

2023/0112

Ms Isabel Hobson

Demolition of existing building and erection of new dwelling

Stonelea Bungalow, Lee Lane, Millhouse Green, Sheffield, S36 9LN

Background

No planning history

Site Description

The property is a detached stone built bungalow set on Lee Lane Millhouse Green. The property is set within a fairly large plot and is set back from the highway with a large front garden laid to grass.

The property is accessed via a driveway from Lee Lane and has a detached garage set to the rear which is to remain as part of this proposal. The property has a low pitched roof with a large chimney feature to the frontage.

The street scene consists of a variety of individually designed properties, including two storey dwellings and bungalows, mainly constructed of stone and brick. The rear of the properties along Lee Lane face over Green Belt land to the north.

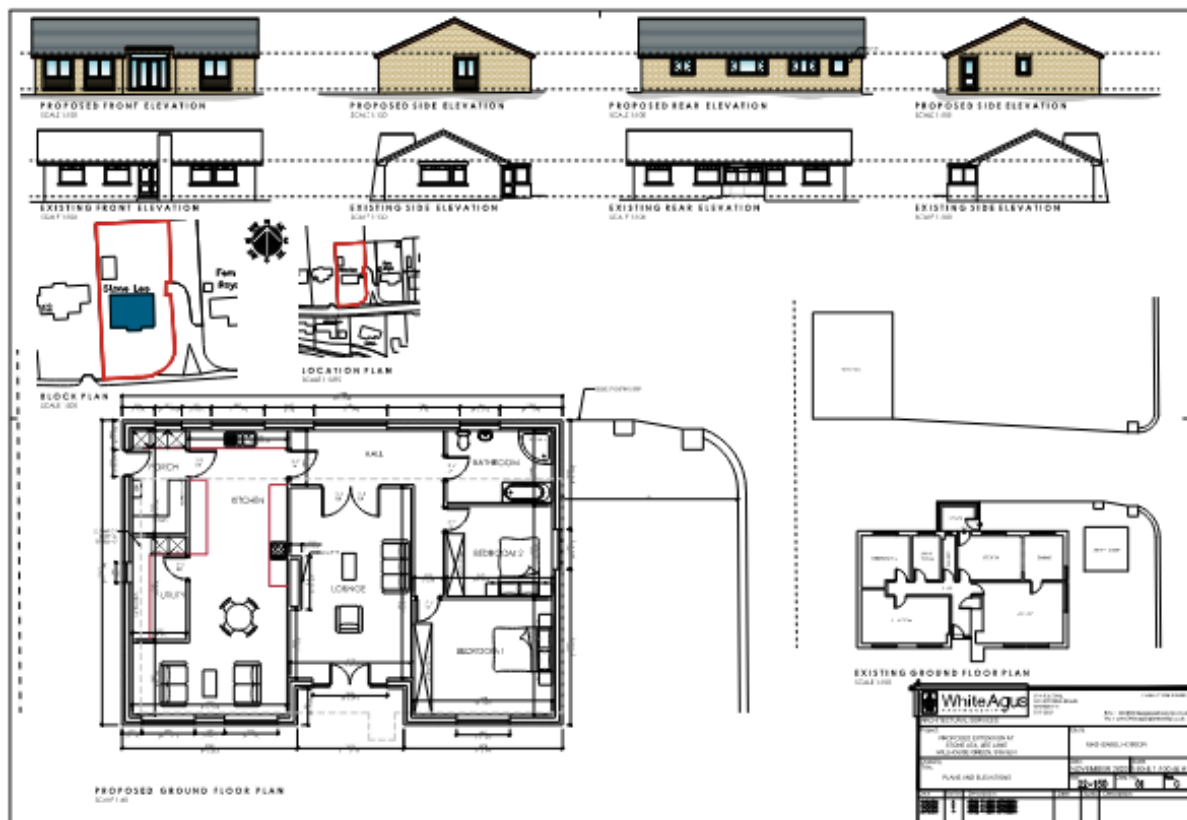


Proposed Development

The applicant is seeking approval for the demolition of the existing bungalow and the erection of a new bungalow. The existing garage on site is to remain. The new proposed dwelling would be set further forward in the plot but would still follow the existing building line. The existing dwelling has a floor area of approximately 119sqm and the proposed dwelling is larger in footprint at 150sqm.

