

**EXISTING GABLES.**

- EXISTING GABLES TO BE TAKEN DOWN AND REBUILT WITH BRICKS OR TAKEN TO SITE AND BUILT OFF ACCORDING TO CLIENT'S REQUIREMENTS.
- SEE NOTE ON EXISTING ELEVATIONS BELOW.

**NEW FACING BRICKWORK SPECIFICATION.**

- FACING BRICKWORK TO BE RED RUSTIC WIRE CUT TO MATCH EXISTING.

**NEW ROOFTILE SPECIFICATION.**

- NEW ROOFTILES TO MATCH THE EXISTING AND TO BE MARKET LEADERS INTERLOCKING ROOF TILES - TYPE DOUBLE ROMAN COLOUR ANTIQUE.
- RIDGE TILES TO BE HALF ROUND SECTION AS EXISTING - COLOUR ANTIQUE.

**NEW SLIDING FOLDING PATIO DOOR**

- TO BE AN WHITE P.V.C. OF SPECIALIST MANUFACTURE WITH THE EQUIVALENT 'U' VALUE AND TRACHEL VALVE AS THE WINDOWS AND DOORS, REFERRING TO AS IN NOTE 'E' IN WINDOW AND DOOR'S NOTES.

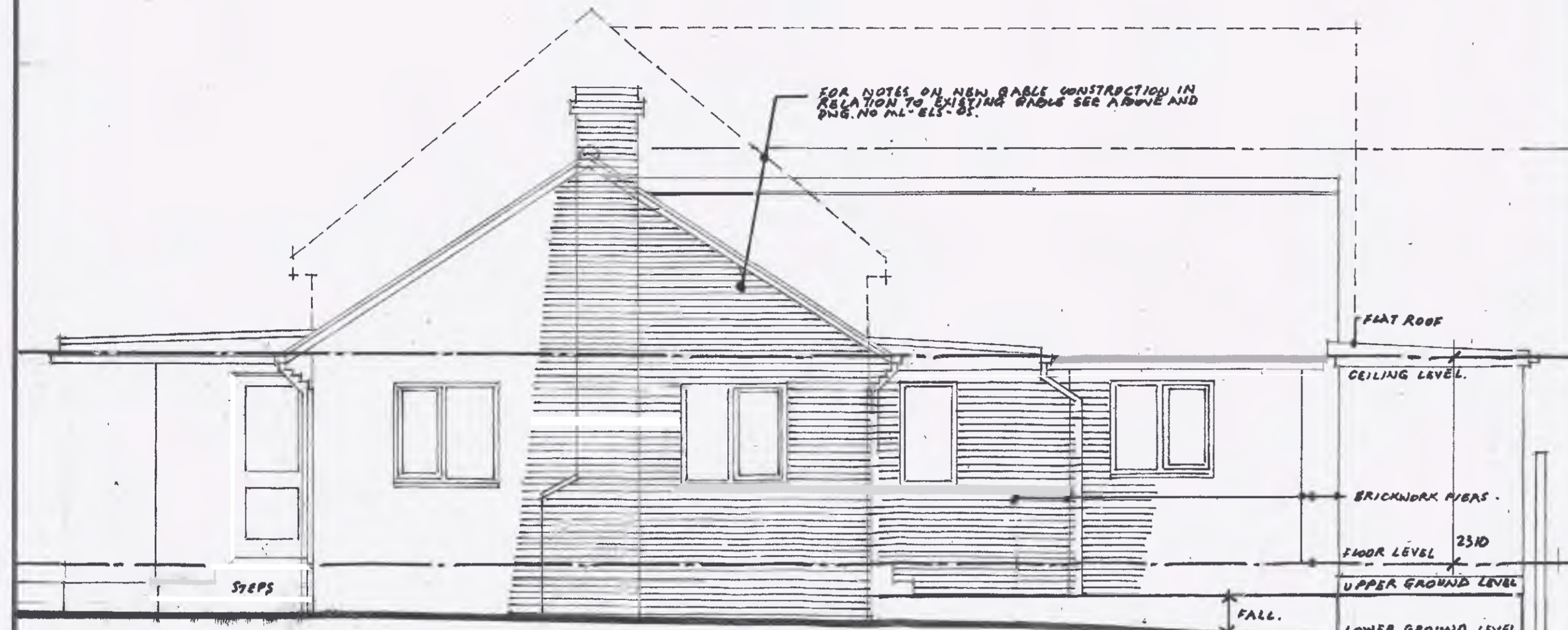
**NEW WINDOWS AND DOORS.**

- FOR SPECIFICATIONS AND ALL NOTES SEE DWG NO ML-ELS-01.

