

# DESIGN AND ACCESS STATEMENT



Client: BARNSELY COLLEGE  
Project: EASTGATE HOUSE  
Reference: EAR-SEV-ZZ-XX-RP-A-00531



# REVISION

PROJECT TITLE	EASTGATE HOUSE
PROJECT NUMBER	20972
CLIENT	BARNSLEY COLLEGE
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REVISION	P03

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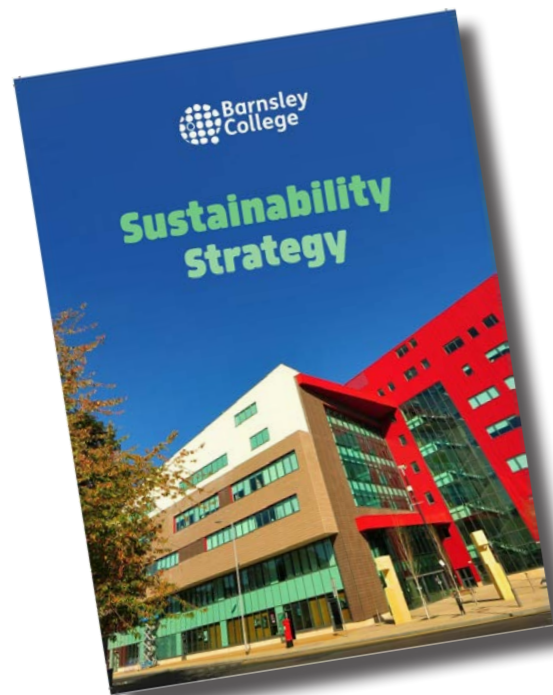
# 1.0 INTRODUCTION

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## 1.1 PROJECT TEAM & SCOPE OF REPORT

This document provides an overview of the planned refurbishment works for Eastgate House, 9 Eastgate, Barnsley S70 2EX to provide a new facility for Barnsley College.

The investment being made supports the College focus on the effectiveness and sustainability of its estate and are being developed in line with the College's sustainability strategy.

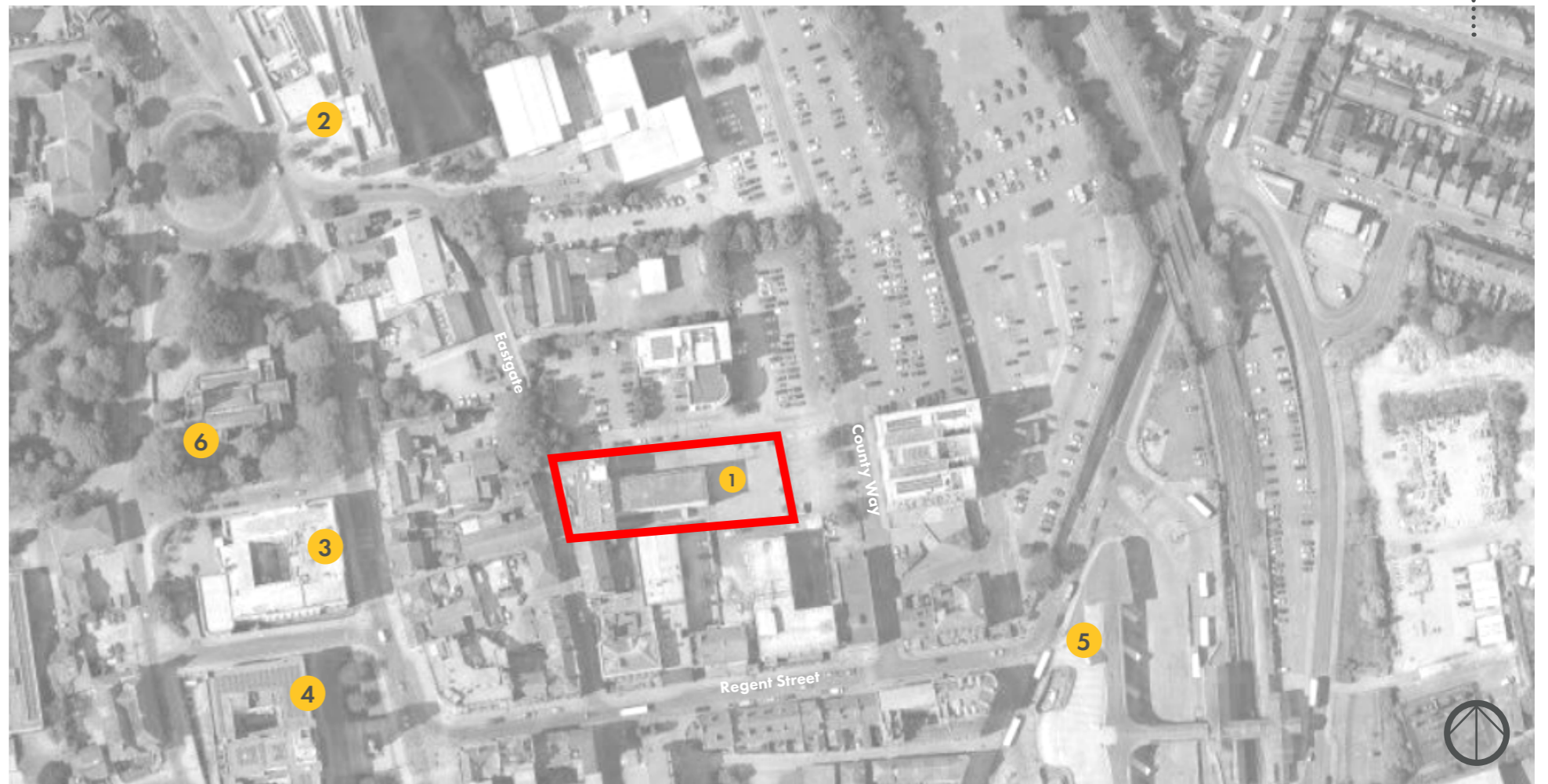
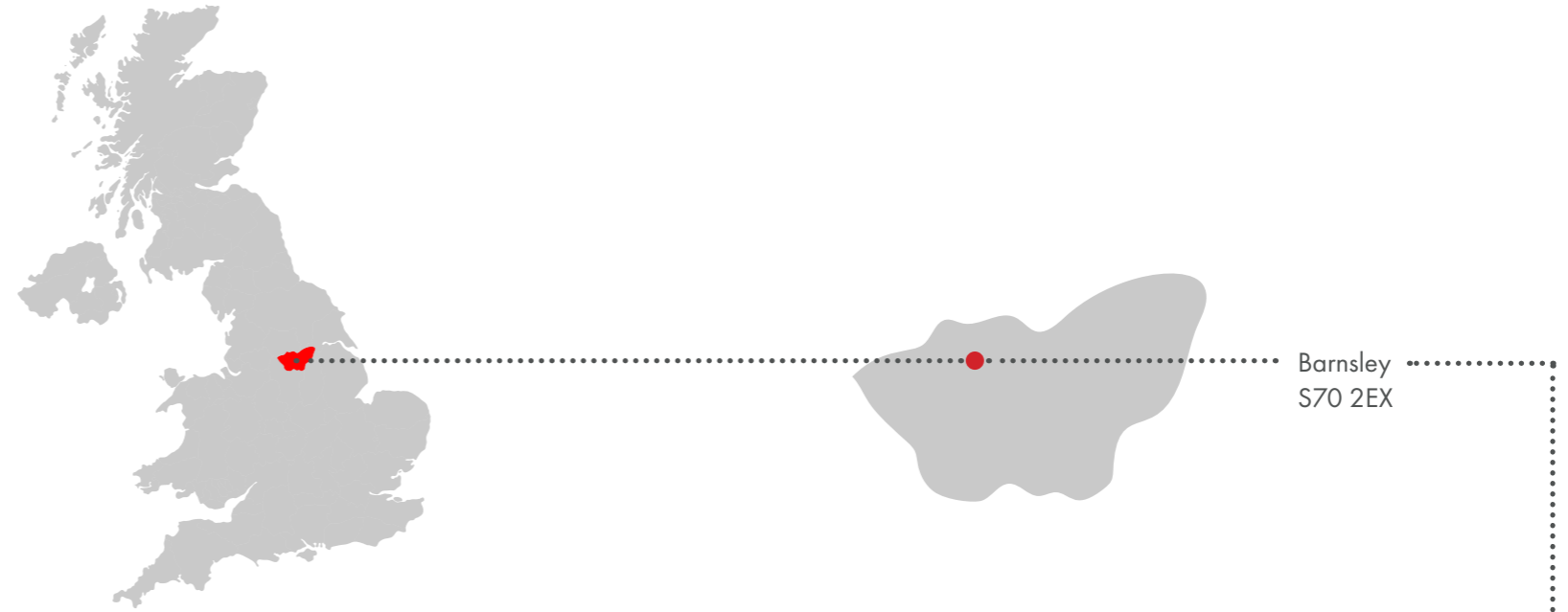


## 2.0 EXISTING SITE

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### 2.1 SITE LOCATION AND SUMMARY

The site is a plot of land formerly used for education purposes for Trinity Academy School and is in the ownership of Barnsley College. It is located adjacent to other Barnsley College facilities and forms part of the overall city campus.



