
2024/0552

Mr Ollie Banks

15 Colster Close, Gawber, Barnsley, S75 2LR

Erection of single storey front, side and rear extensions, alterations to existing roof including a change from hipped roof to pitched roof with increase in height and installation of rear dormer window to accommodate additional habitable rooms in the roof space, changes to existing external materials and other minor external alterations, and removal of existing detached garage and erection of new detached annex (Amended Description).

Site Description

The application relates to a plot located to the south-west corner of Colster Close – a residential cul-de-sac in an area that is principally residential characterised by detached bungalows of varying scale and appearance. The variance becomes increasingly apparent to the easternmost part of the street near to the junction with Wharfedale Road and includes pitched roof bungalows with large, street-facing gable projections and gable roof two-storey dwellings. A mix of brickwork, stonework and render is used throughout.

The property in question is a detached hipped roof bungalow constructed of brickwork with some feature stonework and rendering. The property is set centrally within a modest sized plot that also accommodates a detached pitched gable roof double garage to the south-east corner and sunken pathways along the south and west boundary lines. The property is fronted by soft landscaping which extends to the west and rear with slab paving to the east. The site is bounded by a mix of brick walls, timber fencing and mixed vegetation and has slightly sloped topography which descends south-to-north and east-to-west. The site also sits at a lower level in the street due to the wider topography which descends east-to-west.



Planning History

There are several historic applications associated with this site. However, the most relevant is:

1. B/83/1006/DT – Outline for residential development. – Historic.

Proposed Development

The applicant is seeking permission for the erection of single storey front, side and rear extensions, alterations to the existing roof including a change from a hipped roof to a pitched roof with an increase in height and the installation of rear dormer window to accommodate additional habitable rooms in the roof space, changes to existing external materials and other minor external alterations, and the removal of an existing detached garage and the erection of new detached annex. During the application process, the proposal was amended to reduce the size of the annex and increase the size of the rear extension.

The proposed front extension would project from the north elevation of the application property by approximately 4.8 metres with a width of approximately 5.6 metres. The extension would adopt a pitched gable roof with an approximate eaves and ridge height of 2.4 metres and 5.4 metres respectively. The extension would be constructed of stone with some feature charcoal cladding.

The proposed side extension would project from the east elevation of the application property by approximately 3.8 metres with a depth of approximately 7 metres. The extension would adopt a pitched roof with an approximate eaves and ridge height of 2.4 metres and 5.4 metres respectively. The extension would be finished with charcoal cladding.