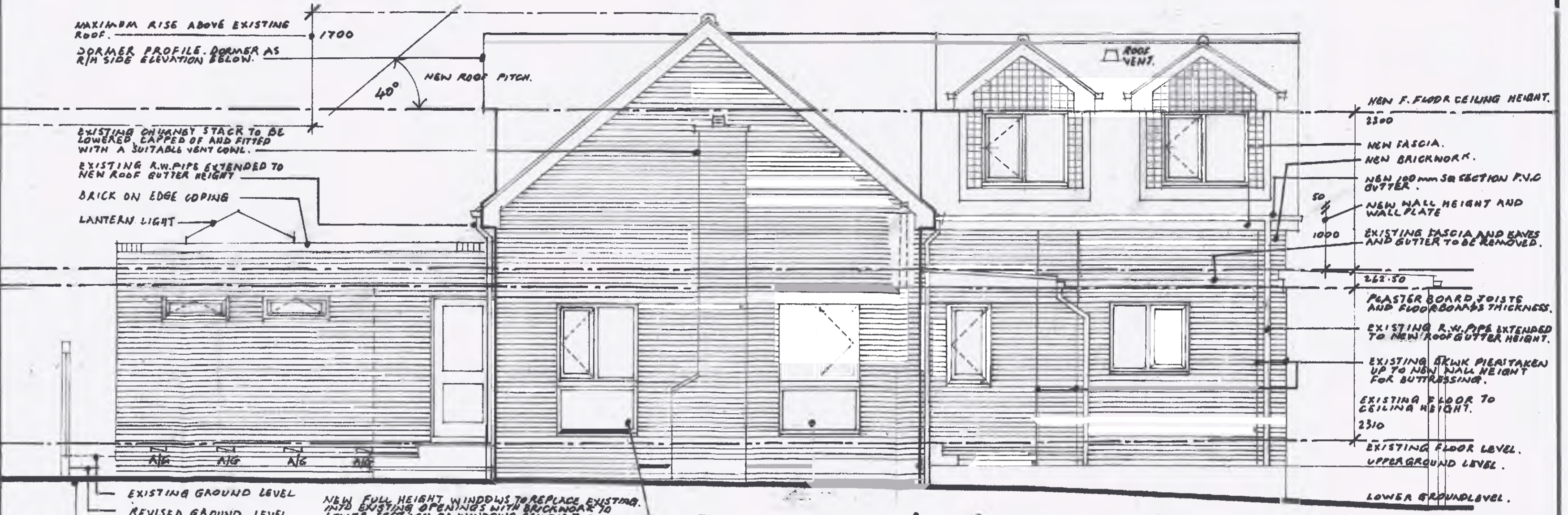
**R.W. GOODS, FASCIA, GARGE BOARDS SOFFITS AND VERGE PROFILES (MAIN ROOF AND DORMERS).**

- FOR ALL NOTES AND SPECIFICATIONS FOR THE ABOVE SEE DWG NO. ML-ELS-01.