#### KEY

- 1 The site
- 2 Barnsley College
- 3 Barnsley College - Church Street Campus
- 4 Barnsley College - 6th Form
- 5 Railway Station
- 6 St Mary's Church
- Site Boundary

## 2.0 EXISTING SITE

### 2.2 SITE AND AREA PHOTOS



1 Eastgate Street Facade



2 Eastgate Street Entrance



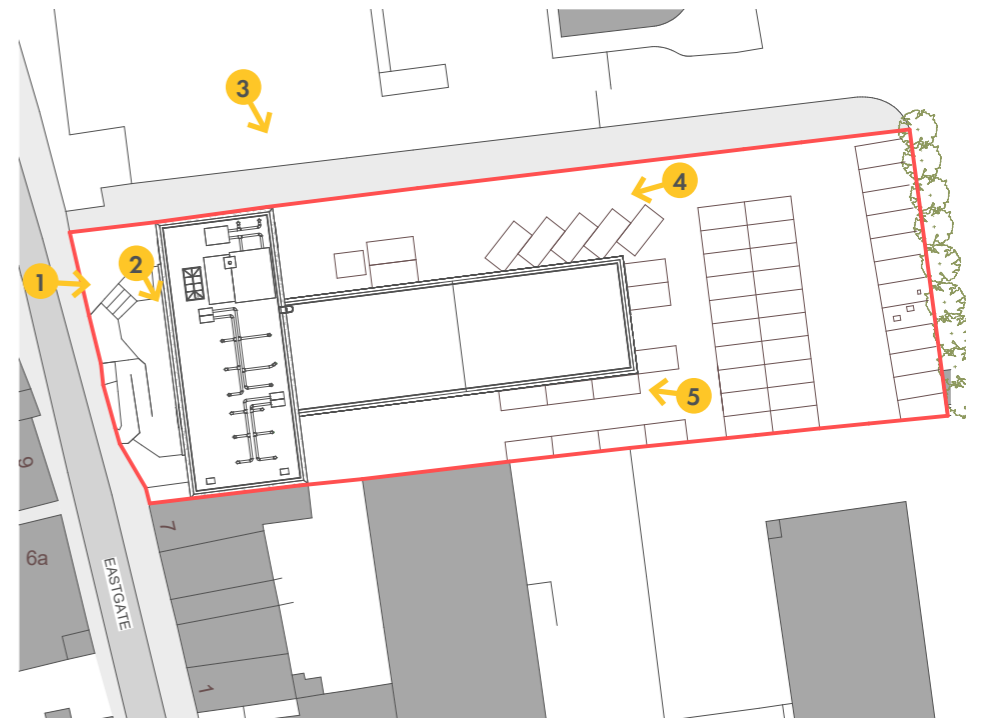
3 View of North facade from adjacent car park



4 View from NE



5 View from SE



Key Plan



# 3.0 DESIGN PROPOSAL

## 3.0 DESIGN PROPOSAL

### 3.1 PROPOSED WORKS

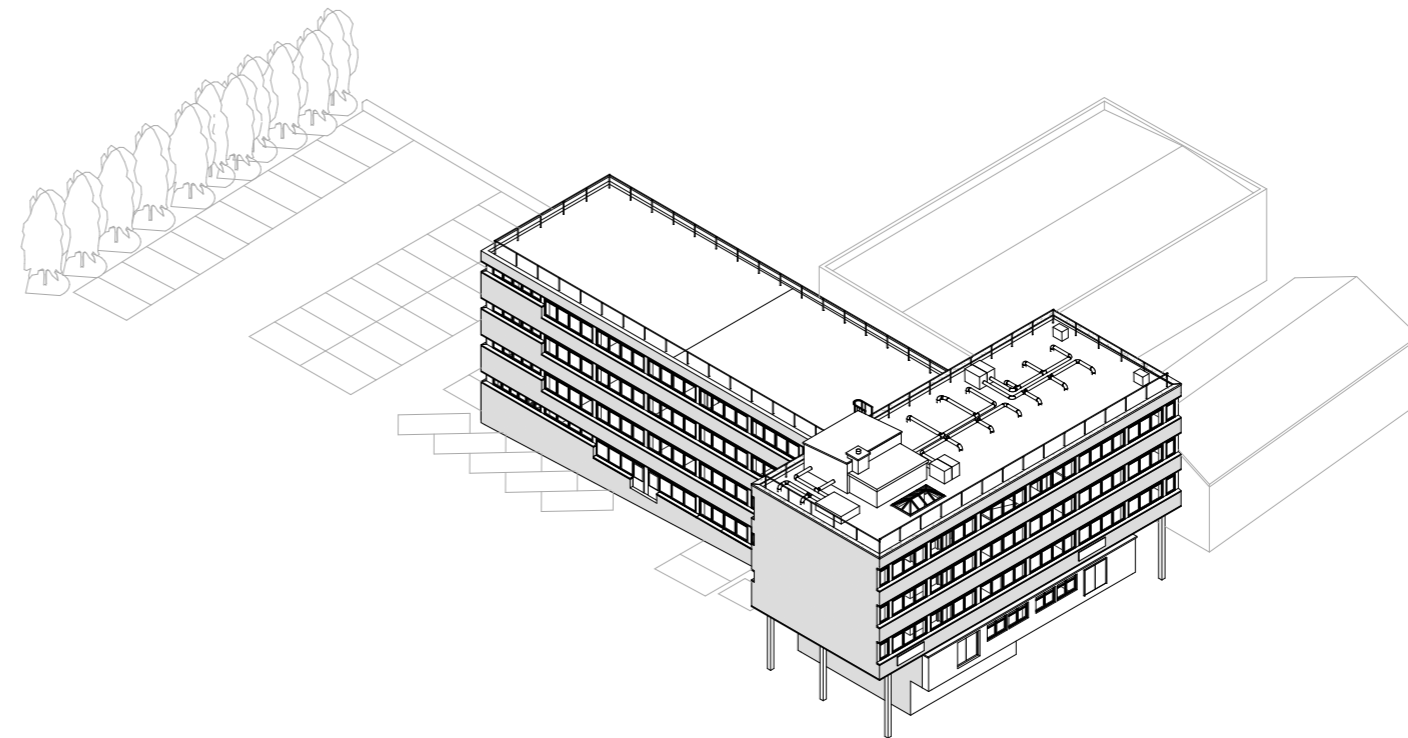
#### Description of works

Barnsley college intend to refurbish their Eastgate building to provide staff working areas and additional teaching spaces for students. The investment will significantly upgrade the thermal performance of the building and support the College's commitment to 2045 net zero.

