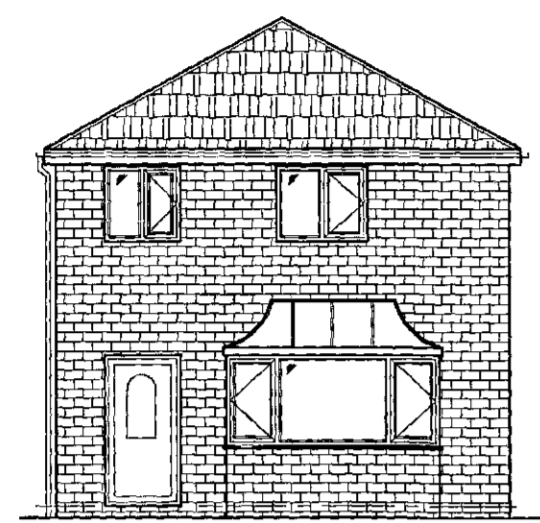


NOTE 1
 Clients must ensure that the requirements of the Party Wall Act 1996 are strictly adhered to and all legal requirements of the act discharged, prior to any work commencing adjacent to existing party and boundary walls.

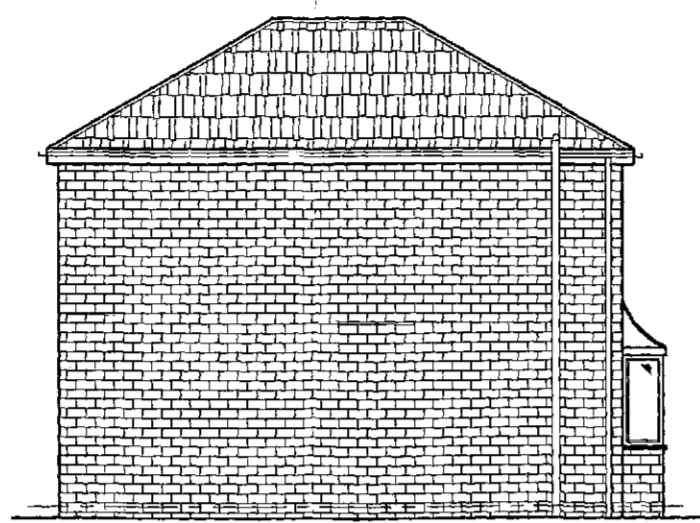
Do Not Scale Drawing
 All Dimensions to be Checked on Site Prior to Commencement

applicant

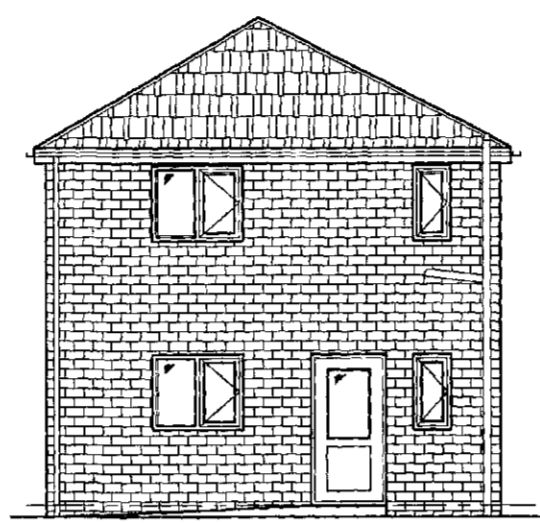
Mr W Levitt
 33 Balk Lane
 Birdwell
 Barnsley
 S70 5RA