The height of the proposed dwelling would be approx. 5.1m to the pitch of the roof which is a small increase of 0.3m above the ridge of the existing dwelling. The dwelling has been designed with a low pitched roof similar to the existing dwelling and a more modern frontage. The application form states that the dwelling would be constructed from stone, however no further details have been provided.

As part of the application a Bat Survey and Coal Mining Risk Assessment has been submitted in support of the proposals.



Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents

and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022.

The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

Local Plan Allocation – Urban Fabric

In reference to this application, the following policies are relevant:

GD1 General Development
H1 The Number of New Homes to be Built
H4 Residential Development on Small Non-allocated Sites
H9 Protection of Existing Larger Dwellings
LG2 The Location of Growth
T3 New Development and Sustainable Travel
T4 New development and Transport Safety
SD1 Presumption in Favour of Sustainable Development
CC1 Climate Change
CC4 Sustainable Drainage Systems (SuDS)
D1 High Quality Design and Place Making
Poll1 Pollution Control and Protection
BIO1 Biodiversity and Geodiversity

SPDs

The proposals have been considered in relation to the following SPD's:-

- Design of housing development
- Parking
- Sustainable Travel

Other Guidance

South Yorkshire Residential Design Guidance

NPPE

The National Planning Policy Framework sets out the Governments planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

Penistone Neighbourhood Plan – Adopted August 2019

BE1: Design of the built environment

All new housing proposals should adhere to the following principles, where it is appropriate:

a) Where new housing developments are proposed, homes should be reflective of local architecture and in keeping with the surrounding area. In particular, the following design principles should be adhered to:

- To have no houses above two storeys on the perimeter of built up areas where it adjoins open countryside, where they have a greater impact upon the surrounding area in order to preserve and enhance the character of the area, in particular allocation sites HS70, HS71, HS74, HS75 as shown in Barnsley Local Plan.
 - New developments should use external building materials that reflect the characteristic of development in the locality.
- b) All residential developments will be expected to be designed so as to be sensitive to any existing wildlife habitat and corridor and should be appropriately landscaped and in particular development on the edge of the existing settlements shall incorporate tree planting so as to soften the built-up edge of the settlement as viewed from the countryside. Any residential development of 20 or more units will be expected to make provision for the appropriate amount of open space, in accordance with Barnsley MBC standards.
- c) Development proposals should respect and maintain key views as identified on maps 2 and 3, in order to maintain the character and appearance of the town and villages.

Consultations

Penistone Town Council – No comments received

Highways – No objection subject to condition

Drainage – Details to be checked by Building Control

Yorkshire Water – No comments received

Ecology Officer – No objection subject to conditions/informative

Ward Members – No comments received

Representations

Neighbour notification letters were sent to surrounding properties, 1 objection has been received which raises the following concerns:-

- Noise, dust and disturbance from construction
- Environmental impact of demolishing the 1970's bungalow replacement dwelling and materials required
- Trees and shrubs have already been removed

Assessment

Principle of Development

The site is located within an area of Urban Fabric where Local Plan Policies GD1 'General Development' and H4 'Residential Development on Small Non-allocated Sites' apply. These policies require that development should be compatible with its surroundings and in this case, the street is predominantly residential and the proposal is for one replacement dwelling which is acceptable in principle.

