

2024/0949

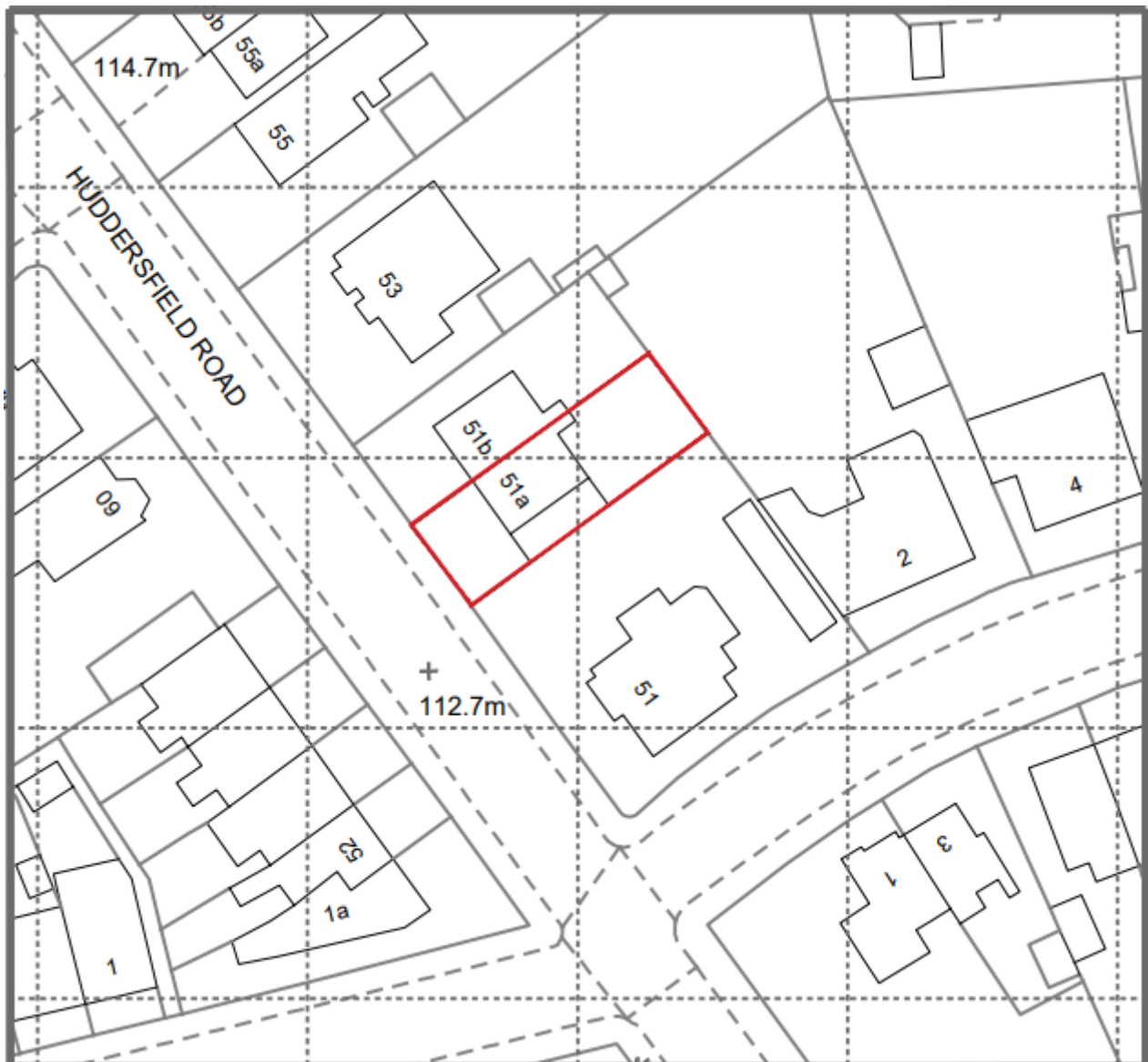
Mr Dominic Bottomley

51A Huddersfield Road, Barnsley, S75 1DR

Alterations to roof and conversion of loft into habitable space and erection of front porch.