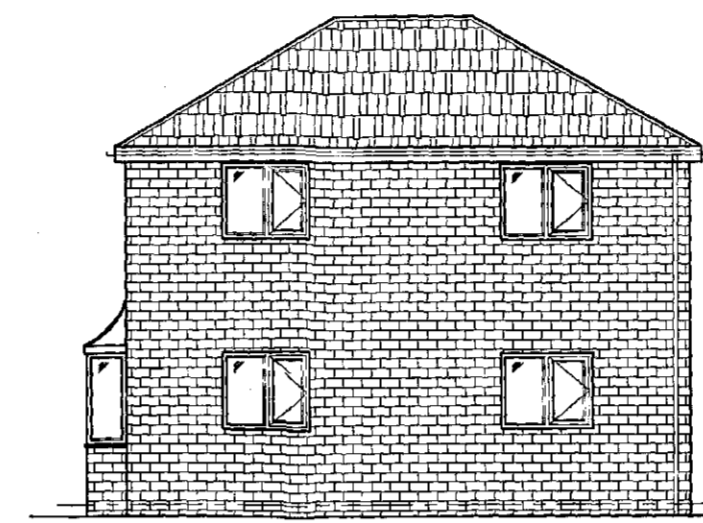
Proposed Front Elevation



Proposed Side Elevation



Proposed Rear Elevation



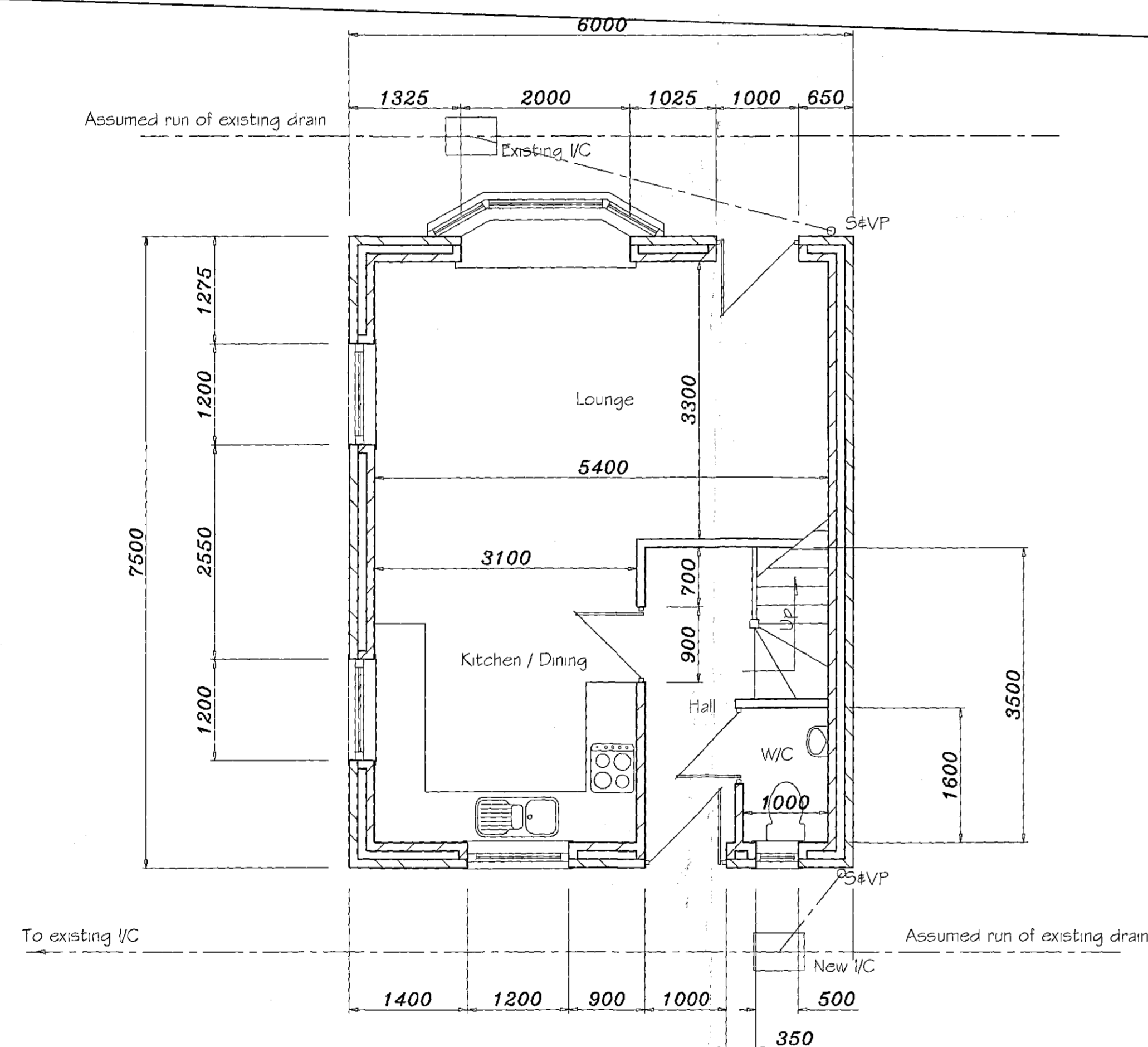
Proposed Side Elevation

NOTES:

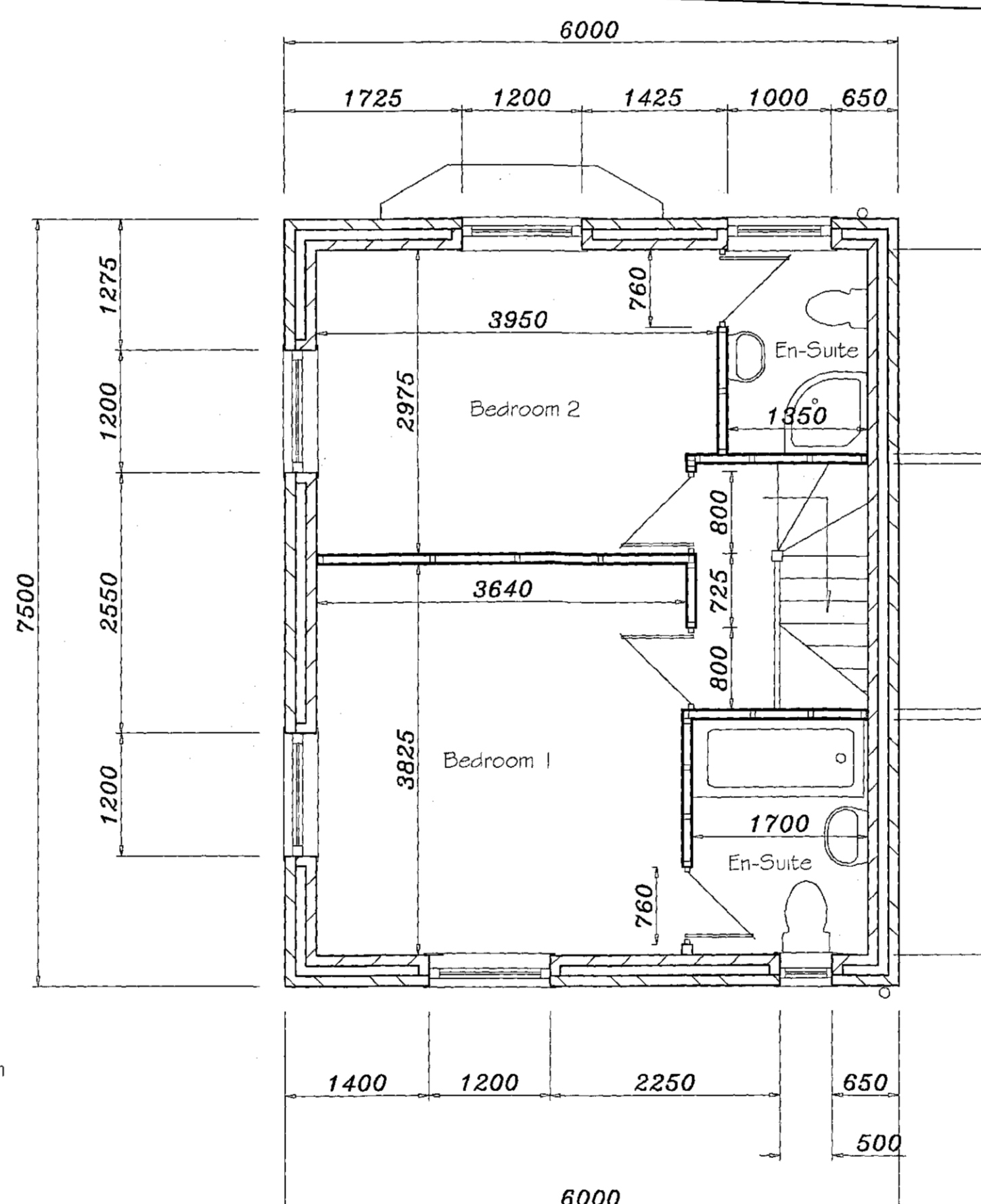
ROOF: roof of multi red conc interlocking tiles to match surrounding dwellings;

WALLS: walls of smooth red facing brick to match surrounding dwellings;

WINDOWS: all windows and doors to be double glazed units with white upvc frames;