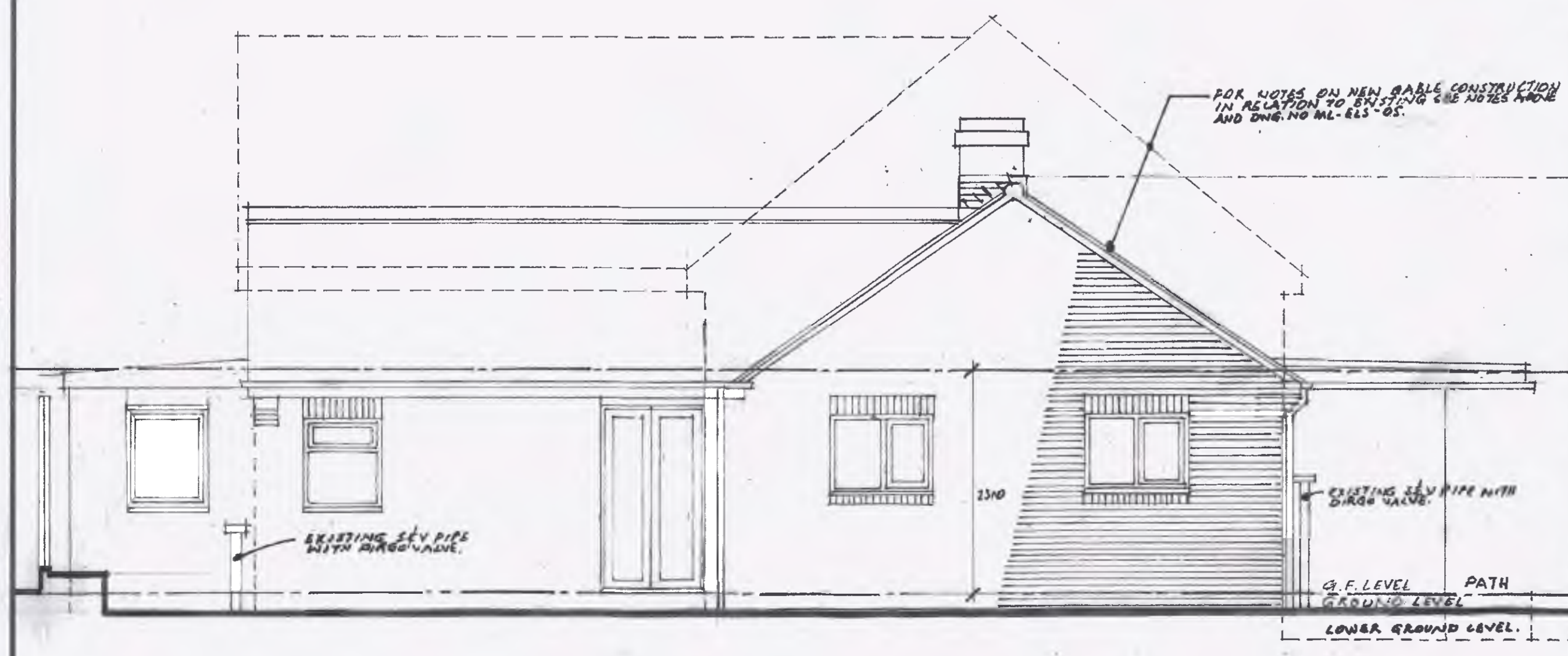
NO.	REVISION



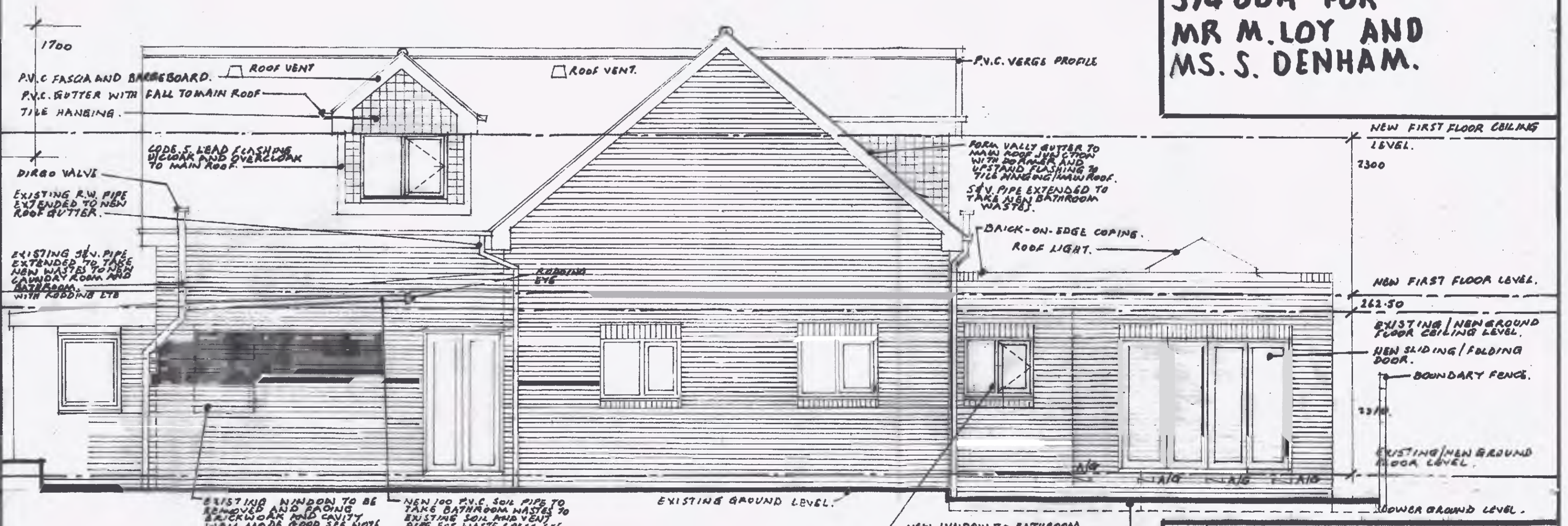
EXISTING SIDE ELEVATION. (L/H)



