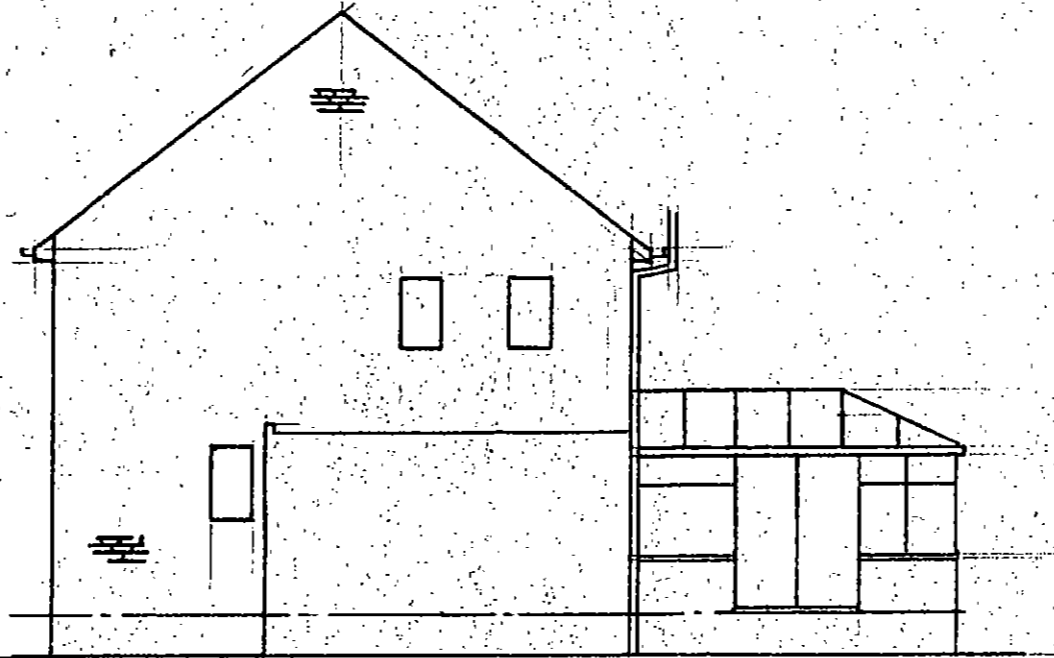
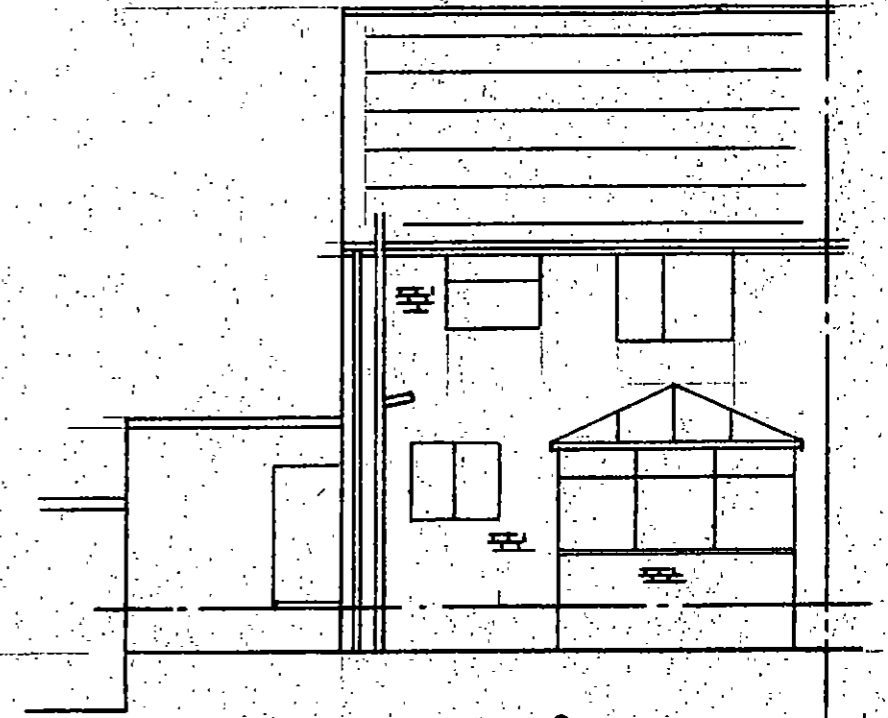




