

Design & Access Statement

2 St Johns Close Dodworth Barnsley S75 3RY

DESIGN AND ACCESS STATEMENT

Proposed amalgamation and remodelling of two adjoining semi-detached dwellings to form one single dwelling for multi-generational living

2 St John's Close, Dodworth, Barnsley, S75 3RY

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| APPLICANT | Ms Nichola Rodgers |
| AGENT | Hirst Architects Ltd |
| SITE ADDRESS | 2 St John's Close, Dodworth, Barnsley, S75 3RY |
| PROPOSAL | Amalgamation and remodelling of two adjoining dwellings to form one single dwelling for multi-generational living |
| EXISTING USE | Two domestic dwellings |
| DATE | 05 th December 2025 |

Prepared in support of a planning application. This statement should be read alongside the submitted drawings and application forms.



INTRODUCTION

This Design and Access Statement has been prepared on behalf of Ms Nichola Rodgers in support of a full planning application at 2 St John's Close, Dodworth, Barnsley, S75 3RY. The statement should be read alongside the submitted plans and elevations.

The application seeks planning permission for the comprehensive remodelling and physical amalgamation of the application dwelling with the immediately adjoining semi-detached dwelling, now under the applicant's control, to form one single dwellinghouse. The works comprise internal alterations, a structural connection between the two properties, reconfiguration of the internal layout, roof alterations, a first floor extension, a contemporary inset dormer, revised entrance treatment, fenestration changes and associated external works.

The purpose of the proposal is to provide suitable long-term accommodation for one large multi-generational family. The intended occupiers comprise three generations living as one household, including the applicant, the applicant's parents and the applicant's children. The proposal is therefore driven by a genuine residential need for shared family living, mutual support and adaptable accommodation over time.

SITE AND SURROUNDINGS

The site lies within an established residential area at St John's Close, Dodworth. The existing built form comprises a pair of adjoining semi-detached residential dwellings with off-street parking and domestic curtilage.

The property is experienced primarily from the fronting street. Although the buildings originate as two dwellings, the combined frontage, plot width and overall composition mean that the site has capacity to accommodate a coherent single architectural treatment without appearing contrived or over-dominant.

The existing property has a broad frontage and an established domestic scale. The current elevation includes a series of window openings, roof elements and ancillary built forms which read as separate components. The application provides an opportunity to rationalise and improve the appearance of the dwelling so that it reads as a more unified architectural composition.

The surrounding character is domestic. In visual terms, the application site has sufficient individuality for a unified design response to be assessed on its own merits. The design has therefore focused on creating one resolved building composition rather than leaving the property reading as two separately altered houses joined together.

The site is already in residential use and the proposal does not introduce a new use, a separate dwelling, or any form of development that would materially alter the residential character of the site.

DEVELOPMENT NEED AND PROPOSED USE

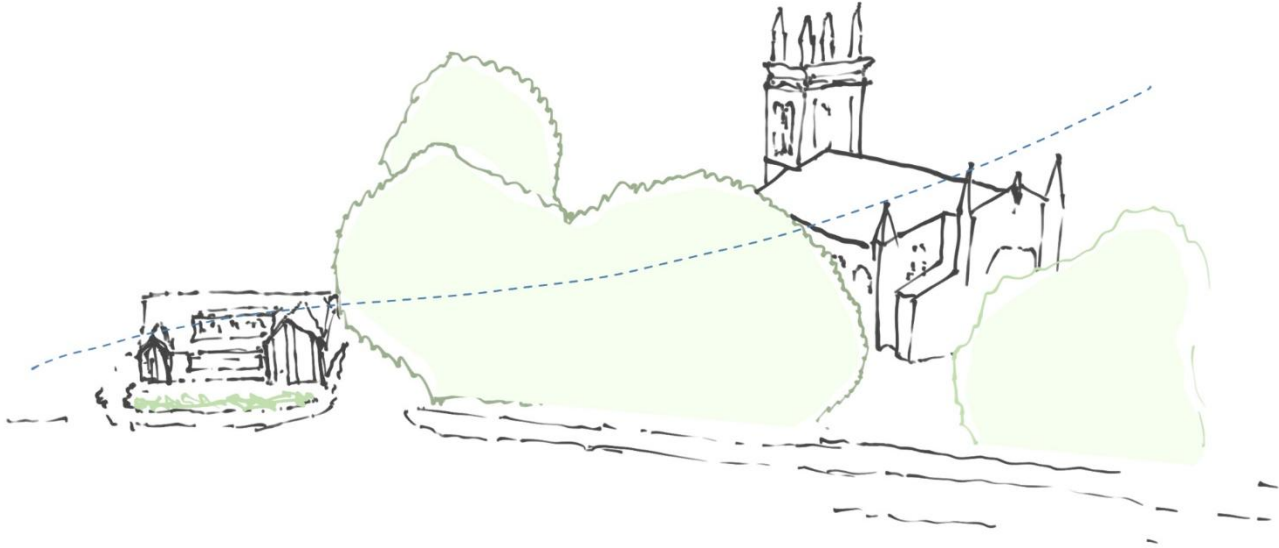
The existing use is residential. The proposal retains the site in residential use, but changes the way in which the accommodation is configured so that the two current dwellings operate as one single dwellinghouse fit for multi-generational living. Importantly, the scheme does not create a self-contained annexe, a separate flat or any form of sub-division. The submitted layout provides shared circulation and shared principal living accommodation consistent with occupation by one household within Use Class C3.