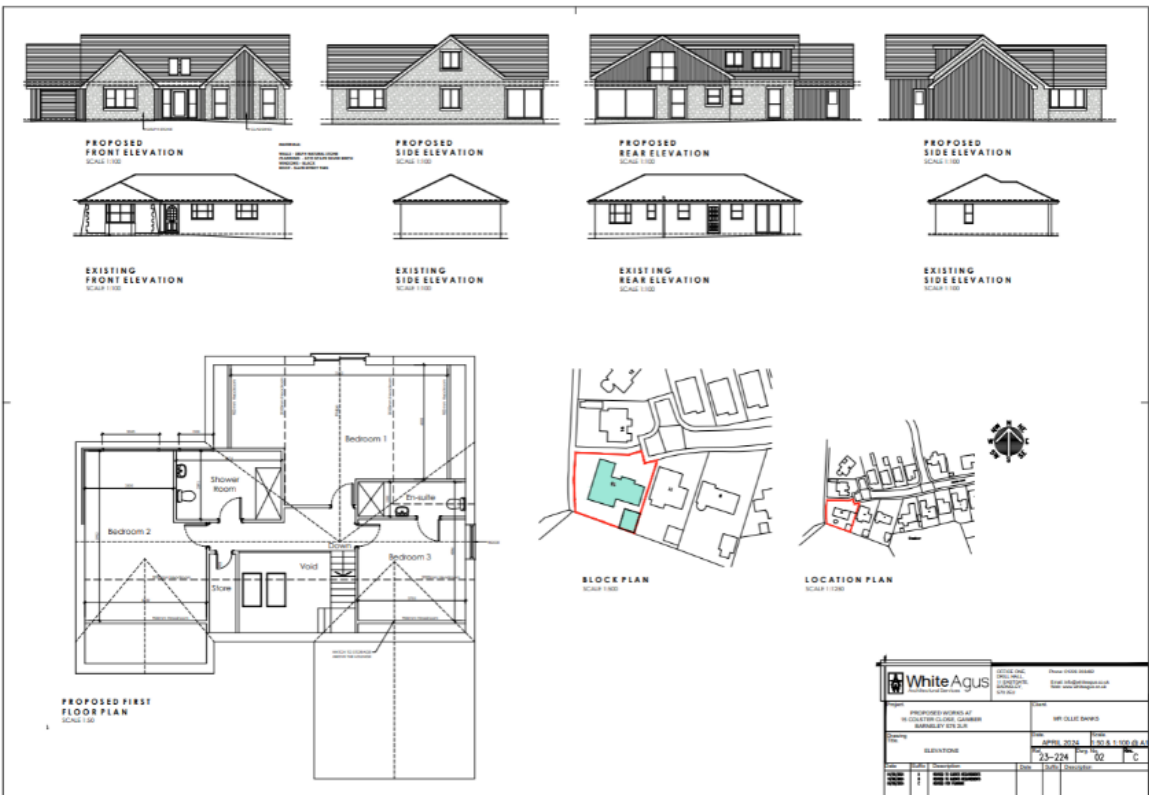
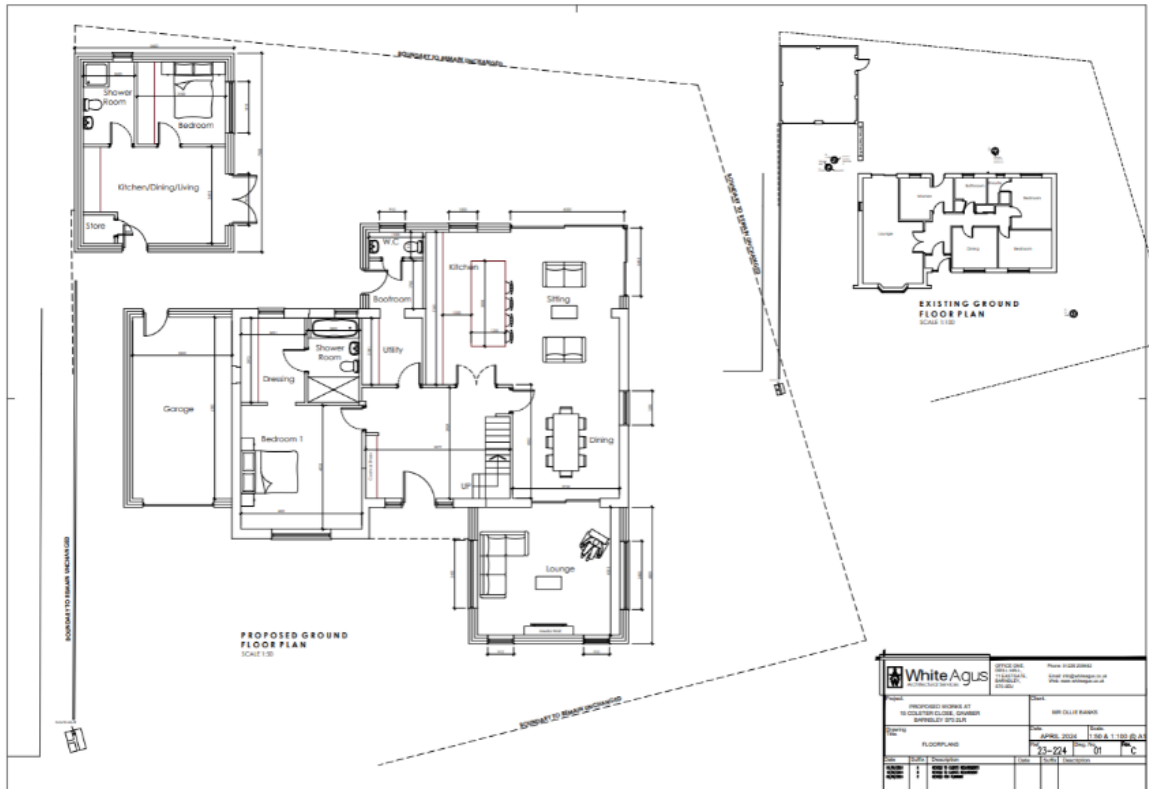
The proposed rear extension would project from the south elevation of the application property by approximately 3 metres with a width of approximately 9.4 metres. The extension would adopt a pitched gable roof with an approximate eaves and ridge height of 3 metres and 6.2 metres respectively. The extension would be constructed of stone with some feature charcoal cladding.

