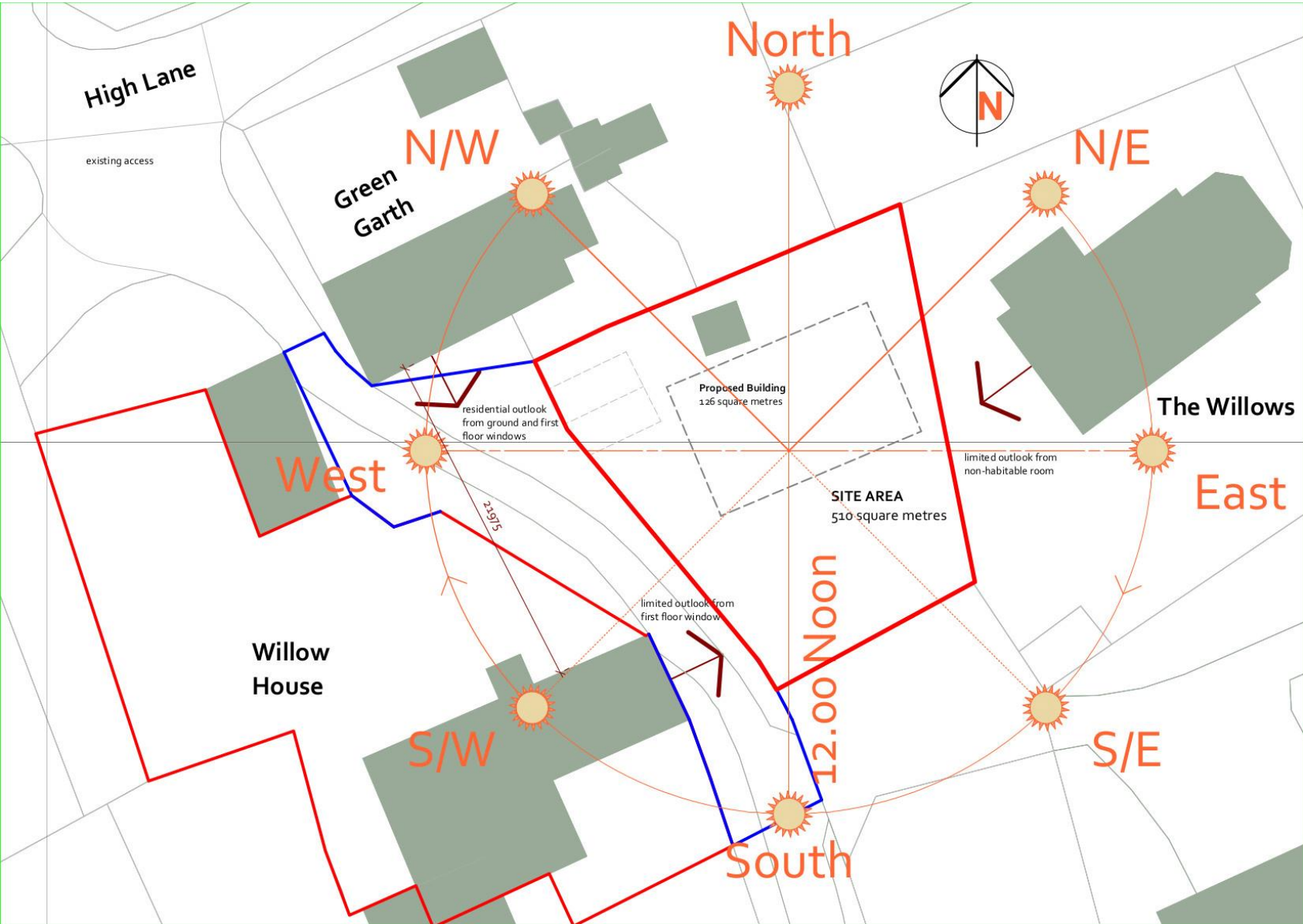
. 149. A local planning authority should regard the construction of new buildings as inappropriate in the Green Belt. Exceptions to this are: a) buildings for agriculture and forestry; b) the provision of appropriate facilities (in connection with the existing use of land or a change of use) for outdoor sport, outdoor recreation, cemeteries and burial grounds and allotments; as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including land within it; c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building; d) the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces; e) limited infilling in villages; f) limited affordable housing for local community needs under policies set out in the development plan (including policies for rural exception sites); and 44 g) limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continuing use (excluding temporary buildings), which would: – not have a greater impact on the openness of the Green Belt than the existing development; or – not cause substantial harm to the openness of the Green Belt, where the development would re-use previously developed land and contribute to meeting an identified affordable housing need within the area of the local planning authority