Whilst the proposal results in the amalgamation of two dwellings into one, it does not remove the site from the housing stock in functional land use terms. Rather, it adapts existing residential buildings to meet a specific family need which cannot readily be met by the existing arrangement. In planning terms, the acceptability of the proposal should therefore turn on its design quality, effect on amenity, parking and access arrangements, all of which are addressed within this statement.

The proposed development comprises external and internal alterations to the existing dwelling, including the remodelling of the front elevation, roof alterations, revised fenestration, and internal reconfiguration to provide improved family accommodation.

The proposed floor plans show a dwelling arranged to provide generous and flexible accommodation, including entrance hallway, living space, kitchen, playroom, utility, snug, accessible ground floor bedroom, bathrooms, boot room, storage, first floor bedrooms, office space, ensuite, and wardrobe/storage provision. The proposed works are intended to create a more practical and coherent unified family dwelling, with the internal spaces rationalised to improve day-to-day use, accessibility and legibility. The external design has been developed to reflect this internal arrangement, rather than applying openings or architectural features in an arbitrary manner.

DESIGN PRINCIPLES AND DESIGN EVOLUTION



The design approach has been guided by one central principle: architectural unification of the properties.

A piecemeal scheme of separate additions to each half of the pair would have produced a confused and unsatisfactory outcome. Instead, the submitted proposal has been developed as one comprehensive remodelling exercise with a consistent architectural language across the whole building. The massing of the proposals aligns with the surrounding building heights with lower building forms to the southerly most parts of the building and the taller massing to the northerly most part of the building which reads visually coherently in the massing with the adjacent church, drawing the eye along in the direction of the church as intended.

The proposal deliberately moves away from the appearance of two individual dwellings and creates a single clear identity. This is achieved through a rationalised roofscape, coordinated fenestration, a strong principal entrance composition, consistent walling and roofing materials, and a clearer hierarchy of front elevation elements. The design is contemporary in expression, but it remains rooted in familiar domestic characteristics including pitched roofs, gabled forms, masonry walling and a clearly legible entrance, whilst balancing this with subtle grand elements that give a respectful nod to the grandeur of the adjacent church. The proposal is therefore not an arbitrary stylistic exercise. It is a considered in depth highly considered response to the unique brief and to the need for the building to read as one home rather than as a visibly joined pair of houses.

The design approach has been to improve the architectural quality of the existing dwelling while ensuring that the scale, massing and residential character remain appropriate to the site and its surroundings.

The revised front elevation has been carefully composed so that the windows and architectural elements reflect the internal spaces behind them. The proposed glazing is not an arbitrary decorative treatment. It is directly related to the arrangement of the rooms internally and has been set out to provide a clear rhythm and repetition across the principal elevation. A key feature of the proposed front elevation is the central stone element which runs vertically through the middle of the glazed gable. This stone pier provides visual strength and architectural logic to the elevation, while also giving the appearance of structural support to the ridge above. The result is a more grounded and balanced composition, where the glazing is broken down into more domestic proportions and the roof form is visually supported.