EXISTING FRONT ELEVATION

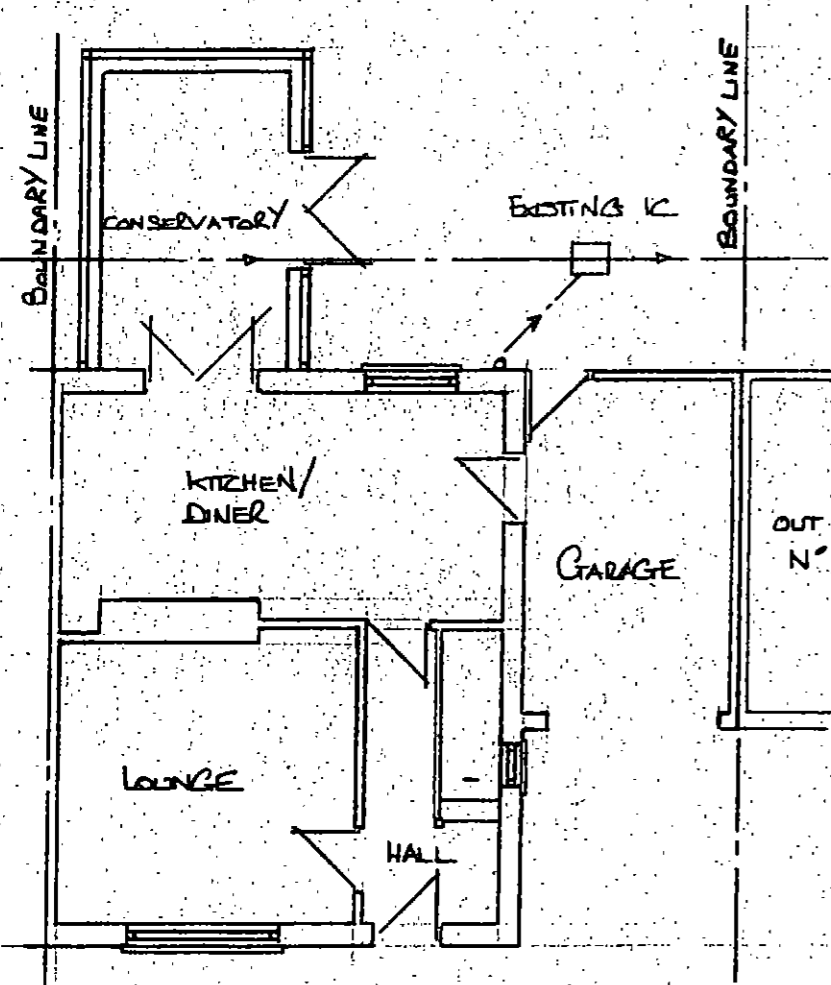


EXISTING GABLE ELEVATION
FROM N° 69



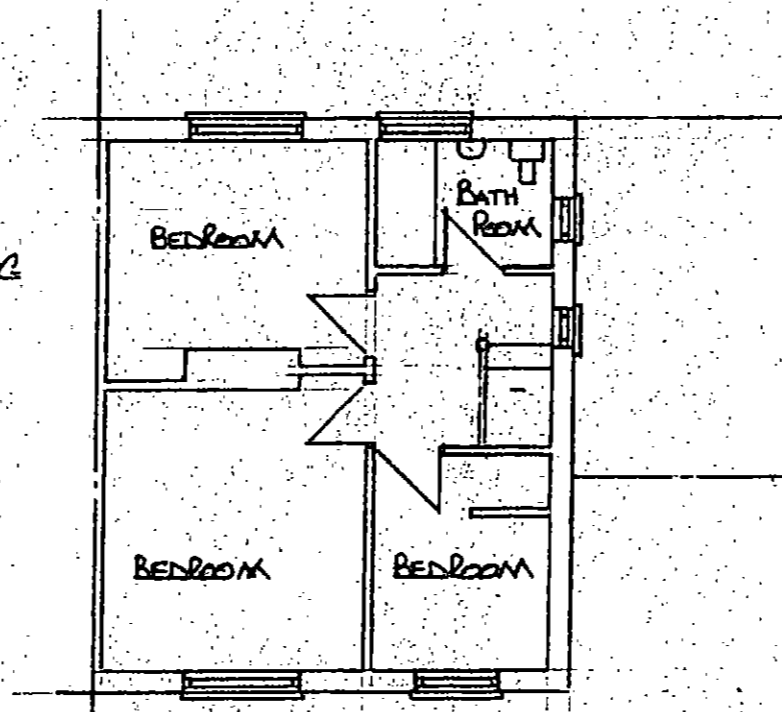
EXISTING REAR ELEVATION

NOTE
EXISTING DECKING AT REAR
NOT SHOWN

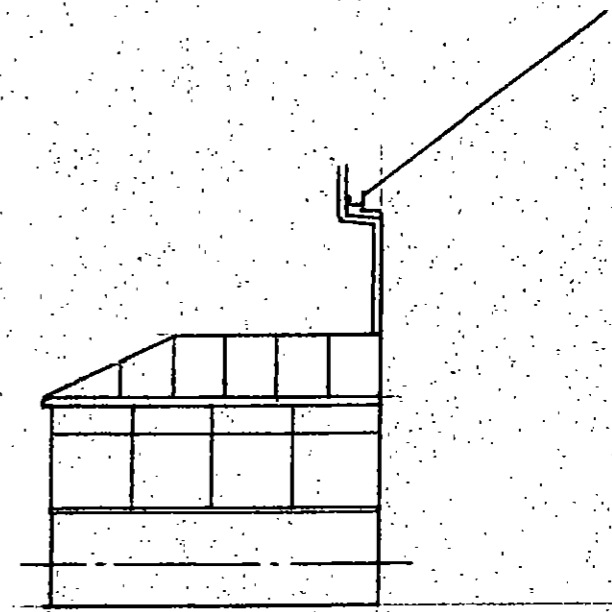


EXISTING GROUND FLOOR PLAN

NOTE
PRIOR TO CONSTRUCTION OF NEW
EXTENSIONS, EXTREME CARE TO
BE TAKEN ON TAKING DOWN EXISTING
OUT BUILDING/GARAGE ADJ TO N° 69
OUT BUILDING

