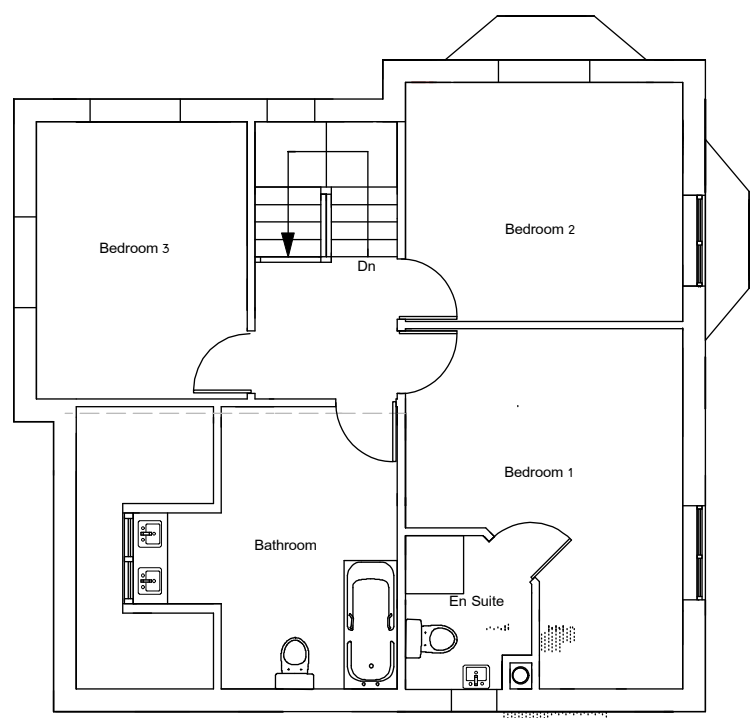
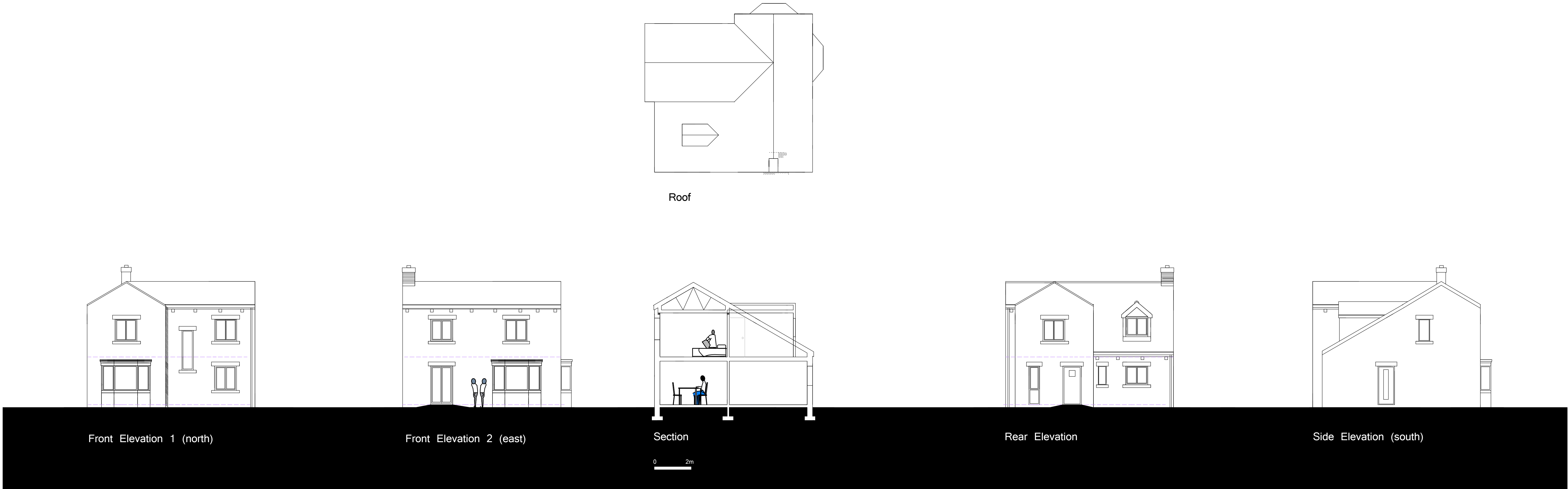
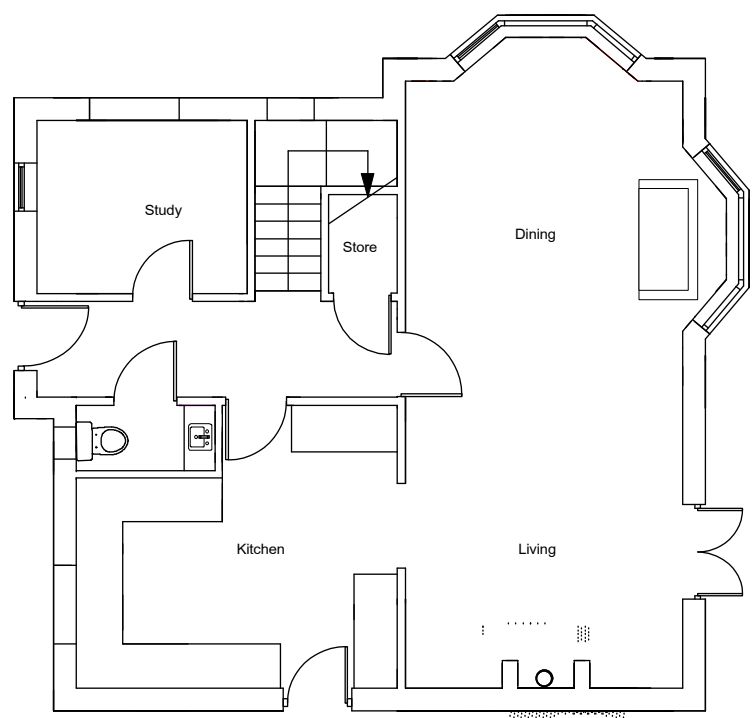