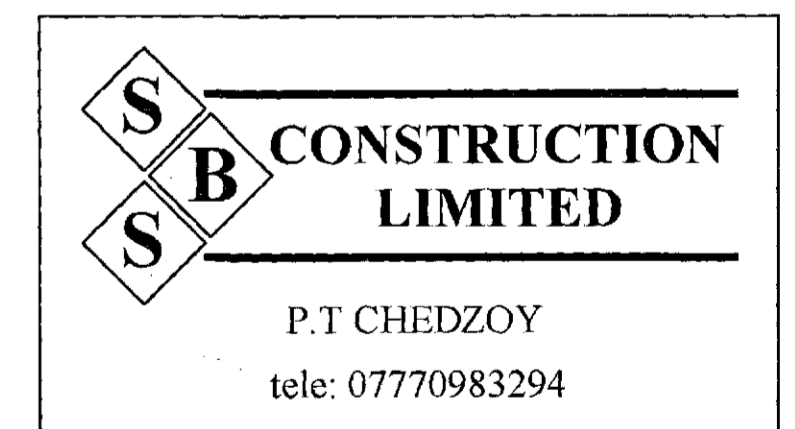


Proposed Ground Floor Plan



Proposed Ground Floor Plan

Re-submission of Application No 2015/1497;
 1. Width of dwelling is increased from 5.7m to 6.0m;
 2. Dwelling was 3 bedrooms but is changed to 2 bedrooms;
 3. Windows have been added to the north elevation; (elevation facing the road)
 4. A personnel door and high level window are added to the garage (windows facing neighbouring properties are to be opaque glazing and non opening)
 5. The building is moved 200mm from the boundary with No 1 Hill Top
 Road to avoid encroachment by gutters;
 6. Elevations amended to suit above changes;



Re-submission of Application No. 2015/1497

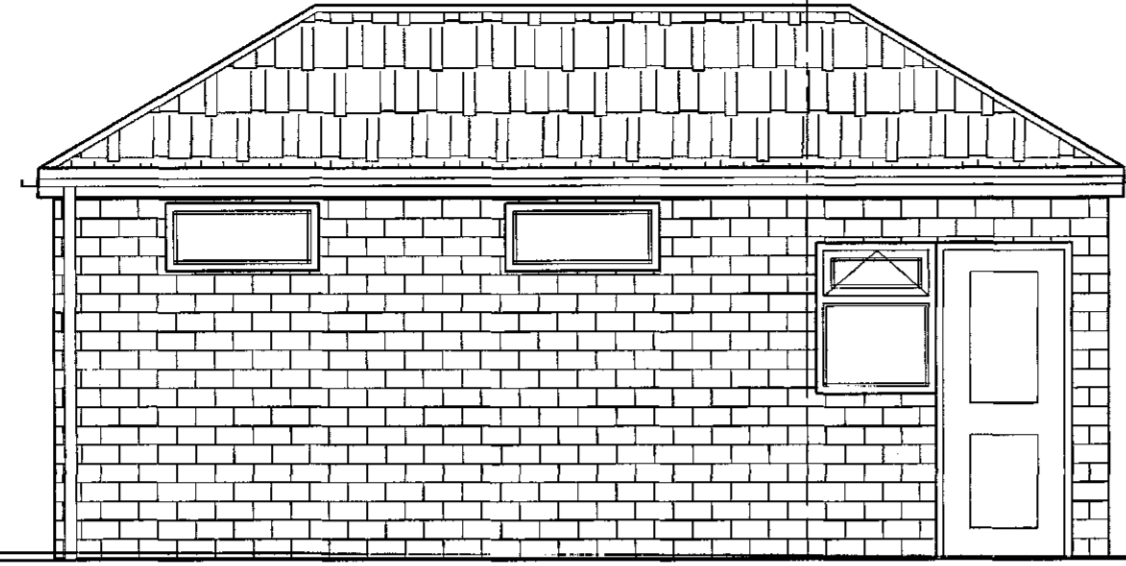
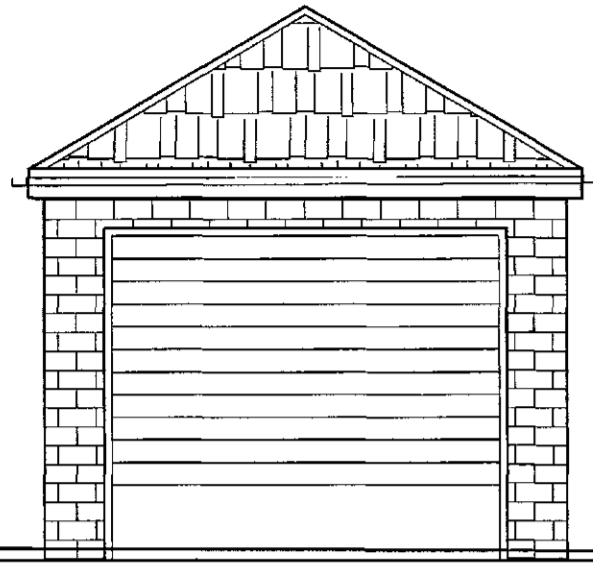
PROPOSED DETACHED DWELLING with DETACHED GARAGE on LAND ADJACENT TO
 1 HILL TOP ROAD, BIRDWELL, BARNSLEY, S70 5QZ