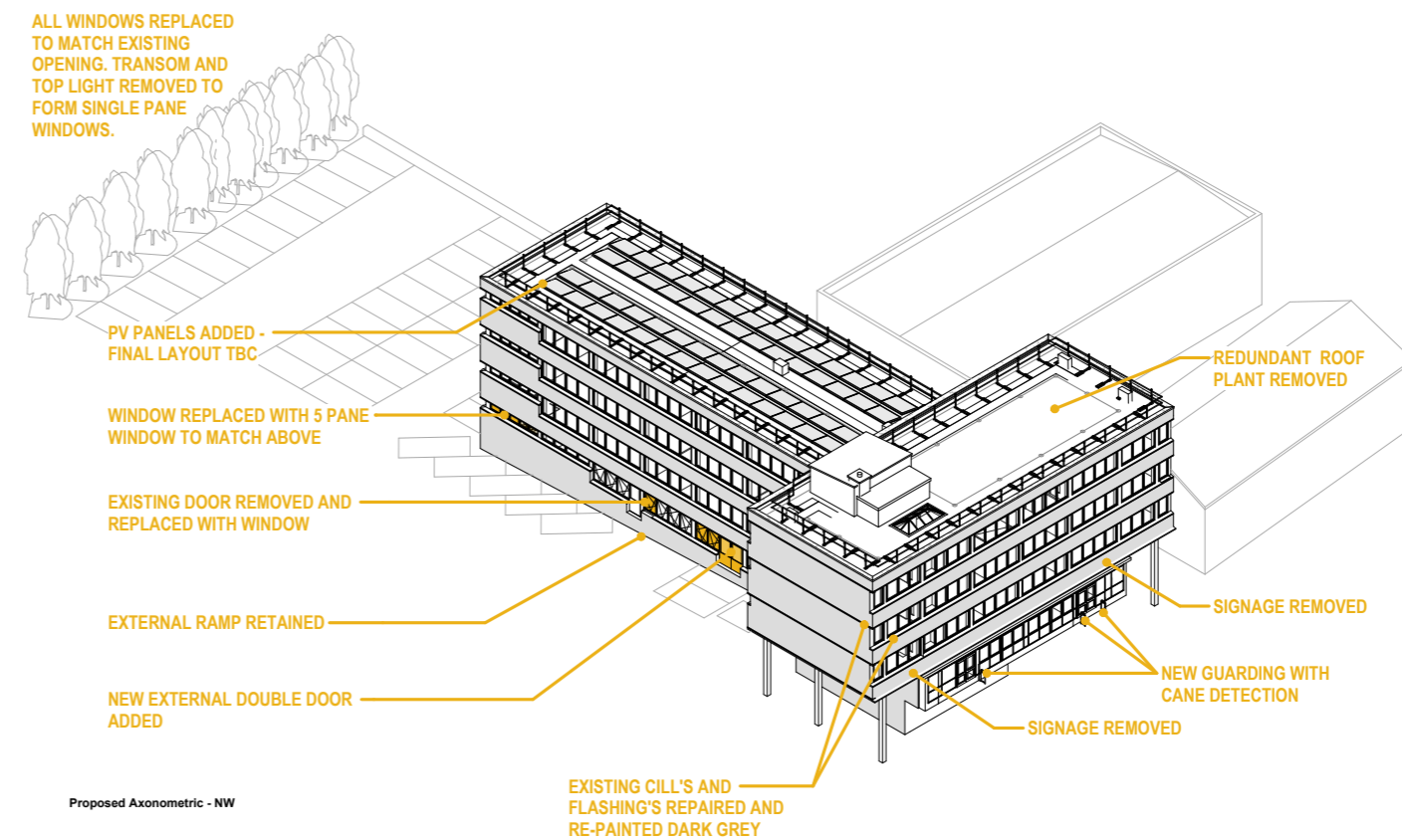
The works are taking place April - August 2025 and involve

- New UPVC windows and doors throughout – aside from some minor variations where brickwork infills are introduced or additional doors are being added, this will be 'like for like' but with enhanced thermal performance and airtightness. The existing windows are white and are also proposed to be white.
- Re-roofing – new insulation and roofing membrane will be installed to improve thermal performance and weather-tightness.
- PV panels – installation of PV panels on the roof to improve the energy / low carbon performance of the building
- New plant - there may be some additional rooftop plant installed, although this will be similar in scale and nature to that already in place.
- New signage - the Trinity signage will be removed and replaced with signage aligned with Barnsley College's needs (proposed signage under separate planning application).
- Repairing and re-painting existing cill's and flashing's a dark grey colour.
- Internal reconfiguration - some internal modifications to enable teaching and administration to operate independently and effectively within the building

Adjacent are some diagrammatic axonometric views taken from the NW illustrating the external changes.



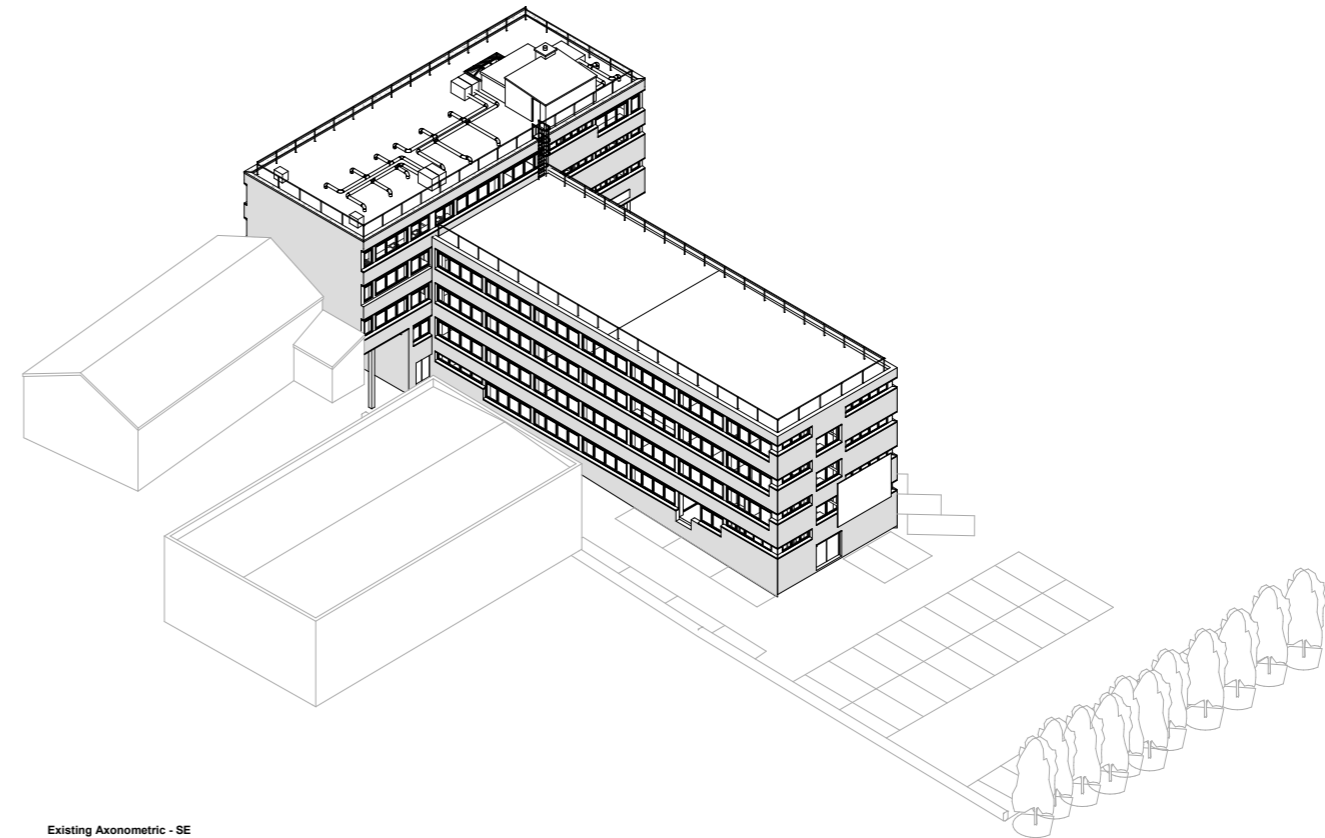
Existing Axonometric - NW



## 3.0 DESIGN PROPOSAL

### 3.2 PROPOSED WORKS

Adjacent are some diagrammatic axonometric views taken from the SE illustrating the external changes.



ALL WINDOWS REPLACED TO MATCH EXISTING OPENING. TRANSOM AND TOP LIGHT REMOVED TO FORM SINGLE PANE WINDOWS.