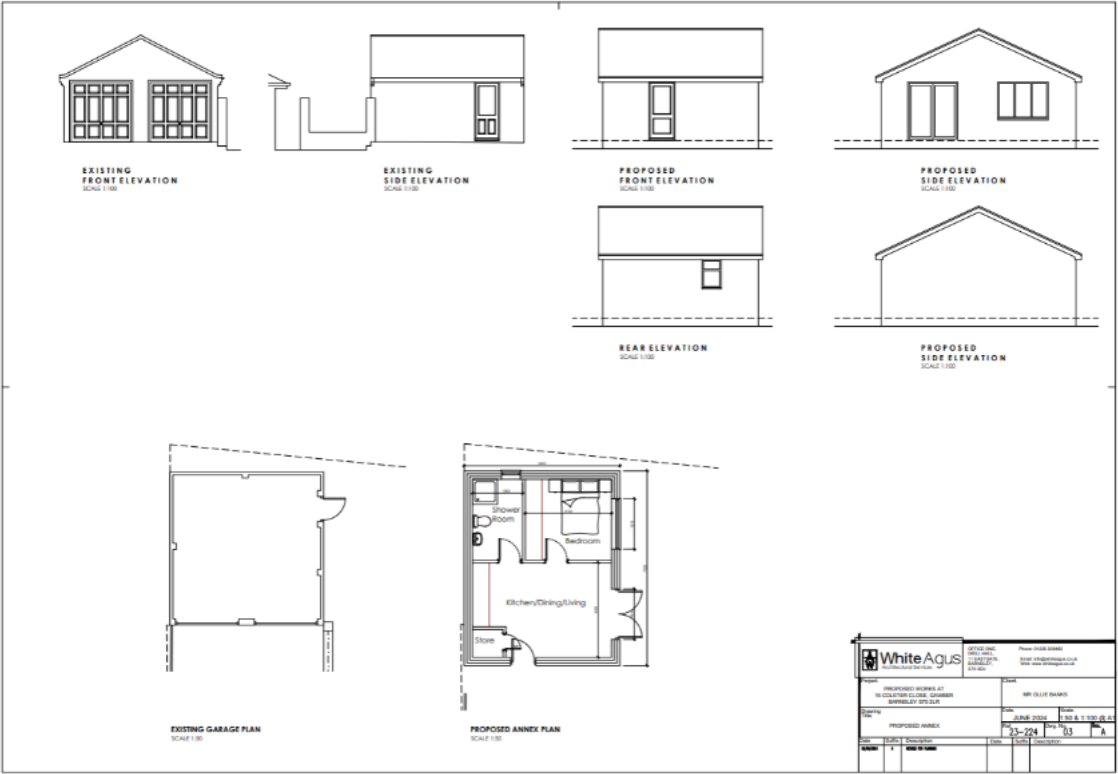
The proposed annex would be erected to the south-east corner of the application site and would measure approximately 5.6 metres wide by 7 metres deep and would adopt a pitched roof with an approximate eaves and ridge height of 2.6 metres and 4.3 metres respectively. The annex would be rendered white.

The proposed increase in height to the roof of the main dwelling would be approximately 1.8 metres. All roofs would be finished with grey coloured roof tiles.