Site Description

The application relates to a semi-detached dwelling on Huddersfield Road within the Huddersfield Road Conservation Area. The property is formed from red brick with a gable roof formed from red tiles. The property features a single storey garage extension to the southeast side elevation. This extension also features a hipped red tiled roof and is formed from blend bricks. Two storey bay windows are located to the front elevation along with an arched dressed doorway. The property benefits from a small, enclosed garden to the front, with a driveway to accommodate two cars and a modest garden to the rear. The surrounding area is characterised by a variation of different properties including terraced dwellings, detached dwellings and semi-detached dwellings. Materials used in the vicinity of the site include red brick, stone and occasionally white render.



Relevant Planning History

B/91/0188/BA - Erection of extension to dwelling – Permission Granted subject to conditions, dated 11th March 1991

Proposed development

The applicant seeks permission for the installation of a hip-to-gable extension and associated loft conversion by the installation of a rear dormer window. The applicant also proposes to erect a porch extension to the front elevation.

The hipped roof form to gable roof form proposes an increased roof volume of approximately 23 cubic metres. The proposed roof dormer would provide an approximate volume increase of 28 cubic metres. The proposal provides a total volume increase of approximately 51 cubic metres.

The proposed change in roof form would provide a new gable elevation to the south-east elevation of the dwelling. A window has been proposed centrally to this elevation set down approximately 0.7 metre from the ridge. The proposed new ridge follows the same ridge as the existing hipped roof; no increase in roof height is proposed. Two Velux windows have been proposed to the front roof plane of the dwelling.

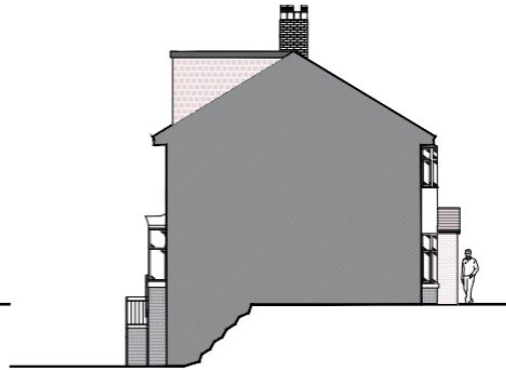
The proposed rear dormer would have a height of approximately 2.5 metre and a width of approximately 5.9 metres. The dormer would project approximately 4 metres. Windows are detailed to the rear elevation matching the form of the existing rear elevation. The dormer is proposed to have a flat roof with matching materials.

The proposed porch would provide an approximate forward projection of 1.3 metre and an approximate width of 2.1 metre. An approximate total height of 3.5 metres is proposed. A pitch roof has been utilised with an arched dressed doorway. Glazing is proposed within the arch, surrounding the door. Red brick and tiles have been detailed.

Matching brickwork and tiles have been proposed.



Proposed South-Western Front Elevation
Scale:1:50



Proposed North-Western Side Elevation
Scale:1:50



Proposed South-Eastern Side Elevation
Scale:1:50



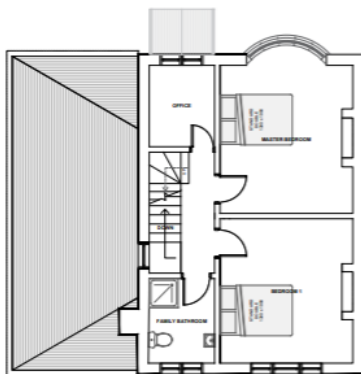
Proposed North-Eastern Rear Elevation
Scale:1:50



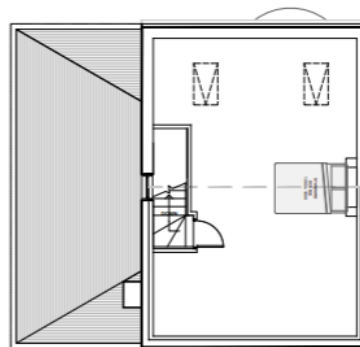
Proposed Basement Plan
Scale:1:50



Proposed Ground Floor Plan
Scale:1:50



Proposed First Floor Plan
Scale:1:50



Proposed Second Floor Plan
Scale:1:50

Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- ***Policy HE1: The Historic Environment***
- ***Policy D1: High Quality Design and Place Making.***
- ***Policy GD1: General Development.***
- ***Policy T4: New Development and Transport Safety.***
- ***Policy SD1: Presumption in favour of Sustainable Development.***

National Planning Policy Framework (NPPF) December 2024)

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed places.***

Chapter 16 Conserving and enhancing the historic environment

Paragraph 202 states that heritage assets range from sites and buildings of local historic value to those of the highest significance. These assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance.