REDUNDANT ROOF PLANT REMOVED

WINDOWS INFILLED WITH BRICKWORK

ROOF LADDER REMOVED AND ACCESS DOOR ADDED

SIGNAGE REMOVED

PV PANELS ADDED - FINAL LAYOUT TBC

EXISTING CILL'S AND FLASHING'S REPAIRED AND RE-PAINTED DARK GREY

SIGNAGE REMOVED

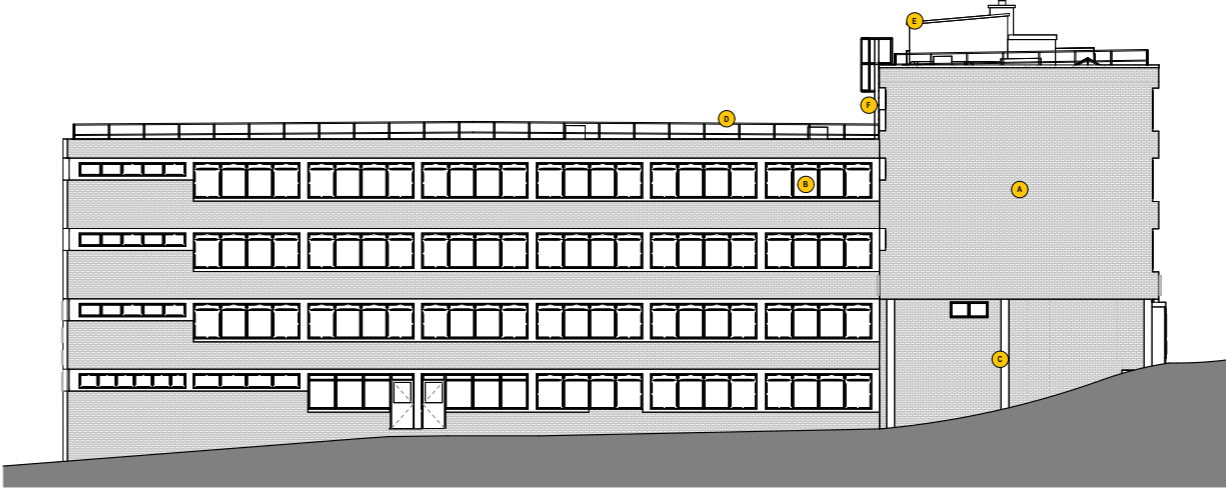
WALL REPAIRED AND WINDOW REPLACED TO MATCH ABOVE

Proposed Axonometric - SE

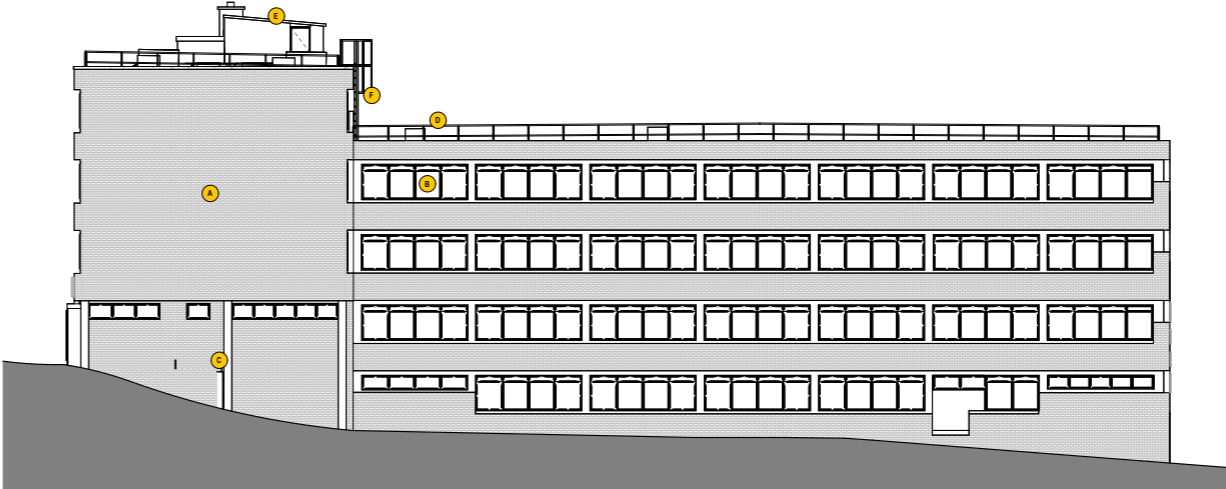
# 3.0 DESIGN PROPOSAL

## 3.3 EXISTING ELEVATIONS

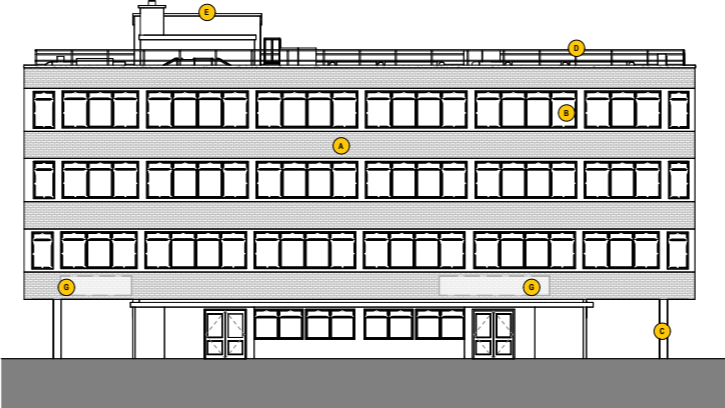
Existing building elevations. Refer to key



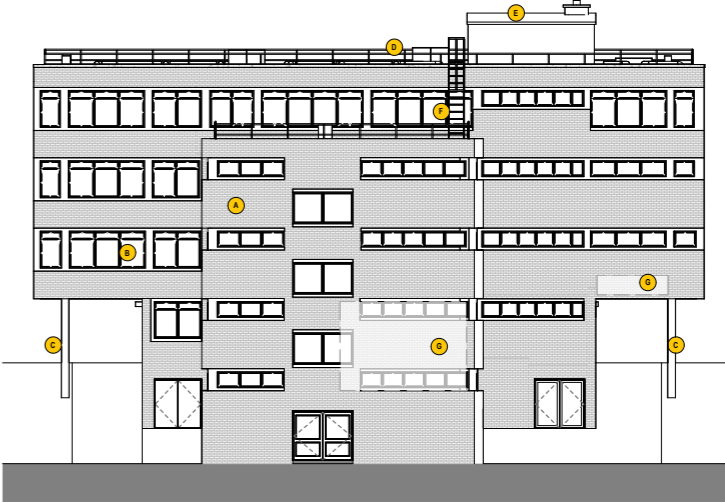
Existing Elevation - North Copy 1  
1:100



Existing Elevation - South Copy 1  
1:100



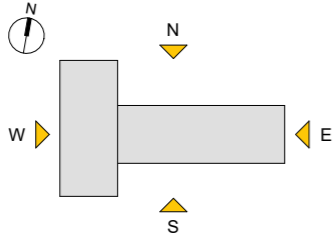
Existing Elevation - West Copy 1  
1:100



Existing Elevation - East Copy 1  
1:100

EXISTING ELEVATIONS KEY:

<b>A</b>	Brickwork
<b>B</b>	White UPVC Double Glazed Windows
<b>C</b>	External Concrete Columns
<b>D</b>	Roof Fall Protection - Metal Railing
<b>E</b>	Profiled Metal Sheeting
<b>F</b>	Roof Ladder
<b>G</b>	Signage



# 3.0 DESIGN PROPOSAL

## 3.4 PROPOSED ELEVATIONS

Proposed building elevations. Refer to annotations and key.

### WINDOWS

All windows will be replaced as part of the building works and the windows will largely match the existing windows unless stated otherwise. The existing windows are a white UPVC style, the proposed windows will also be a white UPVC window to help maintain the original appearance of the building. However, it is proposed to remove the fanlights within the proposed windows to improve the external aesthetics with consideration to the surrounding character of the area, it further improves the natural ventilation rates of the building. The simplified profile and glazing setting out appearance is more suited to the purpose and use of the College and minimises potential maintenance issues associated with a more complex window profile.

### DOORS

The existing single doors on the north elevation are a White UPVC style. One of these doors is to be replaced with White PPC metal door to improve robustness and longevity, more suitable to withstand high usage. The other door is to be replaced with UPVC double glazed window in white.

Existing white metal double entrance doors with vision panels to be replaced with white metal double doors with vision panels to match the existing appearance of the building. New single UPVC white door is to replace an existing window panel on the east elevation to improve accessibility to lower roof.