During the application process, the proposed external materials were amended to alleviate concerns raised that the initial materials proposed could appear dominating given that they would have had a relatively dark appearance where the surrounding material palette is relatively light.







Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy GD1: General Development.***
- ***Policy T4: New Development and Transport Safety.***

Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

Other Material Considerations

- ***South Yorkshire Residential Design Guide 2011.***

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties. One representation was received from one address in support of the proposals.

Assessment

Principle of Development

Extensions and alterations to a domestic property and the erection of detached annexes in domestic curtilages are acceptable in principle if they would remain subservient to and are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Visual Amenity

Extensions and alterations to a domestic property and the erection of detached annexes in domestic curtilages are considered acceptable if they would not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The application property is a detached hipped roof bungalow constructed of brickwork with some feature stonework and rendering located to the south-west corner at the end of a residential cul-de-sac characterised by other detached bungalows of varying scale and appearance. The variance becomes increasingly apparent to the easternmost part of the street near to the junction with Wharfedale Road and includes pitched roof bungalows with large, street-facing gable projections and gable roof two-storey dwellings. A mix of brickwork, stonework and render is used throughout. The application property is located centrally within its plot and is largely screened by neighbouring properties on the south side of the street due to the lower ground level of the application site and existing extensions to those neighbouring properties. The application property only comes into full view at the end of the cul-de-sac.

The proposal involves extensive works that would fundamentally alter the existing character of the application property, including the installation of a pitched roof with a raised height and front gable projections, the erection of side and rear extensions and extensive changes to the external materials to incorporate stonework and silver birch cladding. It is therefore acknowledged that the proposal could impact upon the character of the street scene. However, any potential impact is not considered to be unduly harmful and would not significantly alter or detract from the character of the street scene. The proposed increase in height would result in minimal disruption to the existing stepped street scene ridge line as the application property is located at the end of the cul-de-sac at a lower level, and although the application property would have a greater ridge height than 11 Colster Close, the difference would not be significant and would not result in the application property being an overly dominant or prominent feature in the street scene. The proposed change to a pitched roof with front gable projections would not be out of character for the area with similarly designed properties present to the easternmost part of the street. The gable projections would also be set below the ridge of the main roof. The proposed side extension would not adopt an excessive sideways projection more than two thirds the width of the original dwelling. The side extension would also adopt a pitched roof and would be set back from the main front wall of the application property and set below the ridge of the main roof. The proposed rear extension would adopt modest rearward projection, and a gable pitched roof that would not exceed the ridge of the main roof. A Juliet balcony and flat roof dormer window would also be located to the rear and would not be visible from the public realm. The proposal would incorporate delph natural stone and eco scape silver birch cladding that would be relatively light in colour and neutral in appearance. The proposed external materials would be more sympathetic to the character of the street scene than the weathered stone and charcoal cladding initially proposed. In addition, surrounding properties do feature stone to varying degrees and the proposed stone would add interest to the application property by way of texture and colour and would generally harmonize with other proposed materials, which together, would contribute to a strong individualised character in a varied street scene. The silver birch cladding would help to break up the extent of the stonework whilst providing a moderate and pleasant contrast. In addition, the extent of any potential impact upon the character of the street scene would be further lessened by the

positioning of the application property within the application site, existing level differences and existing extensions to neighbouring properties which largely obscure the views of the application property from the public realm of much of the street. The application property only comes into full view at the end of the cul-de-sac which has no provision for through traffic.

The proposed annex would be located to the south-east corner of the application site and would only be visible from the public realm at the end of the cul-de-sac. The annex would adopt a scale and form similar to that of an existing detached double garage, including a pitched gable roof, and would be set significantly back from the highway and rendered white. A proposed side extension to the application property would provide further screening of the annex and views from the public realm would generally be restricted.

The proposal is therefore considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

Residential Amenity

Extensions and alterations to a domestic property and the erection of detached annexes in domestic curtilages are considered acceptable if they would not adversely affect the amenity of neighbouring properties.