Paragraph 208 states that Local Planning Authorities should identify and assess the particular significance of any heritage assets that may be affected by a proposal (including development affecting the setting of a heritage asset) taking account of the available evidence and necessary expertise.

Paragraph 210 states that in determining applications, local planning authorities should take account of; the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality and the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 212 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be).

Paragraph 213 states that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting) should require clear and convincing justification.

Adopted Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations (March 2024).***
- ***Parking.***

Adopted Supplementary Planning Document: House Extensions and Other Domestic Alterations

This adopted document establishes the design principles that specifically apply to the consideration of planning applications for domestic extensions, outbuildings, roof and other domestic alterations. The document reflects the principles of the National Planning Policy Framework which promotes high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

The Town and Country Planning (General Permitted Development) (England) Order 2015

Schedule 2 Part 1 Class **B**. The enlargement of a dwellinghouse consisting of an addition or alteration to its roof.

B.1 Development is not permitted by Class B if—

- (b)any part of the dwellinghouse would, as a result of the works, exceed the height of the highest part of the existing roof;
- (d)the cubic content of the resulting roof space would exceed the cubic content of the original roof space by more than—
 - (i)40 cubic metres in the case of a terrace house, or
 - (ii)50 cubic metres in any other case;
- (f)the dwellinghouse is on article 2(3) land

Schedule 2 Part 1 Class D *The erection or construction of a porch outside any external door of a dwellinghouse.*

D.1 Development is not permitted by Class D if—

- (a)permission to use the dwellinghouse as a dwellinghouse has been granted only by virtue of Class **G**, M, MA, N, P, PA or Q of Part 3 of this Schedule (changes of use);
- (b)the ground area (measured externally) of the structure would exceed 3 square metres;
- (c)any part of the structure would be more than 3 metres above ground level;
- (d)any part of the structure would be within 2 metres of any boundary of the curtilage of the dwellinghouse with a highway

Consultations

Conservation – Objected to the proposal due to the loss of symmetry the proposal would create along with the detracting of the original appearance of the dwelling.

Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

Assessment

Principle of Development

Extensions and alterations to a domestic property and the erection of detached outbuildings in a domestic curtilage are acceptable in principle if they would remain subservient and would be of a scale and design which would be appropriate to the host property and would not be detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Visual Amenity and Impact on the Historic Environment

Extensions and alterations to a domestic property are considered acceptable if they would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The local authority will support proposals which conserve and enhance the significance and setting of the borough's heritage assets, paying particular attention to those elements which contribute most to the borough's distinctive character and sense of place.

The Planning (Listed Buildings and Conservation Areas) Act 1990 considers the impact on the character or appearance of a designated conservation area, Section 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, states: In the exercise, with respect to any buildings or other land in a conservation area, of any powers under any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area

It is acknowledged a hipped to gable extension and rear dormers can be erected under permitted development, however, this does not apply to properties within the Conservation Area. In this instance the total volume narrowly exceeds the limitations in Part 1 Class B of the GDPO nevertheless, the ability to erect a similar design outside of the Conservation Area is acknowledged.

The proposal would provide a change in roof form within the Huddersfield Road Conservation Area. The change in roof form alone, from hipped to gable would provide an increase in roof volume by approximately 23 cubic metres. The erection of the rear dormer would provide a cubic volume of a further approximately 28 cubic metres. A total increase of 51 cubic metres is therefore proposed. The proposed roof alteration would therefore require planning permission even outside of the Conservation Area.