PROPOSED SIDE ELEVATION. (L/H)



EXISTING SIDE ELEVATION. (R/H)



PROPOSED SIDE ELEVATION. (R/H)

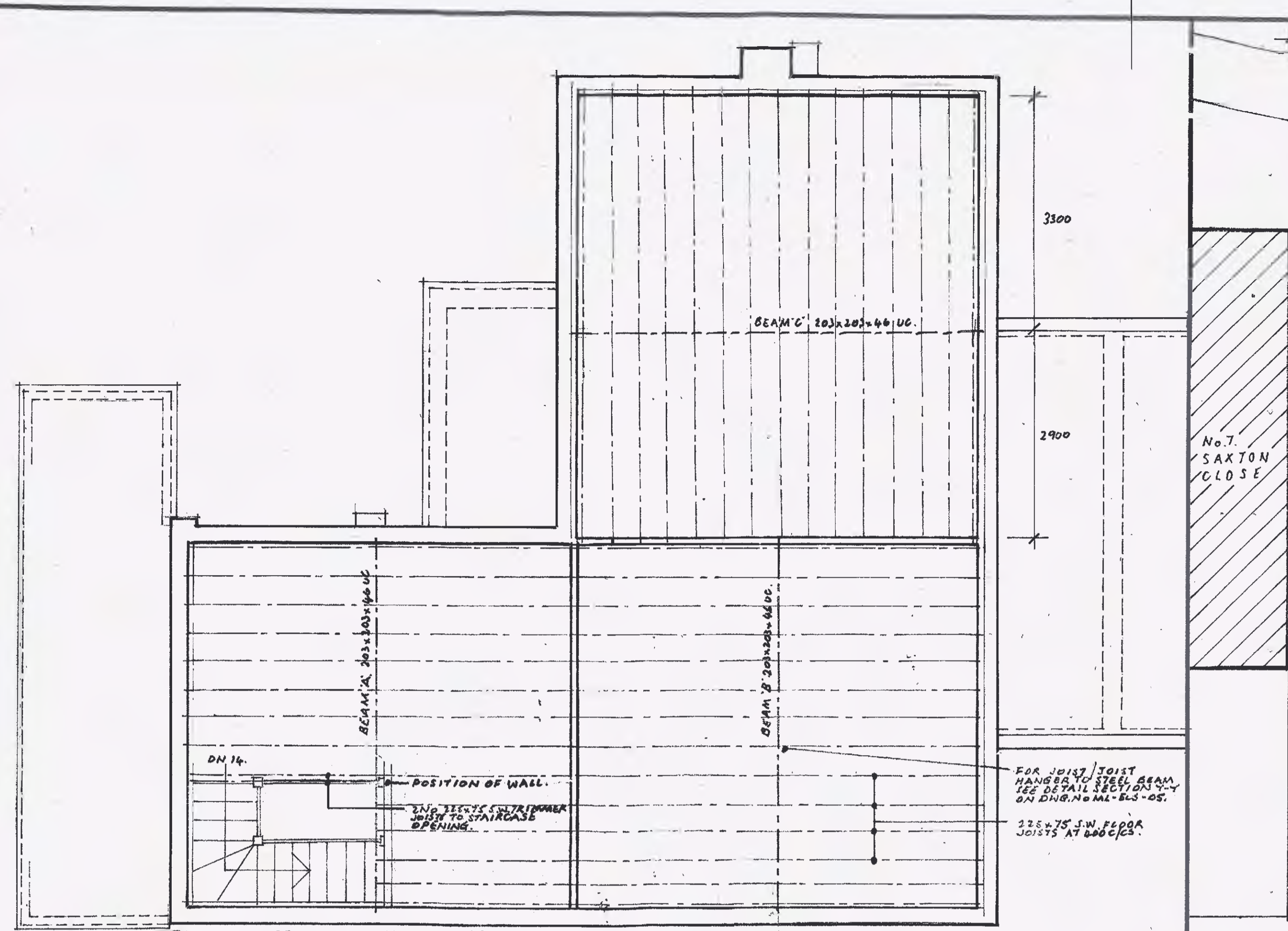
**EXISTING AND PROPOSED SIDE ELEVATIONS.**

**PROPOSED NEW ROOF WITH DORMER BEDROOMS AT 5, SAXTON CLOSE, ELSECAR, BARNSELY, S74 8BA FOR MR M. LOY AND MS. S. DENHAM.**