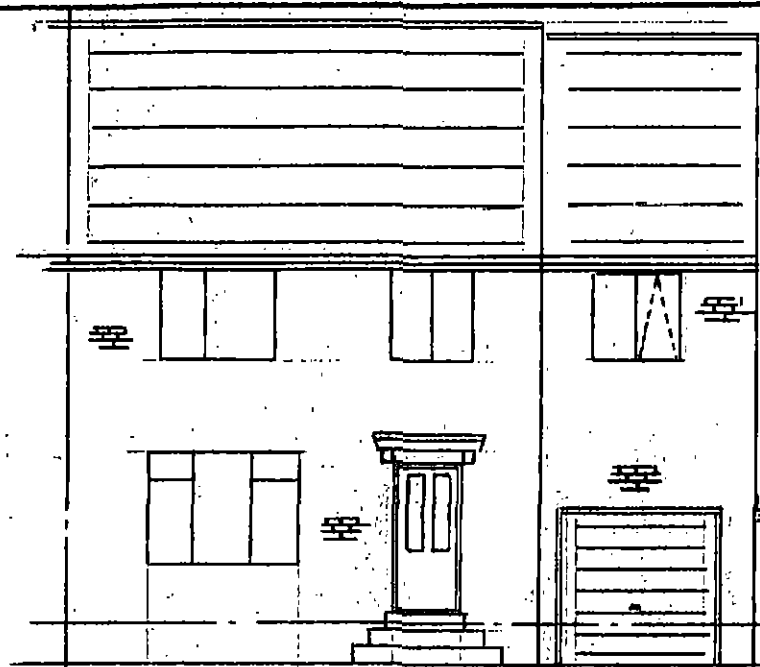


EXISTING FIRST FLOOR PLAN



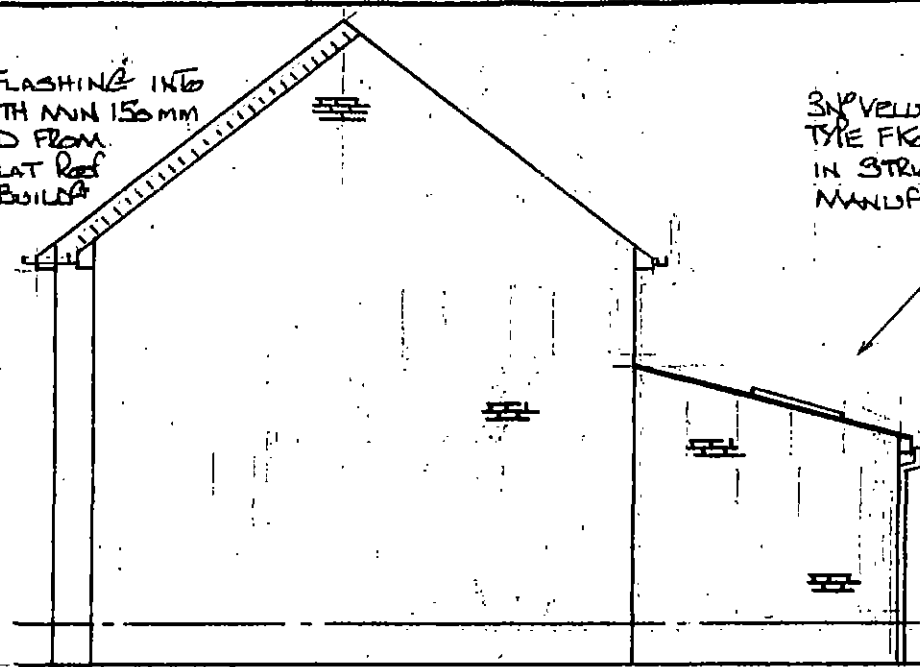
EXISTING REAR SIDE ELEVATION
FROM N° 65

PROPOSED TWO STOREY GABLE
AND SINGLE STOREY REAR EXTENSIONS
AT 67, NORTH STREET, DARFIELD
BARNSELY



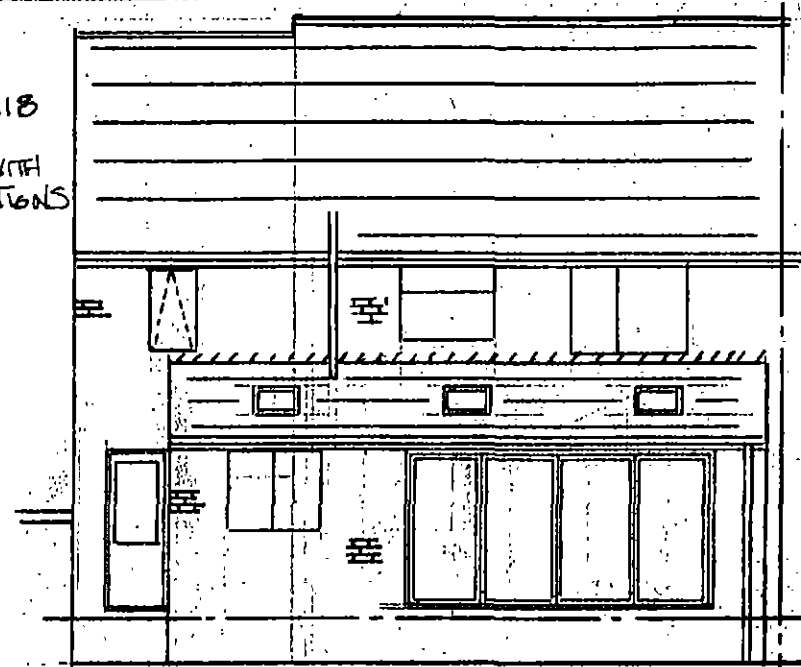
PROPOSED FRONT ELEVATION

DRESS FLASHING INTO
BWK WITH MIN 150MM
UPSTAND FROM
N° FLAT ROOF
OF OUT BUILDING

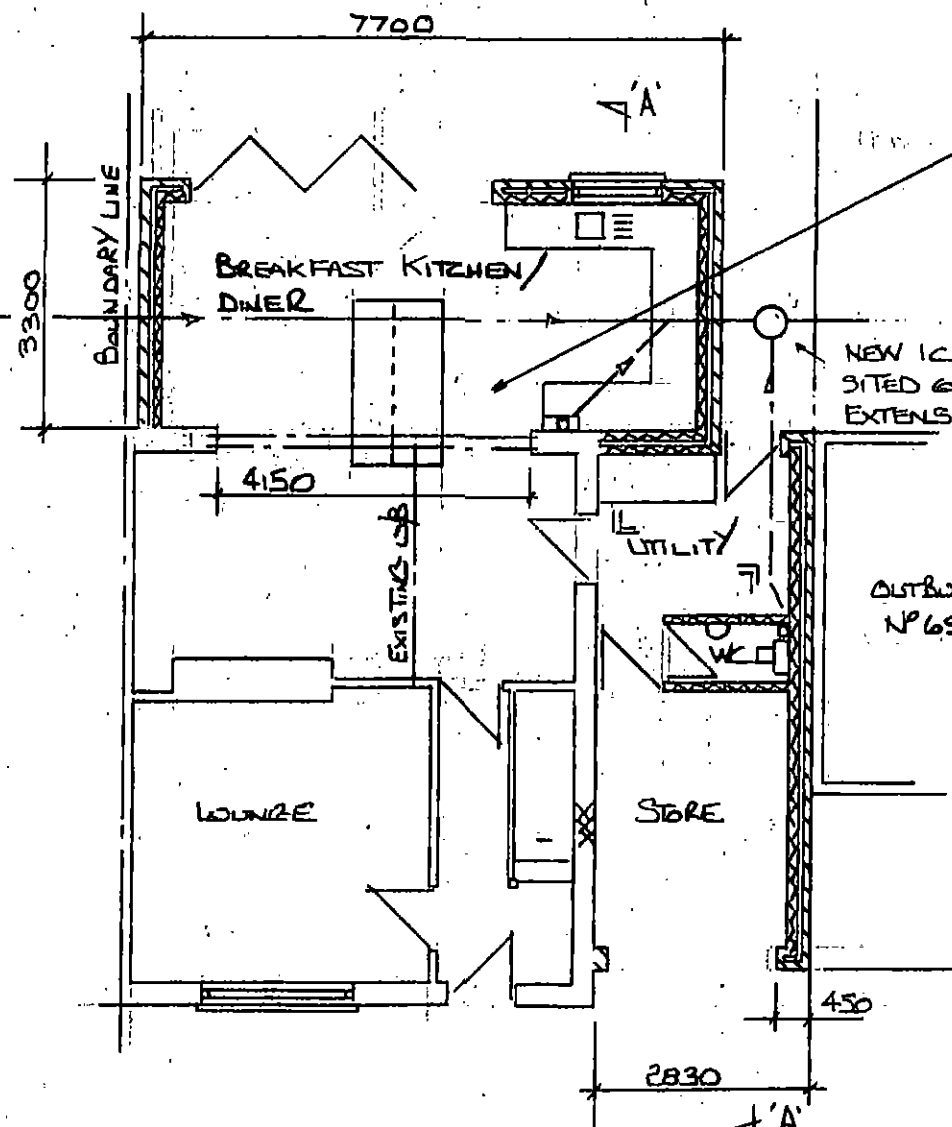


PROPOSED GABLE ELEVATION

3/4 VELUX WINDOWS 66x118
TYPE FK66 TO BE FITTED