Residential Amenity

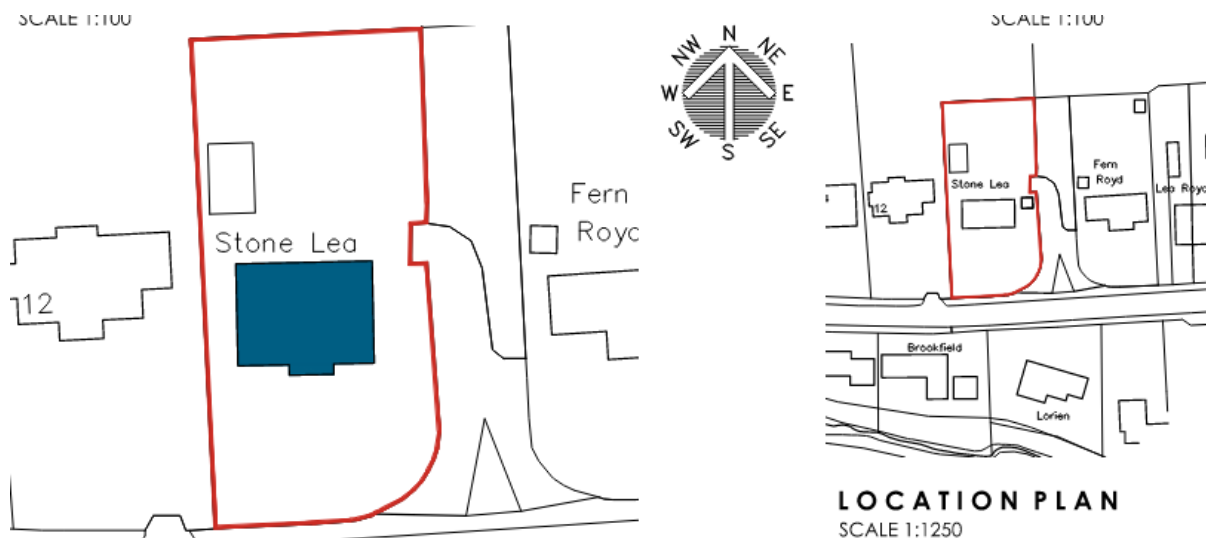
The Supplementary Planning Document 'Design of Housing Development' provides guidance in terms of separation distances and other amenity requirements, in order to ensure that any new development does not cause significant impact by way of overlooking, overbearing and overshadowing of existing dwellings and their private gardens. Further detailed guidance on residential development is provided in the South Yorkshire Residential Design Guide. The Guide includes information requirements, design guidelines and technical requirements.

The existing dwelling is set on a large plot. The proposed submitted layout would meet the Council's guidelines in terms of privacy requirements and separation distances to other dwellings. The proposal includes habitable ground floor side windows facing the east, however these replace existing habitable room windows in the same location, therefore overlooking would not be increased significantly. The dwelling has been designed with internal and external spacing standards (including adequate room sizes and garden areas) which comply with the requirements of the SYRDG and the SPD.

Given the above, the proposal is therefore considered to be acceptable in terms of residential amenity in compliance with Local Plan Policy GD1: General Development.

Visual Amenity

Local Plan Policy D1 High Quality Design and Place Making, sets out the principles that will apply to the consideration of planning applications for new housing development, including conversions, infill and backland development.



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Lee Lane has a varied street scene of single storey and two storey dwellings. Concerns have been raised with regard to the loss of the original 1960's bungalow, however the proposed dwelling is of a similar height and scale to the existing bungalow and would allow the replacement to be of a more modern energy efficient construction. The design put forward is similar to the existing in terms of the pitched roof and simple detailing. Due to the heights, materials and design of dwellings within the street scene, the proposed modern single storey stone built dwelling is not expected to look out of character nor be detrimental to visual amenity, subject to the submission of material samples.

The proposed development is therefore acceptable in terms of visual amenity in accordance with Local Plan Policy D1: High Quality Design and Place Making.

Highway Safety

The Highways Officer has been consulted and has no objection to the proposal. It is proposed to demolish a two-bedroomed bungalow and replace this with a similar two-bedroomed bungalow on a comparable footprint. Two off-street parking spaces are to be retained and this figure is commensurate with the guidance in the Parking SPD. It would appear unlikely that any changes to servicing arrangements would be necessary.

Given the above, the scheme is acceptable from the perspective of highways in accordance with Policy T4 of the Local Plan.

Ecology

A Bat report has been submitted with the application and states that the building is assessed as providing negligible potential for roosting bats and therefore, the demolition of the bungalow will have no impact on roosting bats, providing due care is taken by the workforce. The Ecology Officer has no objections to the proposal subject to conditions and mitigation measures/enhancements to be conditioned in accordance with Local Plan Policy BIO1.

Concerns have been raised by the objector in terms of the loss of shrubs and trees on the site, however these are not protected and can be removed without consent.

Other Matters

In terms of noise and disturbance during construction works this can be controlled by way of a planning condition.

Recommendation

Approve with conditions