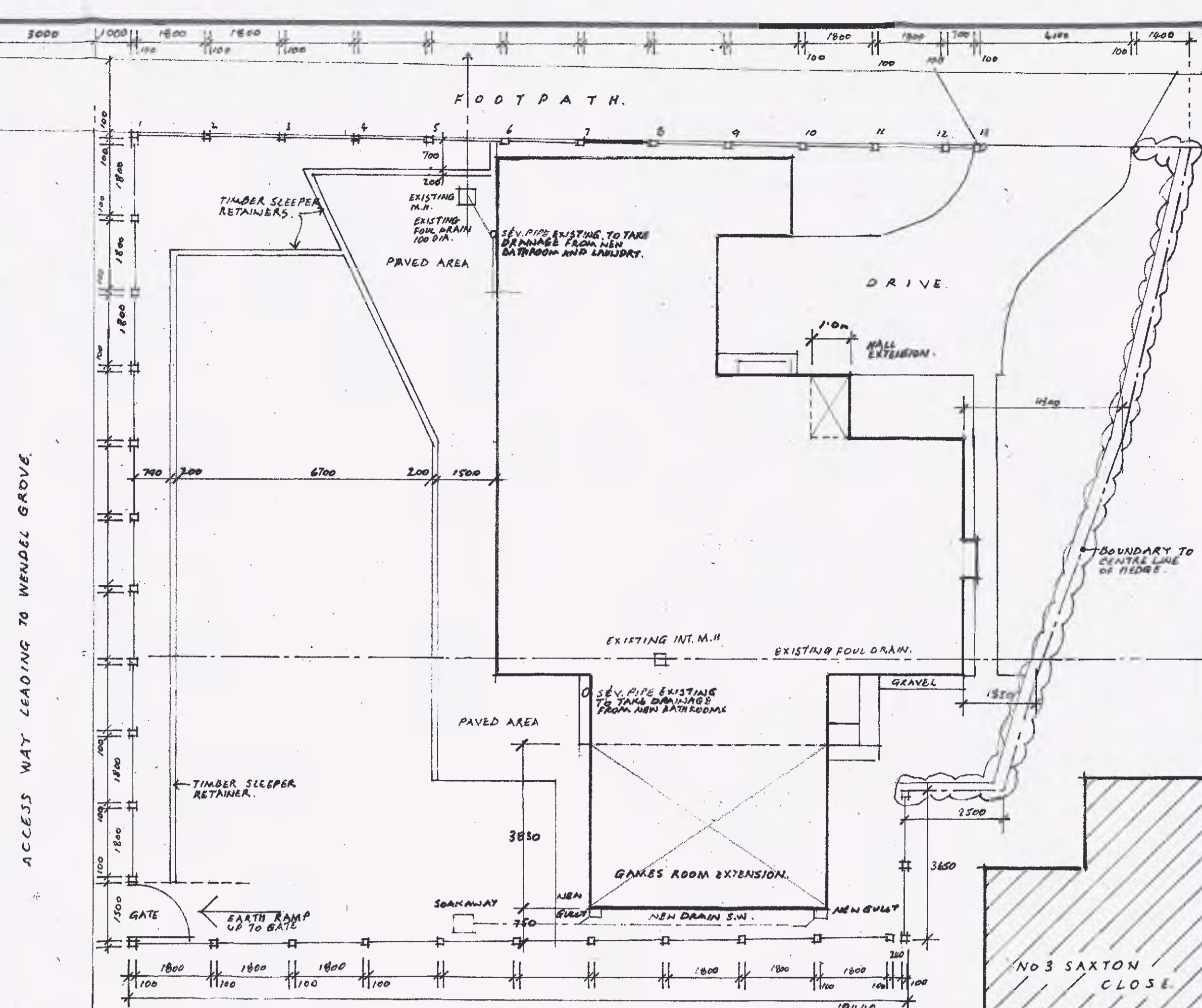
NO.	REVISION

DATE	MARCH 2026.
DRAWING NO	ML-ELS-04