IN STRICT ACCORDANCE WITH
MANUFACTURERS INSTRUCTIONS



PROPOSED REAR ELEVATION

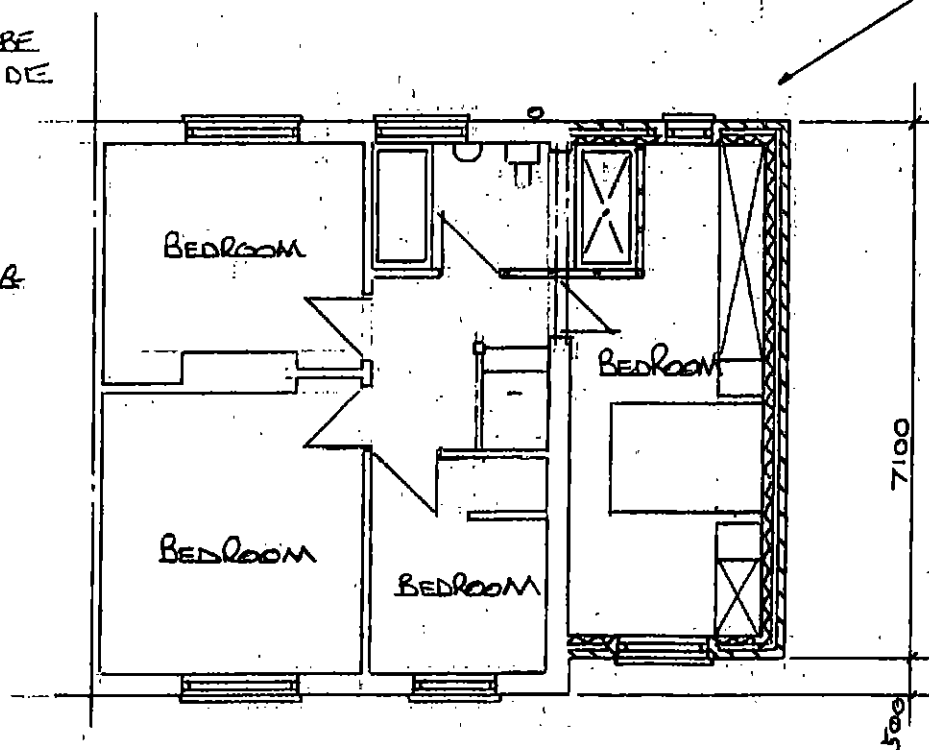


PROPOSED GROUND FLOOR PLAN

TAKE OUT EXISTING WINDOWS,
DOORS, LINTELS AND BWK TO
FORM OPENING INTO EXTENSION.
SUPPORT OVER WITH 2N° DLBS
(SEE ENCS CALCS AND DETAILS)

NEW IC TO BE
SITED OUTSIDE
EXTENSION

OUTBUILDING
N°69

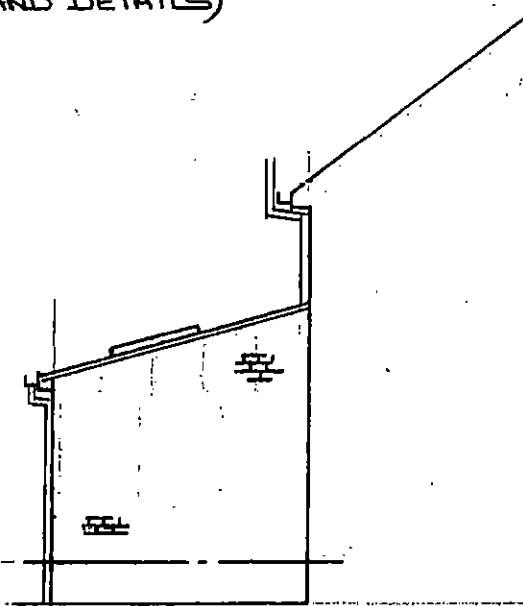


PROPOSED FIRST FLOOR PLAN

TAKE OUT EXISTING WINDOWS, LINTELS
AND BWK TO FORM NEW OPENING IN
EXTENSION (SEE ENCS CALCS AND DETAILS)