DRG No: WLO516/22 Sheet 1 of 2
 PROPOSED PLANS AND ELEVATIONS
 Scale 1:50 & 1:100 - MAY 2016

NOTE: Clients must ensure that the requirements of the Party Wall Act 1996 are strictly adhered to and all legal requirements of the act discharged, prior to any work commencing adjacent to existing party and boundary walls.

Do Not Scale Drawing
All Dimensions to be Checked on Site Prior to Commencement

applicant
Mr W Levitt
33 Balk Lane
Birdwell
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S70 5RA

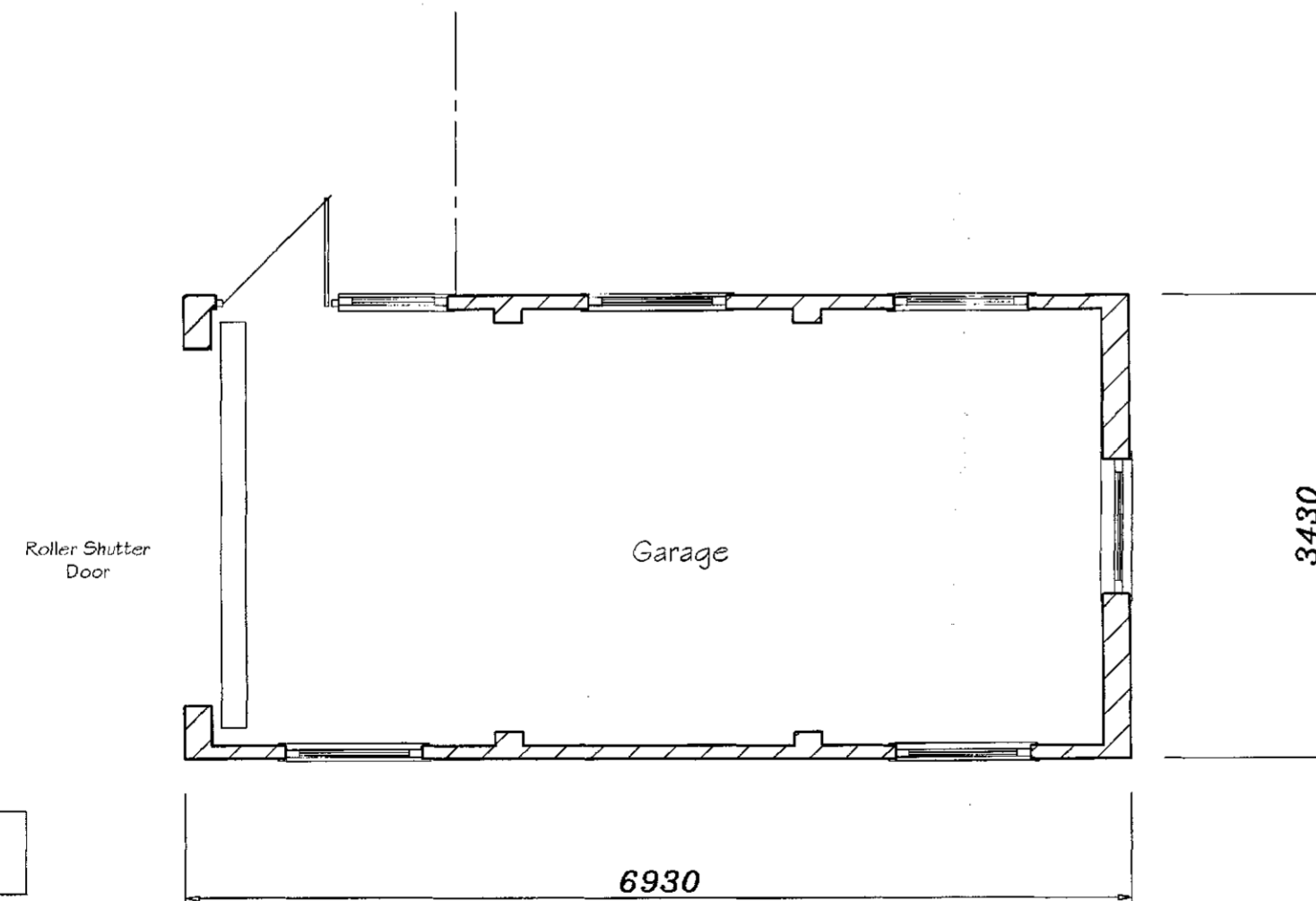
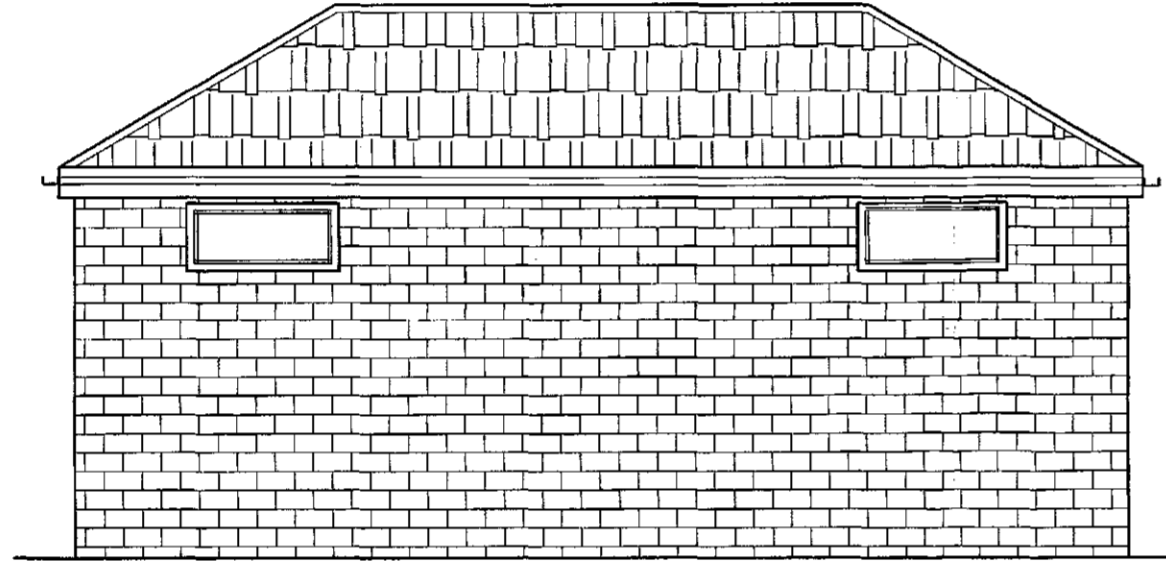
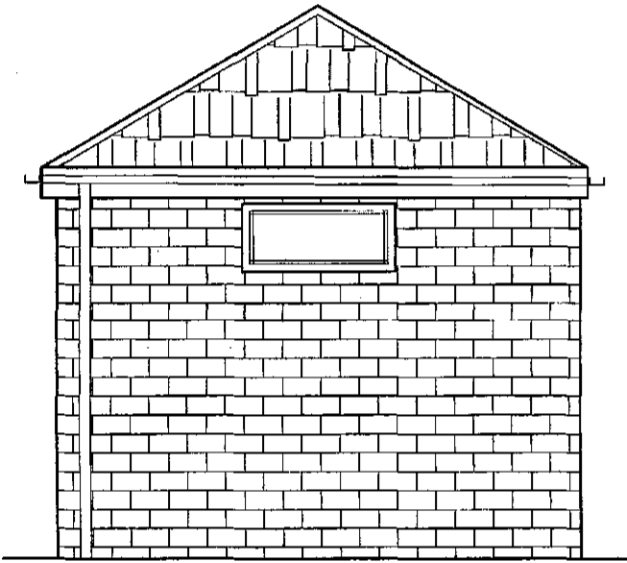


NOTES:

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Re-submission of Applicatio No 2015/1497

PROPOSED DETACHED DWELLING with DETACHED GARAGE on LAND ADJACENT TO
I HILL TOP ROAD, BIRDWELL, BARNLSLEY, S70 5QZ



DRG No: WL05 16/22 Sheet 2 of 2
GARAGE DETAILS
Scale 1:50 - MAY 2016