SCALE	1:50 METRIC.
REVISION	



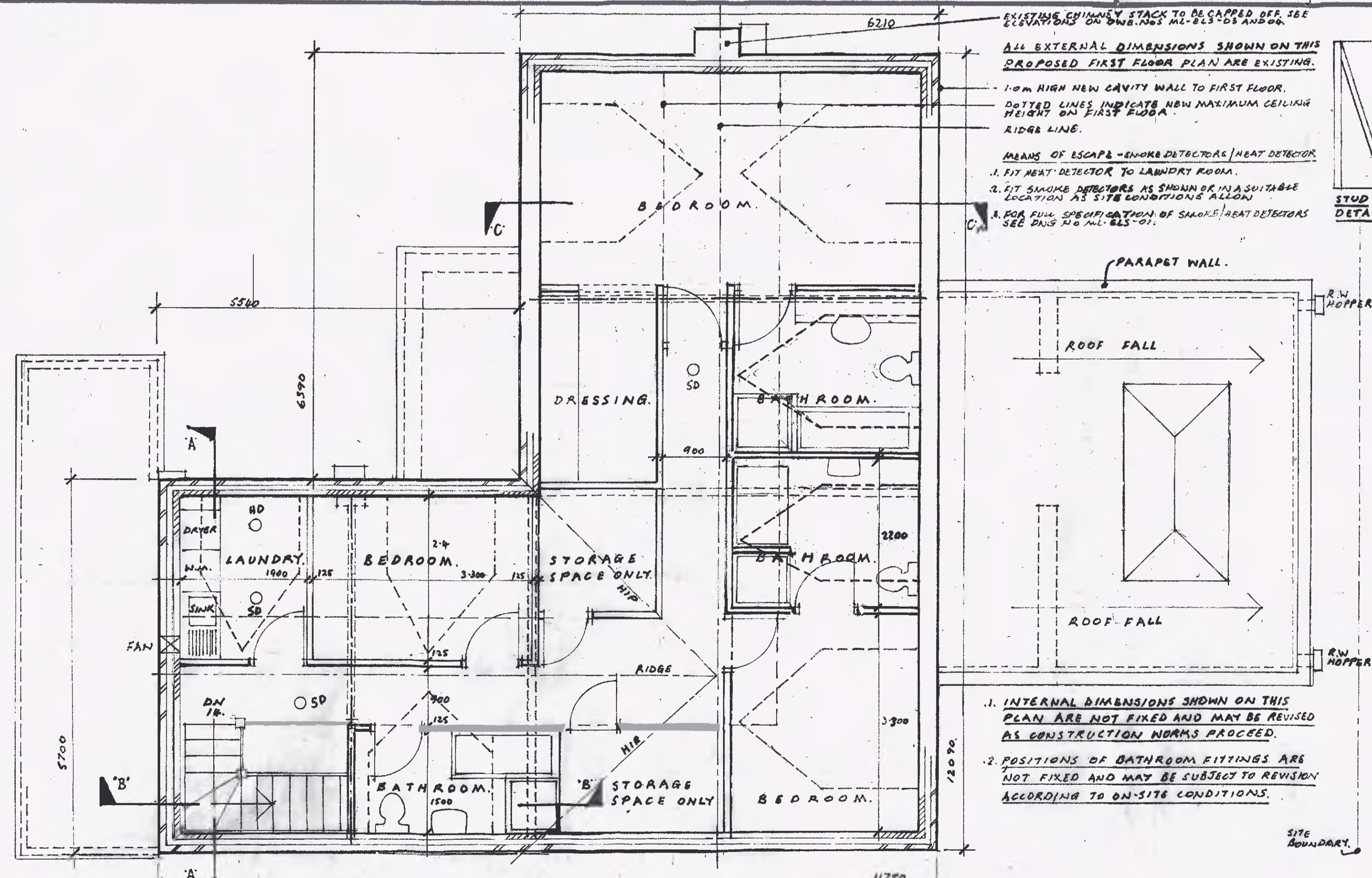


PROPOSED FIRST FLOOR JOIST PLAN.