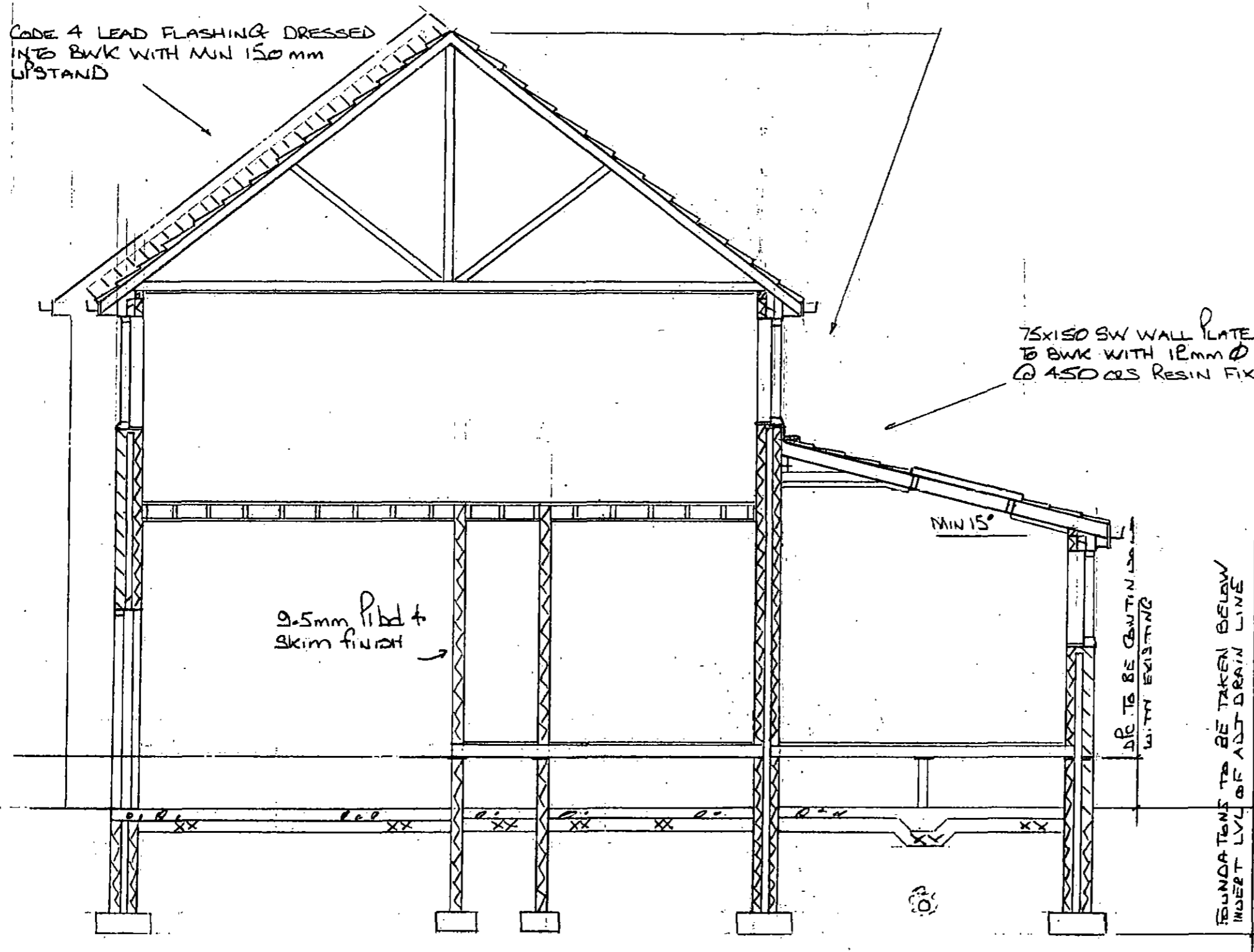
NOTE

NEW RAISED TIMBER DECKING TO
BE CONSTRUCTED TO CLIENT
SPECIFICATION



PROPOSED REAR SIDE ELEVATION
FROM N°65

CODE 4 LEAD FLASHING DRESSED INTO B/WK WITH MIN 150mm UPSTAND



75x150 SW WALL PLATE BOLTED TO B/WK WITH 12mm Ø RAWL BOLTS @ 450 ORS RESIN FIXED

MIN 15°

9.5mm Plb + skim finish

D.C. TO BE CONTINUED WITH EXISTING

FOUNDATIONS TO BE TAKEN BELOW INSERT LVL OF ADJ. DRAIN LINE

SECTION 'AA' (1.50)



LOCATION PLAN (1:1250)

All dimensions and levels to be checked and verified on site, any discrepancies to be reported before work commences.

Regs- The project to which this drawing applies should if applicable be undertaken in full compliance with the CDM regulations (2015) and under the control of a client appointed supervisor. Party wall act- Client to comply with Party Wall Act 1996 and ensure written notification is issued to neighbours prior to commencement of work when carrying out work to a party wall or structure including: Excavations within 3m of an existing structure where the foundations will go deeper than the adjacent foundations, or within 6m of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.

Support of a beam.

Insertion of a DPC through a wall.

Raising a wall or cutting off projections.

Demolition and rebuilding.

Underpinning.

Insertion of lead flashing.