The application site clearly falls under the above clause, NPPF clause 149, e) limited infilling in villages. Ingbirchworth is an established village/settlement, with the proposed site to receive a new family sized dwelling totally surrounded by existing buildings within the Green Belt. The form of the proposed dwelling is suggested on this page and is representative of many traditional domestic/agricultural buildings both in size and character, found in the area.

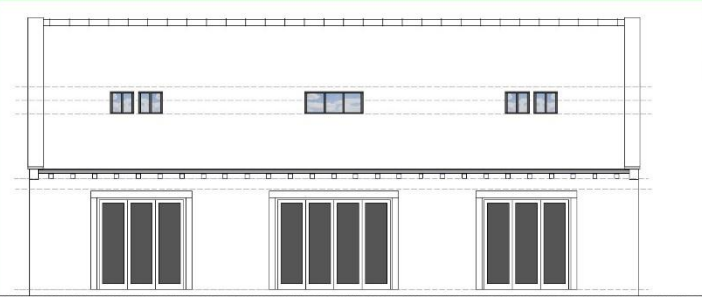


SKETCH MODEL VIEWS

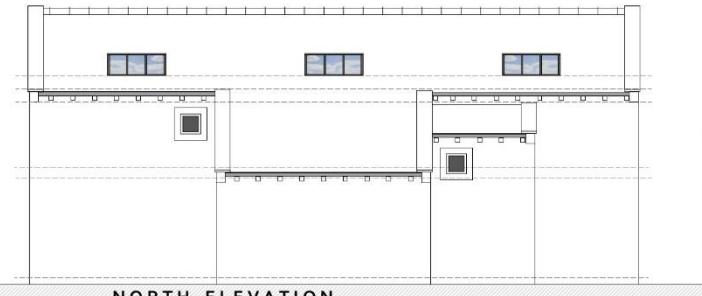
Use, Amount, Precedent



PROPOSED LOCATION OF DWELLING TO AVOID DIRECT OVERLOOKING OF ADJACENT DWELLINGS AND TO MAINTAIN EXISTING VIEWS ALONG THE LANE



SOUTH ELEVATION



NORTH ELEVATION

0m 2

planning+drawing
All dimensions are approximate and to be verified by site measurement.

001 - Plan prepared

WOOD ASSOCIATES
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The Woodhouse/Thorncliffe, Thorncliffe, Leeds, LS20 9JH

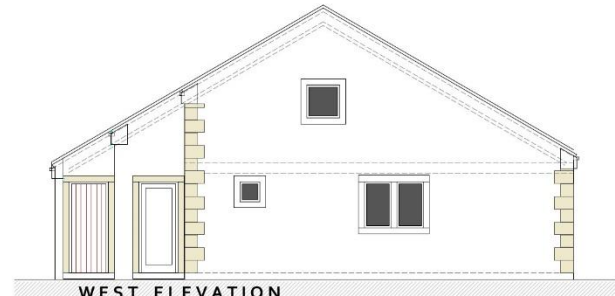
P R O J E C T
Willow House, High Lane, Ingbirchworth

T I T L E
PROPOSED

S C A L E D A T E
1:50 @ A3 Dec 2022



EAST ELEVATION



WEST ELEVATION

0m 2 4 6 8

planning+drawing
All dimensions are approximate and to be verified by site measurement.