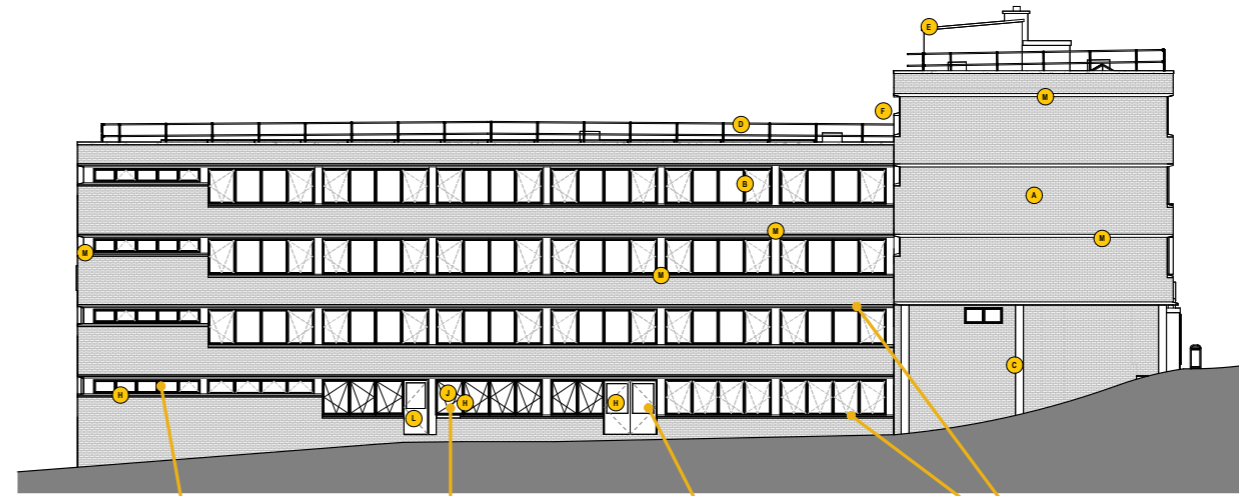
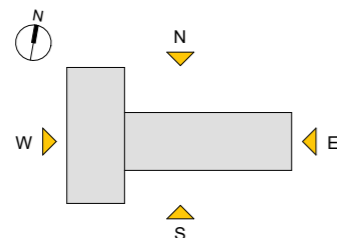
### CILLS AND FLASHINGS

All existing cill's and flashing's are to be repaired and re-painted a dark grey colour.

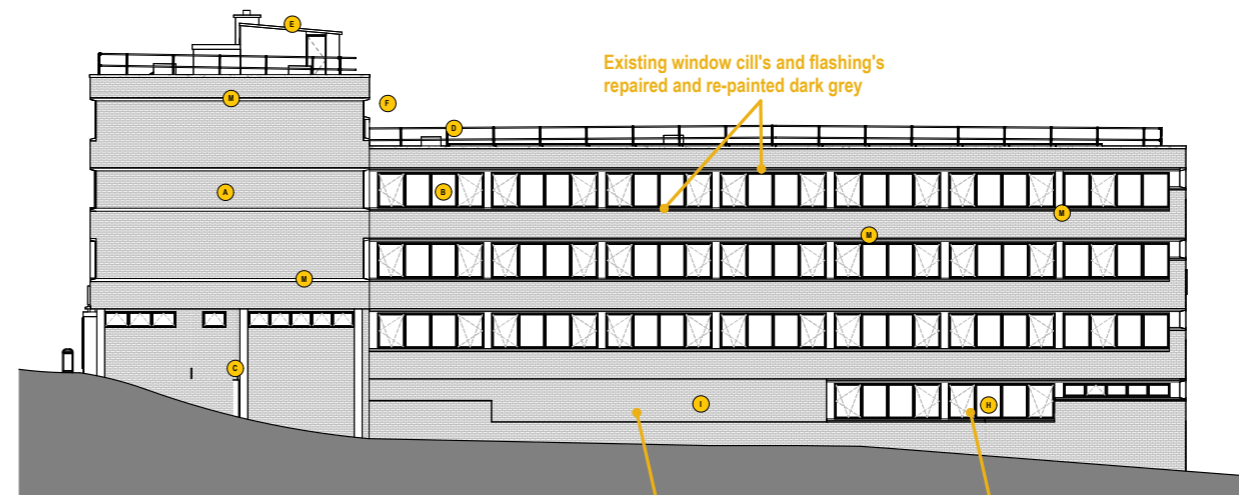
### SIGNAGE

Existing signage is removed, new signage type and location under separate planning application.

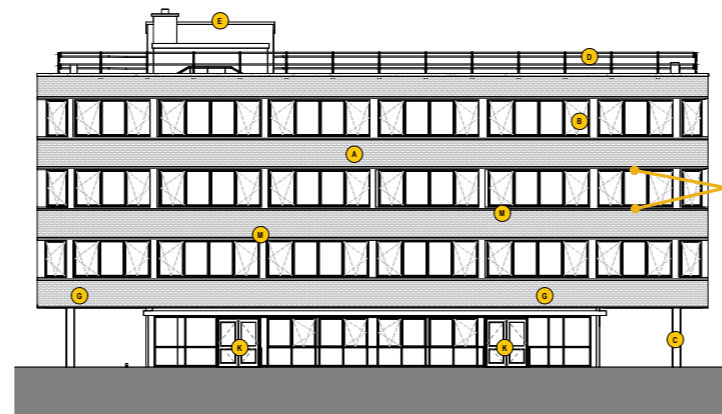
PROPOSED ELEVATIONS KEY:	
<b>A</b>	Brickwork
<b>B</b>	Replaced UPVC Double Glazed Windows - White
<b>C</b>	External Concrete Columns
<b>D</b>	Replaced Roof Fall Protection - Metal Railing
<b>E</b>	Profiled Metal Sheeting
<b>F</b>	Roof Ladder Removed - New Roof Access UPVC Door - White
<b>G</b>	Existing Signage Removed - New Signage Types and Location under separate planning application
<b>H</b>	Window Layouts With Variation From Existing Design
<b>I</b>	Existing Windows Removed Replaced with New brick work to match existing
<b>J</b>	Existing UPVC Single Door Replaced with UPVC double glazed window in White
<b>K</b>	Replaced PPC Metal Double Doors - White
<b>L</b>	Existing UPVC Single Doors Replaced with PPC metal Single Doors - White
<b>M</b>	Existing Window Cills and flashings to be repaired and painted dark grey.



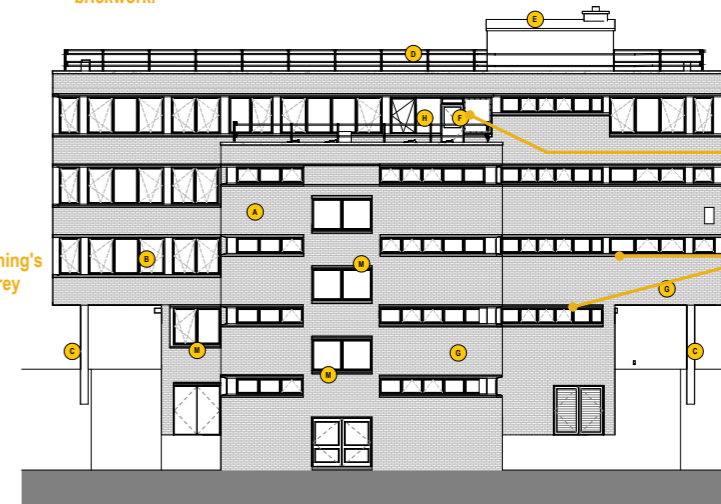
Proposed Elevation North  
1:100



Proposed Elevation South  
1:100



Proposed Elevation West  
1:100



Proposed Elevation East  
1:100

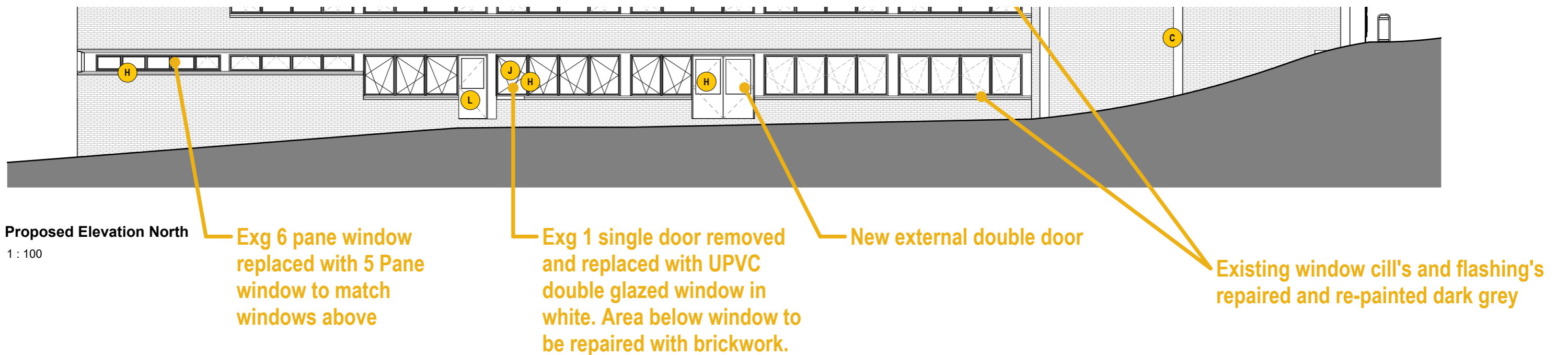
### 3.0 DESIGN PROPOSAL

#### 3.5 APPEARANCE

##### EXISTING DOOR REPLACED WITH WINDOW

One of the existing single doors along the north elevation is to be replaced with a double glazed window in white. The existing ramp is to be retained to maintain use for the one single door.