Legal boundaries to be confirmed by the owner before work commences. The boundaries shown are believed to be accurate, but it is the responsibility of the parties sharing the boundaries to agree the position before the work commences, as neither the agent nor the builder can be held responsible for establishing the boundaries. No part of the construction or work should cross the boundary without the written authority from the adjoining owner.

An explanatory booklet can be obtained free of charge from www.gov.uk/party-wall-etc-act-1996-guidance.

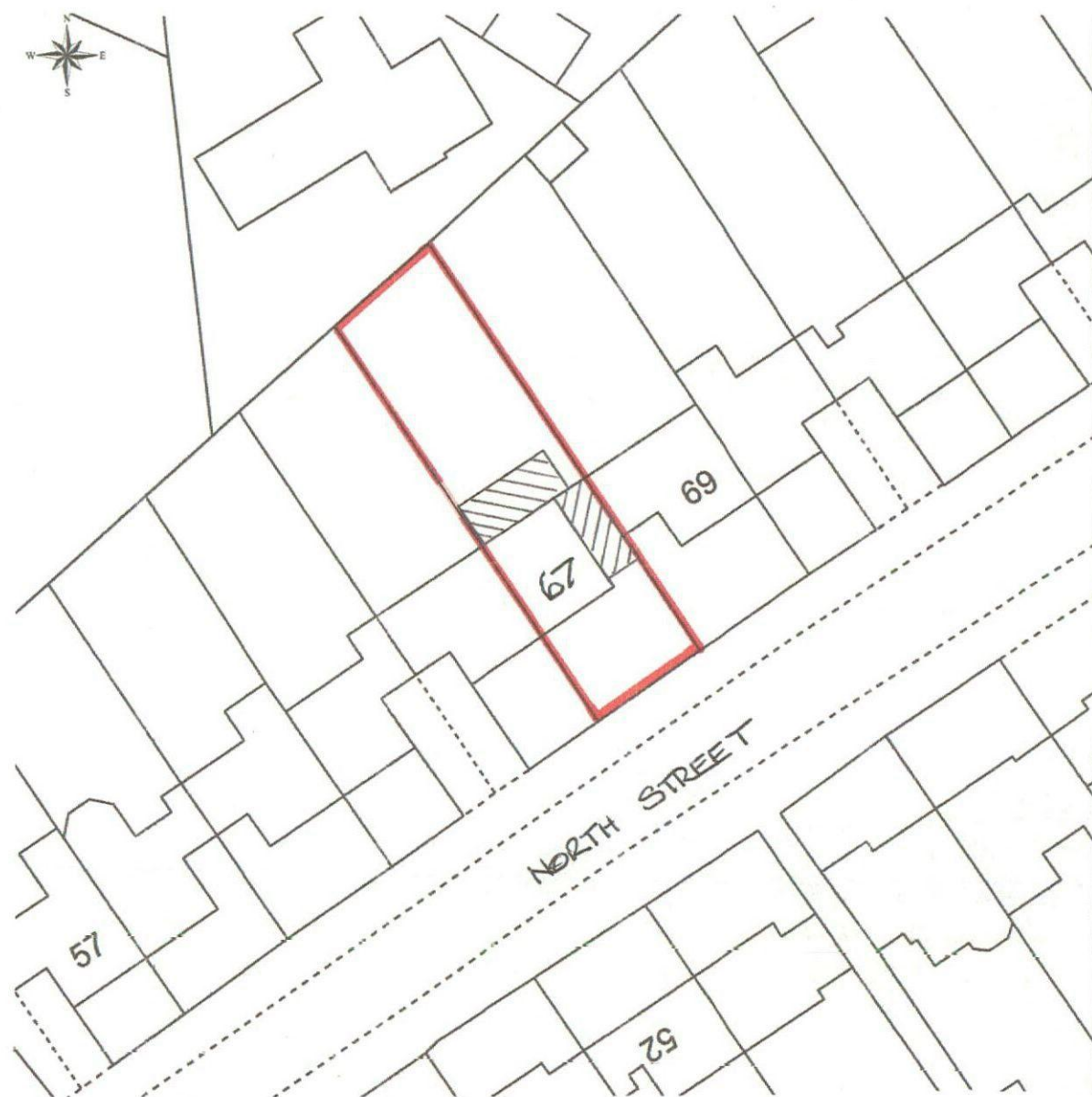
Foundations- 225mm x 600mm concrete foundation, concrete mix to conform to BS EN 206-1 and BS 8500-2. Min concrete grade GEN1 (unreinforced), RC30 (reinforced). All foundations to be a min of 1000mm below ground lvl, exact depth to be agreed on site with Building Control Officer to suit site conditions. All constructed in accordance with 2004 Building Regulations A1/2 and BS8004:1986 code of practice for foundations. Ensure foundations are constructed below invert lvl of any adjacent drains. Depth to be no less than foundation to existing dwelling. Base of foundations supporting internal walls to be min 600mm below ground lvl. Sulphate resistant cement to be used if required. Please note that should any adverse soil conditions be found or any major tree roots in excavations, the Building Control Officer is to be contacted and the advise of a structural engineer should be sought. Note- Foundation on boundary side with no69 to be offset as per structural engineers calculations/design.