The vertical stone element also helps to avoid the gable becoming an overly glazed or lightweight feature. It divides the glazing into a more measured arrangement, providing depth, articulation and a stronger relationship between solid and void. This approach gives the elevation a contemporary character while still retaining a sense of permanence and domestic robustness. The window arrangement follows the internal layout of the dwelling. The proposed openings align with the rooms they serve and create a readable relationship between the internal plan and the external appearance. This is consistent with good design practice, as the building's external composition expresses the function and arrangement of the spaces within. The repeated vertical glazing proportions, the central stone feature, the gable form and the modern dormer together create a consistent architectural rhythm. The proposal improves the existing elevation by replacing a more fragmented arrangement with a clearer and more intentional composition.

Barnsley's House Extensions and Other Domestic Alterations SPD sets out that proposals should be of a scale and design which harmonises with the existing building, should not adversely affect neighbouring amenity, should maintain the character of the street scene and should not interfere with highway safety. The proposal has been developed against those principles. The developed design does not seek to create an overly dominant or discordant addition. Instead, it seeks to rationalise the existing appearance of the dwelling and introduce a clearer architectural language. The front elevation is treated as the principal public-facing elevation and has therefore been given particular design consideration in its vernacular.

The design also responds to the principles of Barnsley Local Plan Policy D1: High Quality Design and Place Making, which expects development to respect, take advantage of and reinforce the distinctive local character and features of Barnsley, including townscape character, scale, building styles and materials. The proposal achieves this by using a domestic scale, a coherent roof form, a considered material palette and a fenestration pattern that reflects the internal use of the building.

AMOUNT, LAYOUT AND INTERNAL ARRANGEMENT

The amount of development is proportionate to the brief and to the unusually large family size. The proposal does not extend development into a new part of the site in a manner that would materially change the site's residential character. Instead, it remodels and modestly enlarges existing built form in order to make the accommodation workable as a single family dwelling.

At ground floor, the layout is arranged to provide connected family living space together with a degree of privacy and flexibility. The submitted plans show an entrance hallway, main living area, kitchen, snug, playroom, utility accommodation, ancillary storage and associated bathrooms. Of particular importance is the provision of an accessible ground floor bedroom with nearby bathroom accommodation, allowing the house to support older family members or changing mobility needs over time.

At first floor level, the accommodation is reorganised to provide family bedrooms, office space, bathroom and ensuite accommodation, storage and a clear internal circulation route across the former boundary between the two dwellings. The plan form therefore functions as one house and not as two dwellings with a token connection.

SCALE, MASSING AND APPEARANCE

In townscape terms, the proposal remains domestic in scale. It is not read as an over-intensive redevelopment of the plot, nor does it introduce a building typology foreign to the area. The scheme is best understood as the remodelling of existing residential built form into a single larger family home. The massing strategy is designed to control visual width and maintain legibility. The principal front gables help break the elevation into recognisable domestic elements, while the central roof form remains simple and pitched. The inset dormer is contained within the main roof, sits below the ridge and is read as a subordinate element within the wider composition.

The front elevation has been carefully composed so that the property presents as one resolved building. The revised entrance, the strong vertical glazed treatment to the principal front-facing gables and the rationalised window arrangement all assist in creating a single centre of gravity for the building and in avoiding the visual confusion that would result from retaining two separate identities.

Although contemporary in expression, the scheme remains sympathetic to its surroundings. It uses conventional domestic form and proportion, but interprets those elements in a cleaner and more unified manner. This is preferable to a pastiche approach and is entirely justified by the objective of creating one cohesive dwelling from two existing houses. The proposal remains domestic in scale and is proportionate to the existing dwelling and its residential setting. The works do not introduce an inappropriate commercial or institutional appearance. The building continues to read as a private dwelling within an established residential context. The amended roof form and front elevation are intended to provide a stronger architectural identity while remaining visually compatible with the host building. The gabled feature to the front elevation provides a clear focal point, while the dormer and window arrangement sit within the wider roof composition. The design avoids unnecessary visual clutter and instead relies on a limited number of coherent architectural moves: a defined entrance, a strong gable element, repeated glazing proportions, a central stone pier, and a restrained material palette.

MATERIALS AND DETAILING

The external materials palette is intentionally restrained. Stone remains the dominant walling material, maintaining continuity with the existing building and with the wider domestic character of the area. The re-roofed building will use grey concrete roof tiles to create a consistent roof finish across the full width of the property. Window frames and feature framing are proposed in a dark finish, allowing the glazed elements and recessed roof feature to read clearly while remaining visually crisp and recessive within the overall composition.