##### EXISTING PHOTOGRAPHS



### 3.0 DESIGN PROPOSAL

#### 3.5 APPEARANCE

##### BRICKWORK INFILL

Some areas of existing windows on the lower ground floor along the south facade are to be replaced with a masonry brickwork cavity wall infill. This is to fire protect the external wall adjacent to escape route. The UPVC windows do not achieve a 60 minute fire rating required, and were therefore not suitable in these areas. White PPC metal windows were considered however, these were financially not viable for the project.

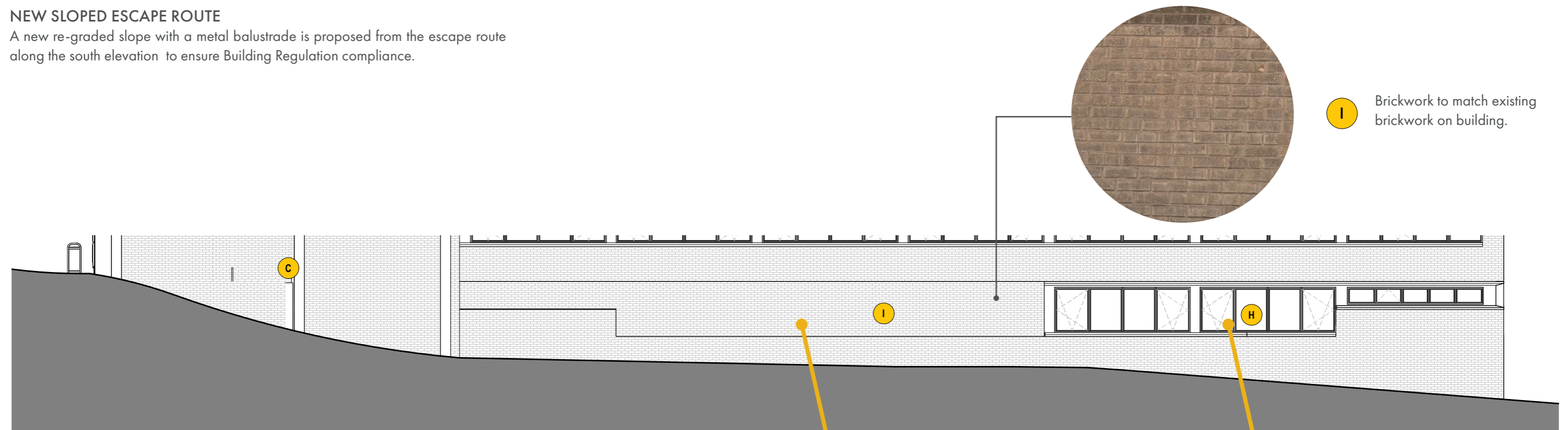
The brickwork is to match the existing brickwork on the building to compliment the existing colour palette.

The brickwork infill occurs on the south elevation which is not visible from any main street views therefore, this change of appearance has minimal impact on the building within the conservation area.

##### NEW SLOPED ESCAPE ROUTE

A new re-graded slope with a metal balustrade is proposed from the escape route along the south elevation to ensure Building Regulation compliance.

##### EXISTING PHOTOGRAPHS



**I** Brickwork to match existing brickwork on building.

**Exg 4 pane windows removed and replaced with brick work masonry cavity infill. Brickwork to match existing brickwork.**

**Wall repaired and window replaced to match above**

**Proposed Elevation South**  
1 : 100

## 3.0 DESIGN PROPOSAL

### 3.5 APPEARANCE

It is proposed to repair and re-paint the existing window cills and flashings in a darker grey (RAL 7016)

It is felt that this darker colour will help to mask any future staining / discolouration to these fittings which will help to improve the overall appearance of the building within the Conservation Area setting.

This is illustrated in the adjacent photo.

Window head painted RAL7016 (Anthracite Grey) **1**

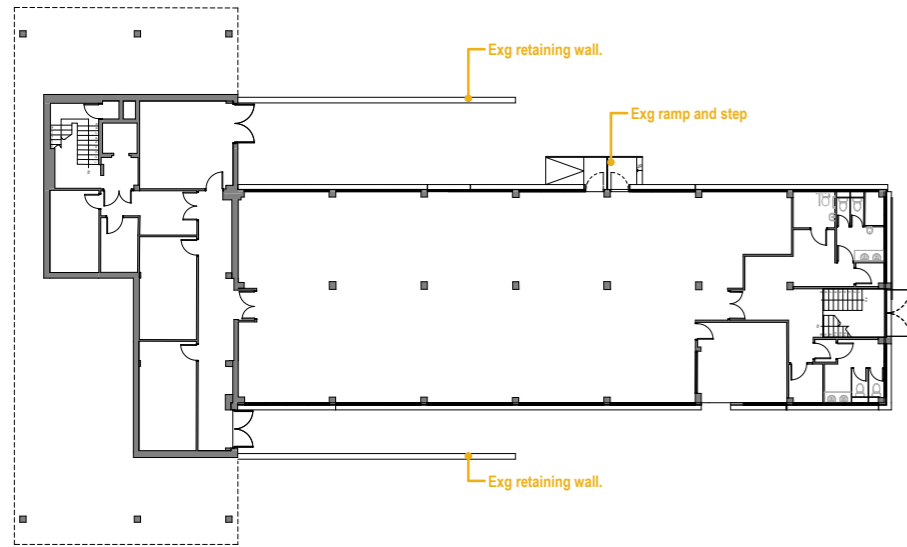
Window sill painted RAL7016 (Anthracite Grey) **2**



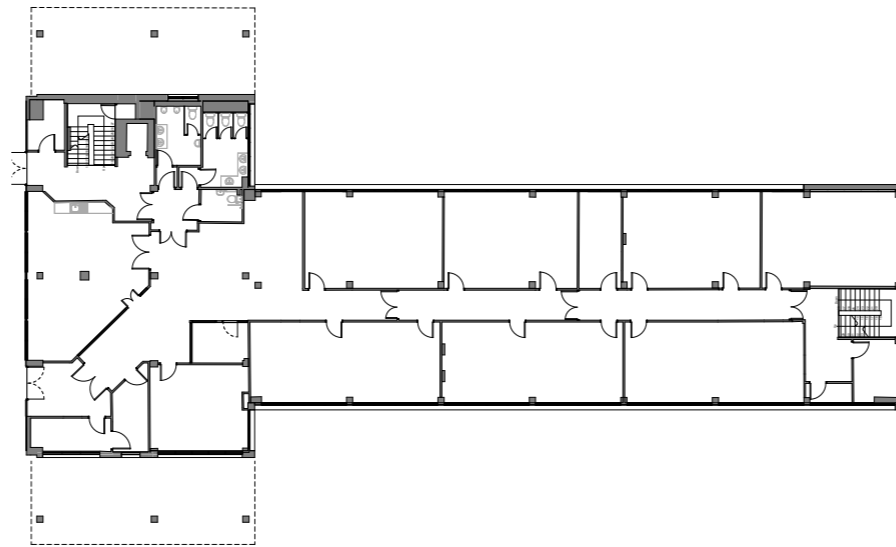
### 3.0 DESIGN PROPOSAL

#### 3.6 FLOOR PLANS - EXISTING

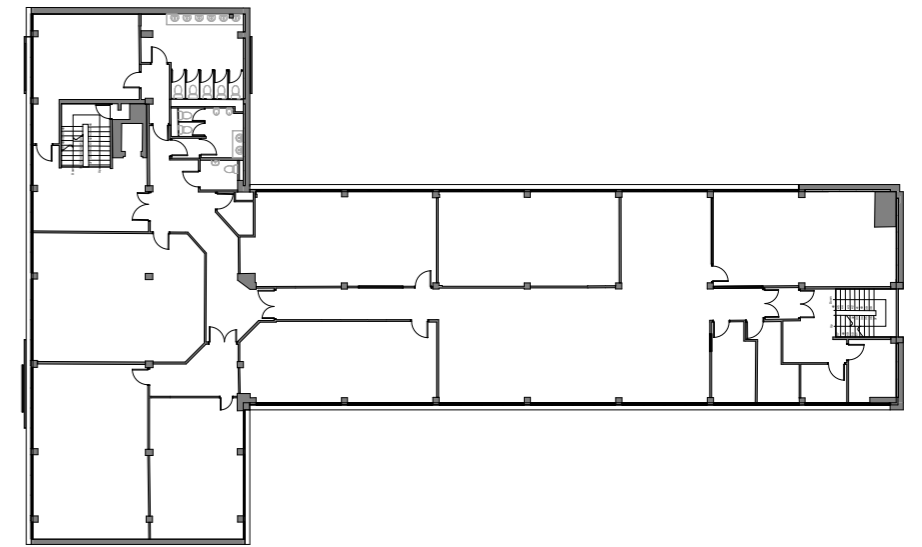
Existing plans below.