HOUSE TYPE R
PLOT 45
122m2 + GARAGE 18m2



First



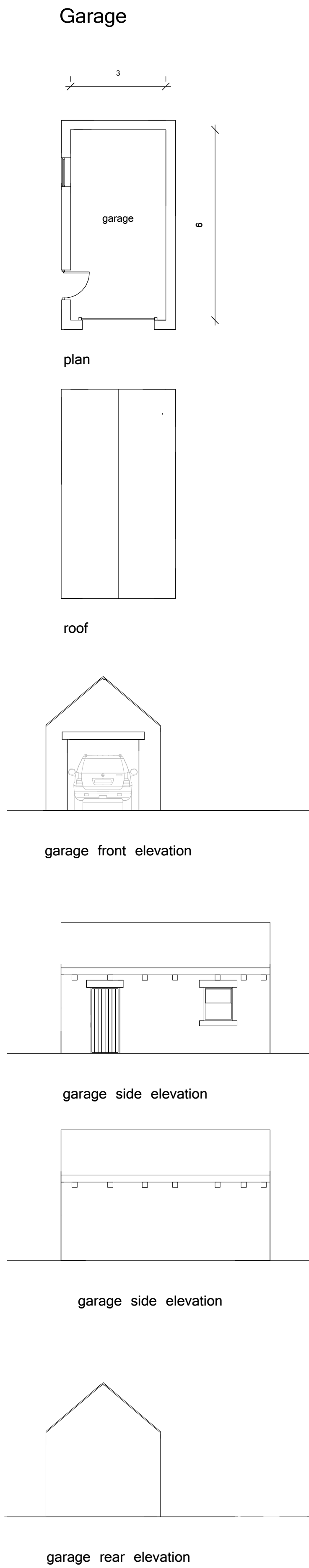
Ground

Notes/Advisories

No Dimensions To Be Sued From This Drawing Which Is The Property Of The Company AND, LTD. It Is Not To Be Used Or Disclosed In Any Way Except As Authorized By The Company	The Drawing Will Not Be Assigned To Any Third Party. The Client Is Responsible For Providing The Architect With The Correct Site Boundary/Ownership Definitions And Any Constraints Or Easements Relating To The Site AND, LTD Will Assume Site Boundaries As Clearly Defined/Indicated Unless Otherwise Noted By The Client	Principal Contractor/contract manager Is Responsible For Ensuring Works Are Signed Off And Certificate Of Completion Is Issued By Building Control	It Is The Responsibility Of The Principal Contractor To Notify The Architect Of Any Discrepancies On The Drawing Prior To Construction. All Dimensions To Be Checked On Site. If In Doubt Ask!
The Architect AND, LTD Owns All Intellectual Property Rights Including The Copyright In The Drawings And Documents Produced In Performing The Services And Generally Assists The Architect's Moral Rights To Be Identified As The Author Of Such Work. No Part Of Any Design By The Architect May Be Registered By The Client Without Written Consent Of AND, LTD	No Work To Be Carried Out Without Planning Permission. Until All The Stat Planning Conditions Have Been Discharged And Used In Building Regulations Application Has Been Submitted. Any Work Carried Out Before Building Regulations Approval Has Been Granted and any conditions discharged Will Be Sited At Client's Own Risk.	Any Building Works Within 1m Of A Neighbouring Property Foundation May Require You To Notify The Owner Of That Property Of Your Intentions At Least One Month Before You Start Work. Work To Be Carried Out Must Be Done To Give At Least Two Months Notice Of Your Intentions If Consent To Carry Out Work Cannot Be Reached Provisions Dealing With A Dispute Should Be Followed (see Part 19 of Act 1999)	ALL WORKS MUST COMPLY WITH CDM 2015
			NO CAD DRAWINGS WILL BE ISSUED TO ANY THIRD PARTY !!

Notes
Walls Stonefacing brick To Be Agreed With Planning Officer stone heads projecting stone sill
Roof Slate or Thatch conservation rooflight Brett Martin Cast Or Stormguard Aluminium Half Round Gutter
Windows Residence Collection Or Similar Upvc Flush Fitting Casements. Detailing To Be Repeated Across Window Types. Windows Set Back 50mm In Reveal RAL Number To Be Agreed
All Soil And Vent Pipes To Be Internal

Garage



REVISION	NOTE	DATE	DRAWN BY
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