The success of the scheme depends to a significant degree on material discipline. By limiting the palette and coordinating detailing across the whole frontage, the proposal avoids the appearance of unrelated add-ons and instead gives the development one clear architectural identity.

The proposed material approach is intended to create a high-quality domestic appearance. The use of stone to the central vertical element provides a robust and locally appropriate material reference, giving the elevation a sense of solidity and permanence. The lighter walling treatment and darker roof finish provide contrast and help to define the overall form of the dwelling. The proposed glazing and framing provide a contemporary but restrained appearance. The extent of glazing is moderated by the central stone feature and by the rhythm of the window arrangement, ensuring that the front elevation remains balanced and domestic in character.

The overall material palette is intended to be simple, durable and visually coherent. The proposal therefore accords with the design principles set out within Barnsley's adopted SPD guidance, which encourages architectural quality, appropriate composition, and the use of high-quality materials.

RESIDENTIAL AMENITY

The site is already in residential use and the proposal remains wholly residential. It does not introduce a commercial use, a more intensive land use or any activity that would be materially out of character with the surrounding area.

The design has been developed so that the house can function as one large family home without causing unacceptable harm to neighbouring occupiers. The proposal primarily remodels existing built form and uses the generous frontage to absorb access and parking requirements. There is no reason to conclude that the development would give rise to unacceptable overlooking, overbearing impact, loss of outlook or other significant amenity harm warranting refusal. The scheme also improves visual amenity. Instead of leaving the site as an ordinary paired frontage with incremental domestic alterations, it replaces that arrangement with a more coherent and better resolved building composition.

The proposal has been designed to avoid unacceptable harm to neighbouring residential amenity. The property is already in residential use and the works do not introduce a more intensive use of the site. The revised window arrangement is primarily focused on improving the principal elevation and providing natural light to the internal accommodation. The proposal does not introduce an arrangement of side-facing or rear-facing openings that would give rise to unacceptable overlooking, loss of privacy, or overbearing impact.

The scale and position of the proposed works are considered acceptable in relation to neighbouring properties. The development would not result in any significant loss of daylight, sunlight or outlook to adjoining occupiers.

ACCESS, PARKING AND INCLUSION

Existing pedestrian and vehicular access arrangements are retained with only minor changes resulting in vehicles egressing in a forward gear. No new highway access point is proposed. The development therefore sits comfortably within the established access pattern of the street.

The application documentation confirms an increase in on-site parking area from two spaces to four spaces. For a large multi-generational household, that level of provision is appropriate and assists in ensuring that the proposal does not create undue pressure for on-street parking or prejudice highway safety.

The dwelling has been planned with inclusive occupation in mind. The provision of accessible ground floor sleeping and bathroom accommodation is a significant benefit, allowing occupation by older family members and improving the adaptability of the property over its lifetime. The rationalised entrance arrangement and clear internal circulation also improve day-to-day usability for all occupants and visitors. The proposed alterations improve the legibility and usability of the dwelling. The amended entrance arrangement provides a clearer and more identifiable point of arrival, improving the way the building is understood and accessed from the front.

The internal layout has been rationalised to provide improved family accommodation and flexibility. The inclusion of an accessible ground floor bedroom, associated ground floor accommodation and improved circulation provides a more adaptable home capable of supporting changing family needs.

The proposal therefore has a positive access and usability benefit within the existing residential use of the property.

The proposal relates to alterations to an existing residential property and does not create a separate dwelling or introduce a materially different use. It would not result in a material increase in traffic generation or give rise to any unacceptable highway safety issue.

The proposal is therefore considered to comply with the general highway safety principles set out within Barnsley's domestic alteration guidance.

PLANNING POLICY ASSESSMENT

The proposal falls to be assessed against the development plan and other material considerations, including the National Planning Policy Framework, Barnsley's adopted Local Plan, the Design of Housing Development Supplementary Planning Document and the House Extensions and Other Domestic Alterations Supplementary Planning Document.

National policy places substantial weight on good design. The National Planning Policy Framework confirms that the creation of high quality, beautiful and sustainable buildings and places is fundamental to the planning process. It further requires development to function sustainably over its lifetime, to be visually attractive, to be sympathetic to local character whilst not discouraging appropriate innovation, and to create safe, inclusive and accessible places with a high standard of amenity.