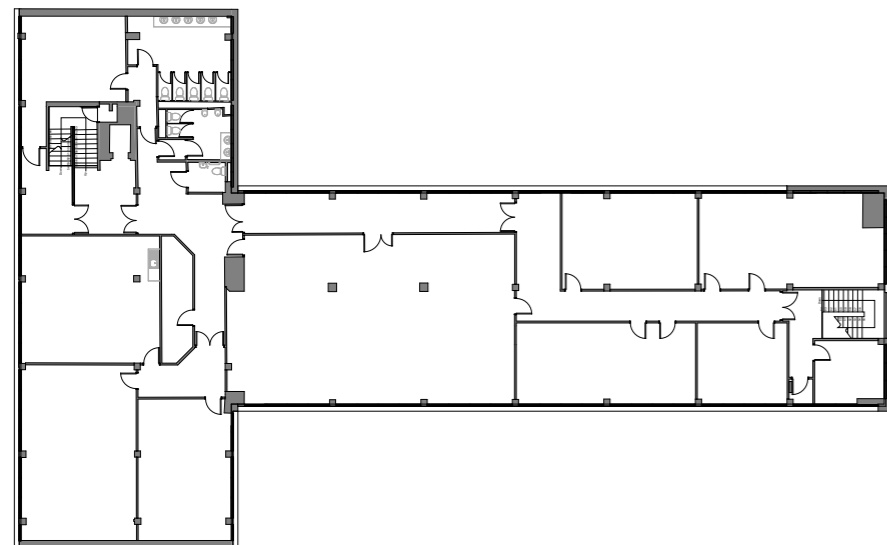
Existing - Lower Ground Floor Plan  
1:100