Foundations near to trees require special consideration. If building closer to tree than the mature height then please consult with Building Control or a structural engineer for advise on foundation depth.

Wall construction- 102.5mm facing bwk to match and be consistent with existing, 100mm cavity filled with 100mm crown Dritherm batts, 100mm thermalite blockwork inner leaf faced with 12.5mm plasterboard and skim on dot and dabs to achieve U value of 0.28w/m2k, sec eng bwk below dpc lvl with weak mix concrete cavity fill to min 225mm below dpc lvl or use concrete foundation blocks. S/S ties @ 5/sqm and 225mm vertical to unbonded jambs. All reveals, heads and cills to be insulated with thermabate cavity closes. All bwk and blockwork to be suitably bonded to existing(toothed every other brick or use furfix or similar approved profiles). All cavities to be continuous and min external returns to be 665mm.

Dpc- to be 2000g to walls min 150mm above g/f lvl, vertical dpc's and weather checks to all to all external openings.

A/B's- to be 225x75mm with cavity liners and tray dpc over, A/B's to be @ max 1500crs and min 450mm from corners.



SITE PLAN (1:500)

Oversite- to be min 100mm thk concrete over min 150mm consolidated hardcore. Concrete to be thickened to 225mm under sleeper walls.

Ground floor construction-47mm x 120mm C16 grade joists @ 400crs boarded with 22mm floor quality boards, 120mm celotex material laid between joists on polypropylene netting with min 150mm air gap from u/s of joists to oversite. Joists to be supported @ centre span off honeycomb sleeper wall. Floor lvl to be continuous with existing.

First floor construction- 47mm x 170mm C16 grade joists @ 400crs boarded with 22mm floor quality boards, strutting @ centre span, every third joist to be tied down b/wk min 6 courses with 30x5 gms straps and to end walls across min 3 joists, noggins between where straps are used, underdrawn with 12.5mm plasterboard with 6mm skim finish. Insulate between joists with 100mm wool insulation. Floor lvl to be consistent with existing.

Lintels- Catnic or similarly approved and to have min 150mm end bearing (size will depend on length and loading). Exposed metal surfaces to be covered with 2no 9.5mm plasterboard with staggered joints and 6mm skim finish to achieve min 30minutes FR.

Steelwork- All steel beams and sizes of padstones to be in accordance with engineers details and calculations submitted and approved prior to erection. Beams to be built into b/wk and encased in 2 layers of 9.5mm plasterboard with staggered joints with 1.6mm wire binding @ 450mm crs with 6mm skim finish to achieve min ½ hr FR. Beams to have min 2m headroom from floor lvl to u/s of beams. Note- Unless otherwise stated it is the clients/builders responsibility to obtain all required structural calculations (for which a fee will be payable) prior to commencement of works and to ensure that the calculations are submitted to the relevant building control service.