001 - Plan prepared

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P R O J E C T
Willow House, High Lane, Ingbirchworth, S36 7GG

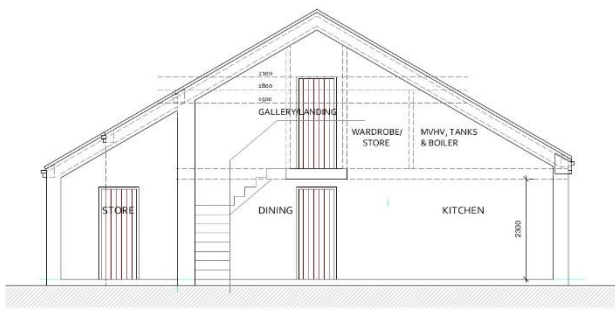
T I T L E
PROPOSED ELEVATIONS

S C A L E D A T E D R A W I N G N O
1:50 @ A3 Dec 2022 2202RD-04-R01

CONCLUSION

All dimensions are approximate and to be verified by site measurement.

A simple building form using agricultural/traditional proportions with natural materials is proposed to integrate fully into this Conservation Area setting.
Natural stone walling with quoins and ashlar surrounds to doors & windows and water-tabling to verges is planned.



PROPOSED SECTION

001 - Plan prepared

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P R O J E C T
Willow House, High Lane, Ingbirchworth, S36 7GG

T I T L E
PROPOSED SECTION

S C A L E D A T E D R A W I N G N O
1:50 @ A3 Dec 2022 2202RD-04-R01

ACCESS

High Lane provides the key access to the application site, this forms a loop with New Row Lane giving through route, off Penistone Road or from the west. The roads are narrow lanes promoting slow driving speeds, with passing places allowing safe passage of vehicles. It is proposed the addition of a single dwelling will not materially affect the number of vehicle trips using the immediate highway network. Please refer to Consulting Highway Engineer's assessment of the access arrangement. The topography of the site will allow shallow gradient/level access to serve the dwelling.

CONCLUSION

- The proposal is considered appropriate in the recently designated Conservation Area as the scale, massing and materials are traditional.
- We understand it is important to be aware of the historical development and evolution of the application site. In consideration of the historic mapping evidence, it is asserted that prior to the construction of the adjacent bungalow, the field network extended up to the lane abutting Willow House and the plot, accordingly, is not a long-standing paddock, but site of a former modest buttery (see historical maps)
- The village has evolved in the last 40 years or so with the addition of non-vernacular interventions and these can be seen to detract from the historic village core.
- This proposal provides the opportunity to lessen the impact of the 1980's bungalow, screening it from the central historic core of the old village. The photograph views taken and forwarded by the conservation officer along the lane, will largely be retained focussing on Green Garth and Willow House respectively.
- There is considered to be less than substantial harm resulting to the Listed Building or setting as the context is generally developed and the application site, part of which has been occupied by a close-knit building pattern, leaving a residual infill plot, appropriate for development under the NPPF.
- Willow House is dominated by the close proximity of the two large trees bordering the access lane and is surrounded closely to three sides by other buildings. The immediate character is set by a close-knit collection of buildings, the insertion of one more modest building within this cluster can only reinforce the current arrangement/existing development grain.
- The character of the site is already domestic, being a formal garden space (it has a small domestic building on it already). The site is split from the listed building by a road and has little visual connection with it, the character of the area is very much set by the buildings and not the spaces between them. The shape of the site is unaltered and can still be read, the existing boundary treatments will be retained.
- We consider on balance that the development will lead to less than substantial harm to the character of the conservation area and setting of the listed building. The NPPF states: - *Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal.* In this case it is argued that the design and location of the building will improve the appearance of the conservation area by screening the 'out of character' bungalow to the rear, and it will bring forward a dwelling on a windfall site that will contribute towards achieving the housing supply goals as set out in the Local Plan. These public benefits outweigh the less than substantial harm caused.



Willow House, Listed building, remains unaltered