The application property is located to the south of 14 Colster Closer. The proposed increase in height and extension to the front of the application property could therefore contribute to some additional overshadowing. However, any potential impact is not considered to be detrimental. Both properties are separated by an existing footpath and are set away from their respective site boundaries. In addition, any potential impact would likely be limited to the blank side elevation of the neighbouring property due to its orientation within its plot. Existing high and good quality boundary treatments could act as further mitigation. The occupant(s) of 14 Colster Close were notified of the application and no objections were received.

The application property is located to the west of 11 Colster Closer. The proposed increase in height and extension to the side of the application property could therefore contribute to some additional overshadowing. However, any potential impact is not considered to be detrimental as it would likely occur and be limited to the evening. In addition, the application site is set down from the neighbouring plot and existing high and good quality boundary treatments could act as further mitigation. The occupant(s) of 11 Colster Close were notified of the application and no objections were received.

Extensive ground floor corner glazing would be located to the south-west corner of the proposed rear extension and first floor windows would be limited to the south (rear) and west (side) elevations with a first-floor dormer window and Juliet balcony also to the south (rear). Most new windows would be at ground floor level and in similar locations as existing. The proposed rear-facing windows, dormer and Juliet balcony would face towards a vacant field that is allocated as land for mixed use in the adopted Local Plan. The land is referenced as MU1, and an application (2021/1090) is currently under consideration. It is not considered that the proposed development to the application property would impede the proposed development under consideration as part of this application. The proposed west-facing windows would face towards a playing field and playground within the curtilage of Gawber Primary School, and approximately 67 metres would be maintained to the nearest windows of the school directly opposite the application site. In addition, existing boundary treatments to the south and west including the mixed vegetation immediately adjacent are likely to provide acceptable screening at ground level, maintaining the amenity of the occupant(s) of the application property and the users of the adjacent school to a reasonable degree. The proposed east-facing window of the front extension would be set away from the party boundary and would face towards the blank side elevation of 11 Colster Close. The proposed front-facing windows of the front extension would face towards the blank side elevation of 14 Colster Close and would be screened by existing boundary treatments which would be retained.

The proposed development works to the main dwelling would not result in significantly reduced levels of outlook.

The House Extensions and Other Domestic Alterations SPD states that an annex should be single storey, and their size shall be up to 39m² and no larger than the size of a double garage. An annex may be permitted in a rear garden where it would not occupy a disproportionate amount of the garden, would not have its own separate access or garden area and would have a close physical relationship with the host property by maintaining some reliance with some shared facilities. In this instance, the proposed annex would have a single storey and would not exceed 39m², and an accompanying statement states that whilst the annex would contain all the facilities required for it be used as an independent unit, the facilities would be provided at a basic level and therefore some reliance on the host property would be maintained. The annex would also share access, parking and garden space and would be used by the same family occupancy, in accordance with the House Extensions and Other Domestic Alterations SPD. Nonetheless, a condition will be attached to any forthcoming decision to limit the use of the annex to immediate family members and to prevent the annex being sold or rented as a separate dwelling or planning unit at any time.

The proposed annex would be erected to the south-east corner of the application site and adjacent to the rear curtilage of 11 Colster Close. Whilst some overshadowing could occur, any potential impact would likely be limited to the evening and not peak times for use of a rear garden. In addition, the annex would replace an existing detached double garage of a similar scale in a similar location and therefore any potential overshadowing is likely to be similar to any existing level of impact which may be experienced and tolerated. Windows would be limited to the south (rear) and west (side) elevations of the proposed annex and would face into the application site and away from surrounding properties. The rear window would likely experience limited outlook due to its proximity to the rear boundary. However, the window would serve a non-habitable room and therefore the amenity of any future occupant(s) is not considered to be significantly detrimentally affected.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook or have an overbearing impact and is considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Highway Safety

An existing double detached garage and part of an existing driveway would be replaced by a new attached garage. The existing driveway to the front would also be retained. The proposed garage and the retained driveway would be sufficiently sized to accommodate a minimum of two off-street parking spaces, in accordance with the parking SPD.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

Recommendation - Approve with Conditions