At local level, Policy D1 of the Barnsley Local Plan seeks high quality design that respects and reinforces local character and expects development to contribute positively to place making, provide inclusive environments, display architectural quality and make best use of materials. Policy requires, amongst other things, that development does not have a significant adverse effect on the living conditions and residential amenity of existing and future residents, is compatible with neighbouring land and is served by adequate access. Policy requires development to provide safe, secure and convenient access and movement.

The proposal accords with those objectives. First, it keeps the site in residential use within an established residential area and responds to a genuine housing need for one extended family. Secondly, it materially improves the design quality of the property by replacing a pair of ordinary dwellings with one coherent architectural composition. Thirdly, it remains domestic in character and does not give rise to any identified unacceptable impact upon neighbouring amenity. Fourthly, the proposal retains satisfactory access arrangements and provides appropriate on-site parking for the intended household. The adopted house extensions guidance is also relevant. That guidance emphasises the importance of harmonising with the existing building, protecting neighbour amenity, maintaining the street scene and avoiding highway harm. The submitted scheme satisfies those core principles. While the design adopts a more contemporary language than a conventional extension, that approach is justified by the unusual brief and by the need to produce a resolved single-house composition rather than an awkwardly enlarged pair of semis.

The front roof feature should likewise be considered in the round. This is not a standard isolated dormer added to one half of a dwelling. It forms part of a comprehensive redesign of the whole frontage and roofscape and remains subordinate to the dominant pitched roof form. In planning terms, the key question is whether the overall composition is successful. In this instance it is considered that the proposal delivers a higher quality design outcome than a more literal replication of the existing form would have achieved.

Although the proposal results in one dwelling rather than two units, the site remains in residential use and the scheme secures a form of accommodation that directly addresses the needs of a large three-generation family. In the absence of any significant design, amenity or highway harm, that circumstance should attract positive weight in the planning balance.

The proposal has been considered against the relevant provisions of the Barnsley Local Plan and adopted Supplementary Planning Documents.

Policy D1: High Quality Design and Place Making requires development to be of high-quality design and to respect, take advantage of and reinforce local character, including the scale, layout, building styles and materials of the built form in the locality. The proposal responds positively to this requirement by improving the architectural composition of the dwelling and providing a more coherent and considered front elevation.

Policy GD1: General Development supports development where it is compatible with neighbouring land uses and does not cause unacceptable harm to residential amenity. The proposal remains domestic in use, proportionate in scale and appropriate to its residential setting.

Barnsley's House Extensions and Other Domestic Alterations SPD advises that domestic proposals should harmonise with the existing building, maintain the character of the street scene, avoid harm to neighbouring amenity and avoid highway safety harm. The proposed works have been designed to meet these principles. The development improves the existing building's public-facing appearance, introduces a more balanced and legible elevation, and avoids any unacceptable impact on neighbouring properties or highway safety.

The proposal also reflects the wider design principles contained within Barnsley's adopted Design of Housing Development SPD, particularly in relation to architectural quality, legibility, appropriate composition, use of materials and the relationship between built form and surrounding context.

CONCLUSION

The application presents a clear and well-reasoned response to a multi-generational housing requirement. It retains the site in residential use, provides a single adaptable family dwelling, improves the inclusivity of the accommodation and creates a far stronger architectural composition than would be achieved through piecemeal domestic additions.

The proposed development represents a considered and high-quality remodelling of the existing dwelling. The revised design improves the appearance, usability and architectural coherence of the property while retaining an appropriate domestic scale and character.

The amended front elevation has been carefully composed so that the windows correspond with the internal rooms and create a clear rhythm and repetition across the elevation. The central stone pier within the glazed gable provides visual support to the ridge, breaks down the glazing into more appropriate domestic proportions and gives the elevation a stronger sense of permanence and architectural logic.

The proposal would enhance the existing dwelling, improve the character of the principal elevation, and provide a more practical and adaptable family home. It would not result in unacceptable harm to neighbouring amenity, the street scene or highway safety.

For the reasons set out above, the proposal is considered to accord with the relevant provisions of the National Planning Policy Framework, Barnsley Local Plan Policies and the Council's adopted supplementary planning guidance.

Planning permission should therefore be granted.