Roof construction- Tiles to match and be consistent with existing in colour and texture etc and be suitable to be laid @ pitch to match existing (to be checked by builder prior to ordering) on 25x50 treated sw battens @ pitch to suit tiles on TYVEK or similar breathable roofing membrane on factory made trusses @ max 600crs (Manufacturers details and calculations to be submitted and approved 28 days prior to erection). Trusses to be erected in accordance with manufacturers instructions. 25X100 diagonal and longitudinal bracing in accordance with BS5268 pt3. Every third truss to be tied down b/wk min 6 courses with 1000x30x5 gms straps and across min 3 trusses, noggins between trusses @ ceiling and verge lines @ max 1500 crs. Each truss to be individually fixed with framing plates to 75x100 sw wall plate. Min 50mm air gap from insulation to u/s of tiles to be maintained. Roof insulation to be 300mm fibreglass quilt, 100mm between trusses and 200mm @ 90degs underdrawn with 12.5 mm plasterboard and skim.

Roof construction-Tiles to match and be consistent with existing in colour and texture etc and be suitable to be laid @ min 15degs (to be checked by builder prior to ordering) on 25x50 treated sw battens @ pitch to suit tiles on TYVEK breathable roofing membrane on 47x150 C24 rafters @ 400crs seated on and fixed/birdmouthed to 75x100 wall plate. Ceiling to have additional skin of 12mm plywood to u/s to act as a GUSSETT. Insulate between rafters with 100mm kingspan TP 10 with 35mm insulating Kooltherm K18 to u/s with skim finish. Rafters to be anchored to walls with 1000x30x5 gms straps taken down b/wk min 6 courses, anchors to span 3 rafters @ max 1500crs, solid noggins where straps are used. (Rafters to be doubled up either side of Velux windows).

New and Replacement Windows- New and replacement windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.6 W/m² K. The door and window openings should be limited to 25% of the extension floor area plus the area of any existing opens covered by extension.

4) New walls are to adequately span pipeline with the insertion of PCC lintols over openings, spanning min 1.5m either side of the pipe to ensure damage or misalignment is not caused to the pipeline.

5) Water authorities require a minimum of 21 days notification of any connections required to pipelines and sewers. It is the clients responsibility to ensure that this condition is adhered to.

6) If any repairs or replacements are necessary, this work will be required to be carried out by the local water authority.

7) No building work is to conceal any existing access points to the sewer. If this is impractical due to site conditions, an alternative access point can be constructed on the line of the sewer at a location acceptable by the water authority.

Surface water- New guttering, fascias and soffits to match and consistent with existing, 65mm dia Rwp's to discharge into existing surface water system or to new hollow soakaway min 5m from foundations and subject to a percolation test to satisfaction of building inspector.

All plans and elevations to scale 1:100 or 1:50 unless stated otherwise.

Any fire escape windows to be 0.33m² (450x750) and be min 800mm and max 1100mm from floor level to underside of clear unobstructed opening.

New and Replacement Doors- New and replacement doors to achieve a U-Value of 1.8W/m²K. Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.

Smoke detectors- are to be located in corridors, circulation areas and escape routes no more than 3m from a bedroom, securely fixed to the ceiling @ least 300mm from the wall. Detectors are to have mains wired interlinked system wired independently to the consumer unit with battery backup.

Ringmain and Lighting- Extend existing circuits to clients instructions. All electrical work to meet requirements of part P (electrical safety) and must be carried out by an electrician/installer who is registered with a competent person scheme or an electrician registered with a recognized trade body such as NICEIC and can issue a design, installation and test certificate under BS7671.

Switches and sockets to be located within 450mm and 1200mm of the finished floor lvl in places suitable for every use. Lights are to be at least 45 lumens/circuit watt efficiency and have 1 energy efficient light/25m² or 1 in 4 fixed light fittings.

Above ground drainage- All above ground drainage to BS5572 1994, wash hand basins fitted with 32mm dia wastes, sinks, baths and showers to be fitted with 40mm dia wastes, all to be fitted with 75mm deep seal anti-syphon traps. Wastes taken into back inlet gullies to discharge below grate lvl but above water line. Wastes taken into soil and vent pipes not to be connected within 200mm of any WC connection. Soil and vent pipes to be 100mm PVC-u and to extend min 900mm above any ventilation window.

Below ground drainage- All new underground drainage to be Hepworth "Supersleve" vitrified clay pipework and fittings with push-fit "Polypropelene" flexible couplings.

Drains to be laid to minimum falls of 1:40 and connected into mains drainage system. Generally drains to be laid on 150mm pea shingle bed and surround. Where drains pass underneath building and have less than 300mm cover, drain to be surrounded with 150mm concrete with 13mm compressible board movement joints @ max 5m crs. Drains underneath building with more than 300mm to be surrounded with 100mm granular fill.

Drains passing through concrete foundations to be sleeved to provide 50mm clearance all round with a flexible joint in pipe both sides. Concrete lintols to be provided where drains pass through external walls to form opening to provide 50mm clearance all round, opening to be masked both sides with rigid sheet material and a flexible joint to be provided in pipe both sides of wall.

Note. Drainage indicated, runs, direction etc to be confirmed on site at the commencement of the project with the building inspector.

Contact Details: Yorkshire Water: 0845 1208482

Severn Trent Water: 0116 2343146

Where a public sewer exists within the site, the client and contractor are to adhere strictly to the following conditions.

- 1) Where excavating and building within 3m of sewer, work to be carried out to be non detrimental to existing sewer.
- 2) Where pipe is exposed during building works, pipe to be protected to prevent damage.
- 3) Building foundations are to be constructed in such a manner as to prevent additional load being placed on pipe, where a drain or sewer running below a building is less than 2m deep, the foundation shall be extended locally so that the drain or sewer passes through the wall.