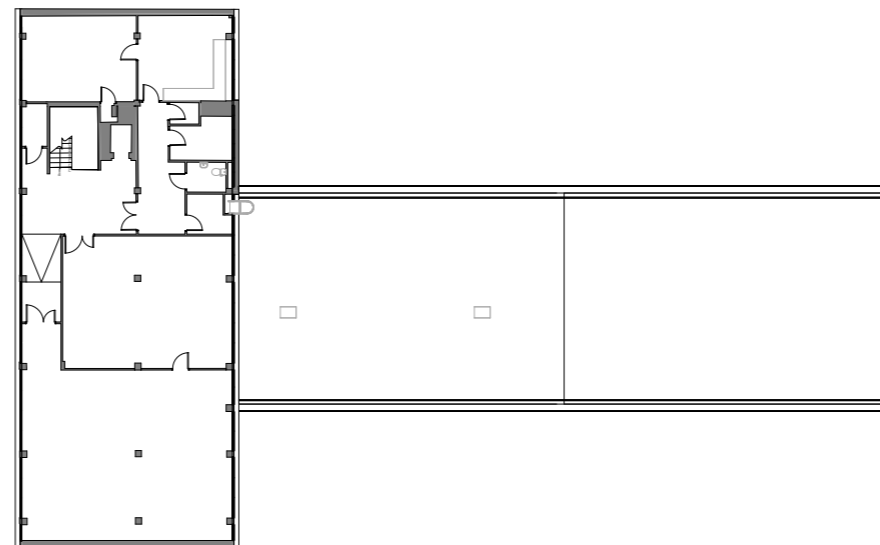
Existing - Ground Floor Plan  
1:100



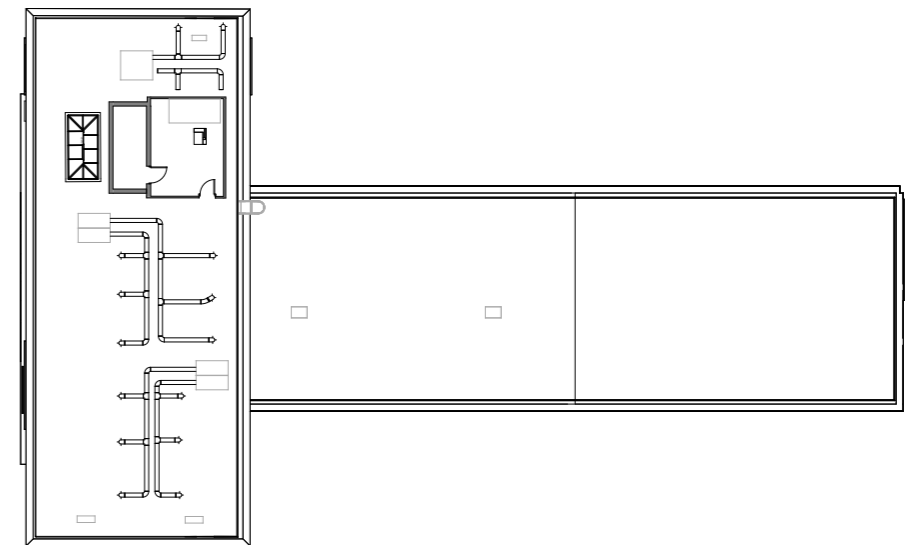
Existing - First Floor Plan  
1:100



Existing - Second Floor Plan  
1:100



Existing - Third Floor Plan  
1:100



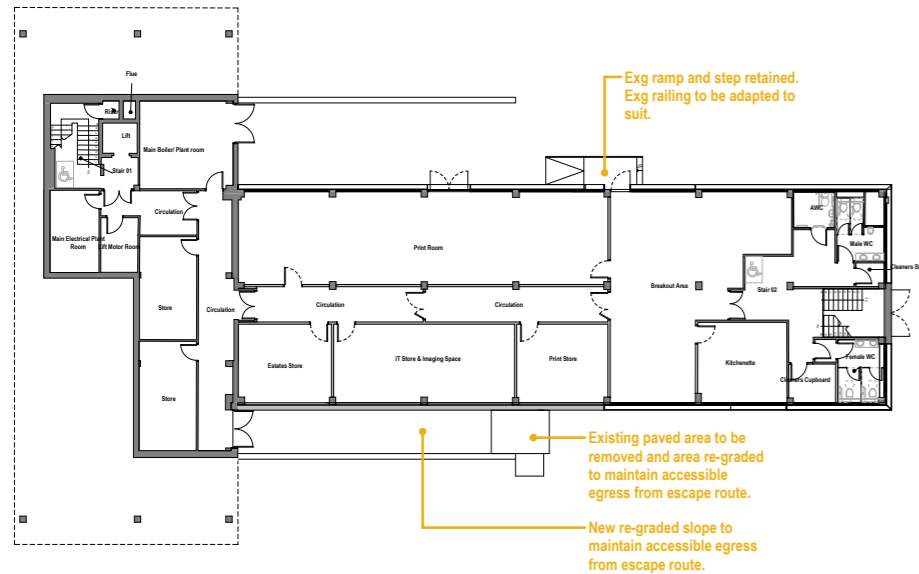
Existing - Roof Plan  
1:100

# 3.0 DESIGN PROPOSAL

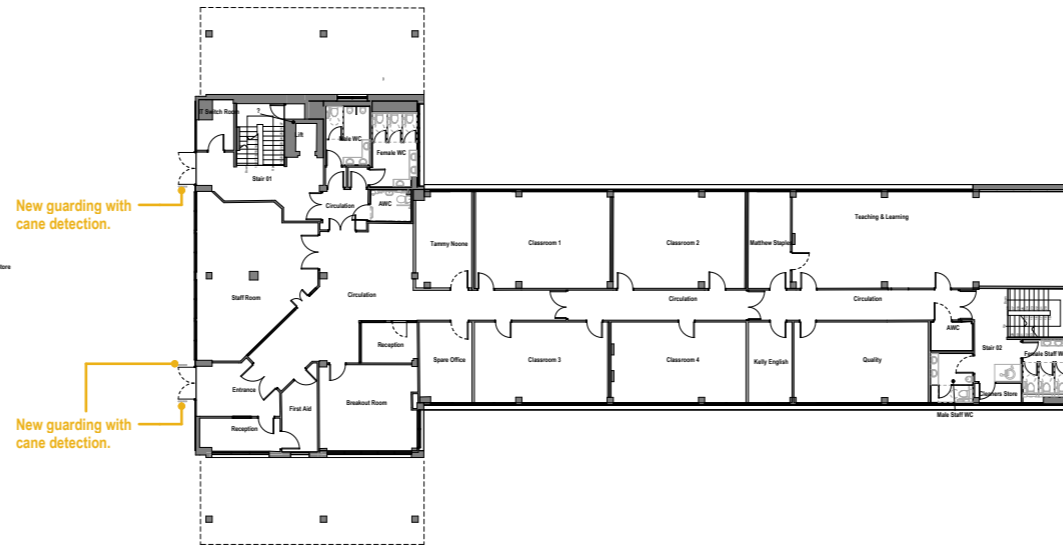
## 3.7 FLOOR PLANS - PROPOSED

General refurbishment and remodelling to create layouts best suited to the teaching and administration functions planned.

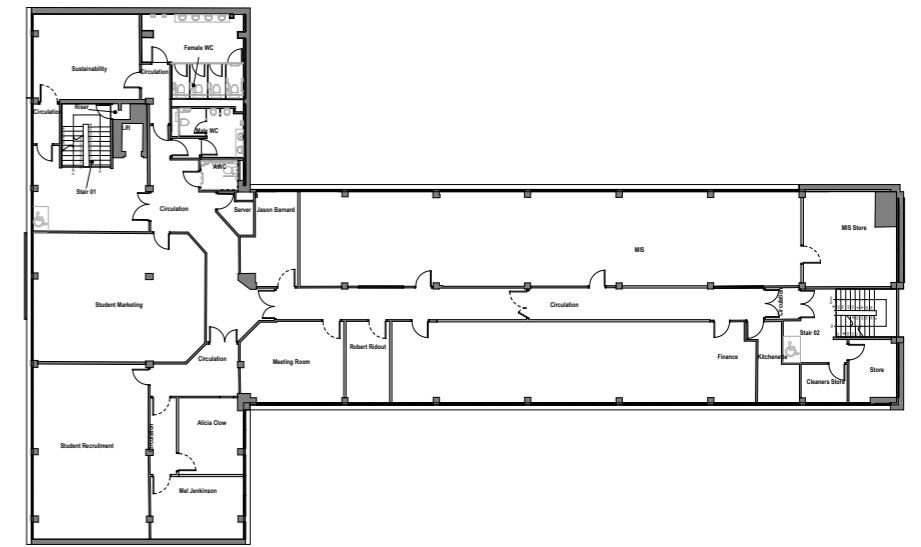
The plant ductwork on the existing upper roof will be removed as this is no longer needed for the building function. The remaining plant equipment is to be retained within the existing plant room on the upper roof. The lower roof will accommodate new PV panels and 3 new external condenser units.



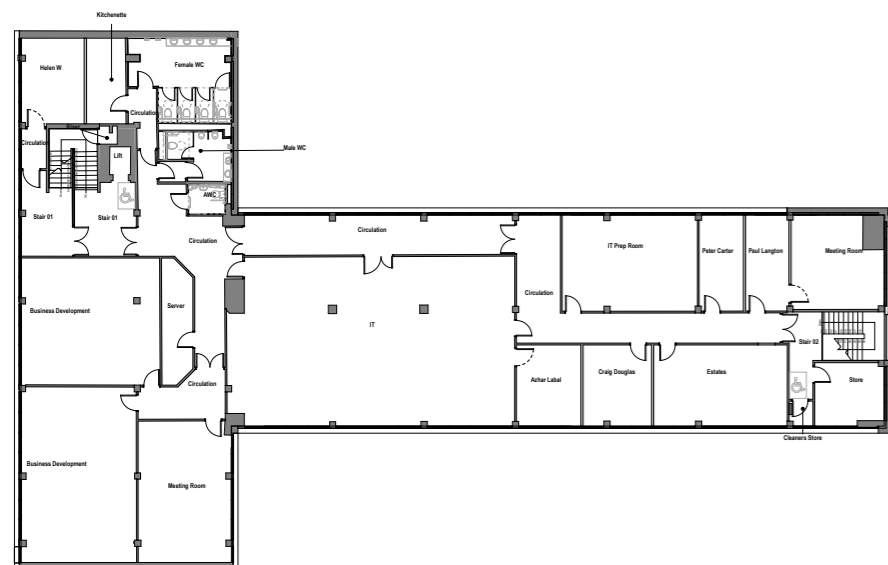
Proposed - Lower Ground Floor Plan  
1:100



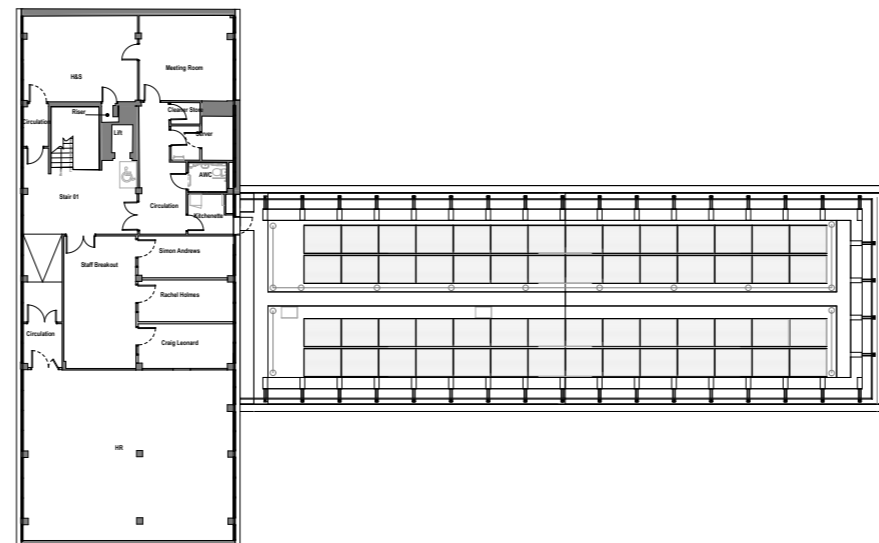
Proposed - Ground Floor Plan  
1:100



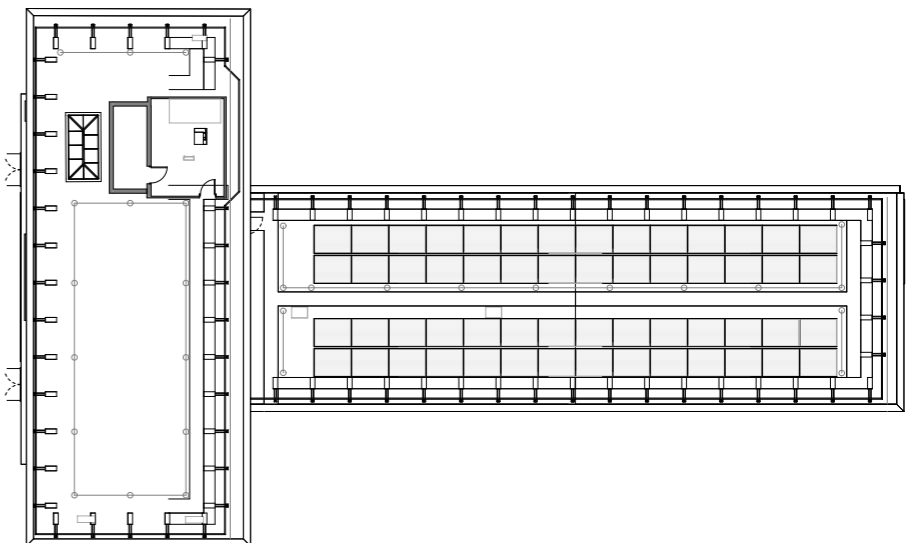
Proposed - First Floor Plan  
1:100



Proposed Second Floor Plan Copy 1  
1:100



Proposed - Third Floor Plan  
1:100



Proposed - Roof Plan  
1:100

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