The change in roof form and erection of a porch would detrimentally alter the character of the dwelling and the character of the street scene. The dwelling possesses a strong symmetrical design; to change the roof form would drastically reduce the symmetry of the building as well as posing a loss to the historic appearance of the building and does not preserve or enhance the character of the Conservation Area.

The low-level asymmetry of the dwelling through the erection of the existing side extension is acknowledged, however this does not warrant the implementation of further asymmetry to the building. Although gable roof forms are evident within the area, the symmetry of the dwelling would be drastically altered, a change which is not common within the Conservation Area and should be avoided.

Policy HE1 states “Substantial harm or total loss to the significance of a designated heritage asset (or an archaeological site of national importance) will be permitted only in exceptional circumstances where there is a clearly defined public benefit”. Providing a third bedroom through approval of a loft conversion would not be considered a public benefit, rather a personal benefit. The proposed bedroom facility and improved suitability of the property for the benefit of the applicant would therefore not be considered to outweigh the harm caused to the character of the Conservation Area.

The proposed porch would provide an external floorspace of approximately 2.7 square metres which is below the 3 square metres allowed under permitted development. The proposed height of approximately 3.5 metres would exceed the 3-metre height permitted under permitted development. Whilst the height of the porch exceeds the parameters of permitted development, it is considered that the porch alone would not detract from the symmetry of the dwelling and would be considered acceptable. Nevertheless, this does not warrant the approval of a scheme which overall would have a detrimental impact on the character of the Conservation Area as outlined above.

The applicant has indicated that the materials used in the construction of the alterations would match those used in the construction of the original dwelling which is considered acceptable. Nevertheless, the proposal is considered to significantly alter and detract from the character of the street scene and is considered to be contrary to Local Plan *Policy HE1: The Historic Environment* and *Policy D1: High Quality Design and Placemaking* and does not preserve or enhance the character of the Conservation Area and as such is unacceptable. This carries substantial weight against the proposal.

Residential Amenity

Extensions and alterations to a domestic property are considered acceptable if the proposal would not adversely affect the amenity of neighbouring properties.

The proposed roof alterations and the creation of a rear dormer window would not result in an increase in overshadowing or reduce levels of outlook due to the orientation of the dwelling in relation to the path of the sun and the neighbouring properties.

It is acknowledged that the introduction of the side window at second floor level could result in an increase in overlooking, however, the window whilst located within a habitable room, is situated within the staircase which provides limited opportunities for increased overlooking. Whilst the dormer window introduces additional windows on the rear elevation they do not project beyond the rear elevation of the original dwelling and as such are considered to be no more detrimental than the existing arrangements. The front Velux windows are located such that they would not result in overlooking of the opposing properties on Huddersfield Road.

The porch is to be located on the front elevation and is situated a sufficient distance from the side boundaries with the neighbouring properties not to increase levels of overlooking, overshadowing or reduce outlook.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and would not have an overbearing impact and as such the proposal is considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable in terms of its impact on residential amenity.

This carries modest weight in favour of the proposal, nevertheless, this does not warrant the approval of a scheme which would have an impact on the character of the Conservation Area and does not preserve or enhance its character as required under the The Planning (Listed Buildings and Conservation Areas) Act 1990.

Highway Considerations

The proposed development would see an increased provision of off-street parking due to the introduction of a third bedroom. However, the site already provides enough parking facilities for two vehicles and as such would not require additional parking provision.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety. This carries moderate weight in favour of the proposal.

Conclusion

Whilst the proposal is considered acceptable with regards to highways and residential amenity which carry modest weight in favour, the proposal is considered to be an unsympathetic asymmetrical addition to the street scene within a Conservation Area. The proposed roof alterations combined with the porch would detrimentally affect the symmetry of a building within the conservation area, negatively impacting the visual amenity of the dwelling and the character of the Conservation Area. The modest aspects in favour of the proposal are not considered sufficient to outweigh the significant negative weight against the proposal caused by harm to the conservation area as it would not preserve or enhance the character of the Conservation Area as required by the The Planning (Listed Buildings and Conservation Areas) Act 1990.

Recommendation

Refusal