SITE PLAN. Scale 1/1000th metric

- NOTES.**
- PLUMBING WASTES TO LAUNDRY. WASTES TO SINK AND WASHING MACHINE TO BE 25mm DIA. P.V.C. WITH 15mm DIA. ANTI-VAC TRAP WITH A 75mm DEEP WATER SEAL. ALL WASTES TO BE TO BE DISCHARGED INTO EXISTING SOIL AND VENT PIPE AS SHOWN ON THE ELEVATIONS.
  - PLUMBING WASTES TO BATHROOMS. NEW H.C. CISTER TO BE ANTI-TYPHOID WITH A 100mm DIA. WASTE WITH A 75mm DEEP SEAL.
  - SINKER AND BATH WASTES TO BE 30mm DIA. P.V.C. WITH A 15mm DEEP ANTI-VAC TRAP WITH A 75mm DEEP SEAL.
  - W.C. BATH WASTE TO BE 100mm DIA. P.V.C. WITH A 15mm ANTI-VAC TRAP WITH A 75mm DEEP SEAL.
  - ALL WASTES TO BE TAKEN INTO EXISTING SOIL AND VENT PIPE WITH A 75mm DEEP WATER SEAL.
  - SEE ELEVATIONS FOR WASTE CONNECTIONS TO BE MADE AS GENERAL PLUMBING NOTES ABOVE.
  - ALL WASTE CONNECTIONS TO THE BATHROOMS NEAR THE STAIRS TO GO INTO EXISTING SOIL AND VENT PIPE WHICH HAS BEEN EXTENDED AND FITTED WITH A 75mm VALVE. SEE ELEVATIONS.
- DRAINAGE**
- FOUL DRAINAGE**
- NO UNDERGROUND FOUL DRAINAGE OR MANHOLES ARE REQUIRED AS ALL WASTES ARE TO BE CONNECTED INTO THE EXISTING SOIL AND VENT PIPE. SEE ELEVATIONS ON DWS-NOML-ELS-01 AND 02.
- SURFACE WATER DRAINAGE**
- NO UNDERGROUND SURFACE WATER DRAINAGE IS REQUIRED EXCEPT FOR THE NEW GAME ROOM EXTENSION. ALL DRAINAGE FOR THE NEW ROOM IS TO BE CHANNELLED INTO THE EXISTING R.W. PIPES EXTENDED WHICH ARE AND EXISTING GULLIES. SEE ELEVATIONS ON DWS-NOML-ELS-01 AND 02.
  - DRAINAGE TO NEW GAME ROOM EXTENSION TO BE IN 100mm DIA. HEAVY DUTY PERFORATED PIPE LINED IN P.V.C. LAID TO FALLS 1:80 WITH FLEXIBLE JOINTS WHO TO BE ADDED ON AND SURROUNDED IN 75mm GRAVEL MIN SIZE 10mm TO 20mm THICK ON ALL SIDES. GRAVEL TO BE TAKEN TO SPARKWAY 3.0m DISTANT FROM NEW EXTENSION.
- SPARKWAY**
- NEW SPARKWAY TO BE 1.00m CUBE NEW SPARKWAY FILLED WITH CLEAN WASHED SAND AND COVERED WITH 150mm THICK TOPSOIL COVERED SPARKWAY TO BE 3.0m DISTANT FROM NEW EXTENSION.
  - SPARKWAY SUBJECT TO GROUND CONDITIONS AND PENETRATION TEST.
- GULLIES**
- GULLIES TO BE OF A RACK INLET TYPE WITH THE TRAP TO BE IN P.V.C. PIPE FORWARDED SLOPED ON 1:80 WITH 150mm THICK CONCRETE AND SURROUNDED ON ALL SIDES WITH 75mm GRAVEL.
- YORKSHIRE WATER AUTHORITY**
- Y.W.A. HAVE BEEN CONTACTED REGARDING THE REQUIREMENT FOR A PUBLIC TENDER IS REQUIRED AND ALL DRAINAGE CONNECTIONS ARE WITH A PRIVATE TENDER AND SECTION 102 NOT REQUIRED AND THAT THE REQUIRED NO DRAWINGS OF THIS PROPOSAL.

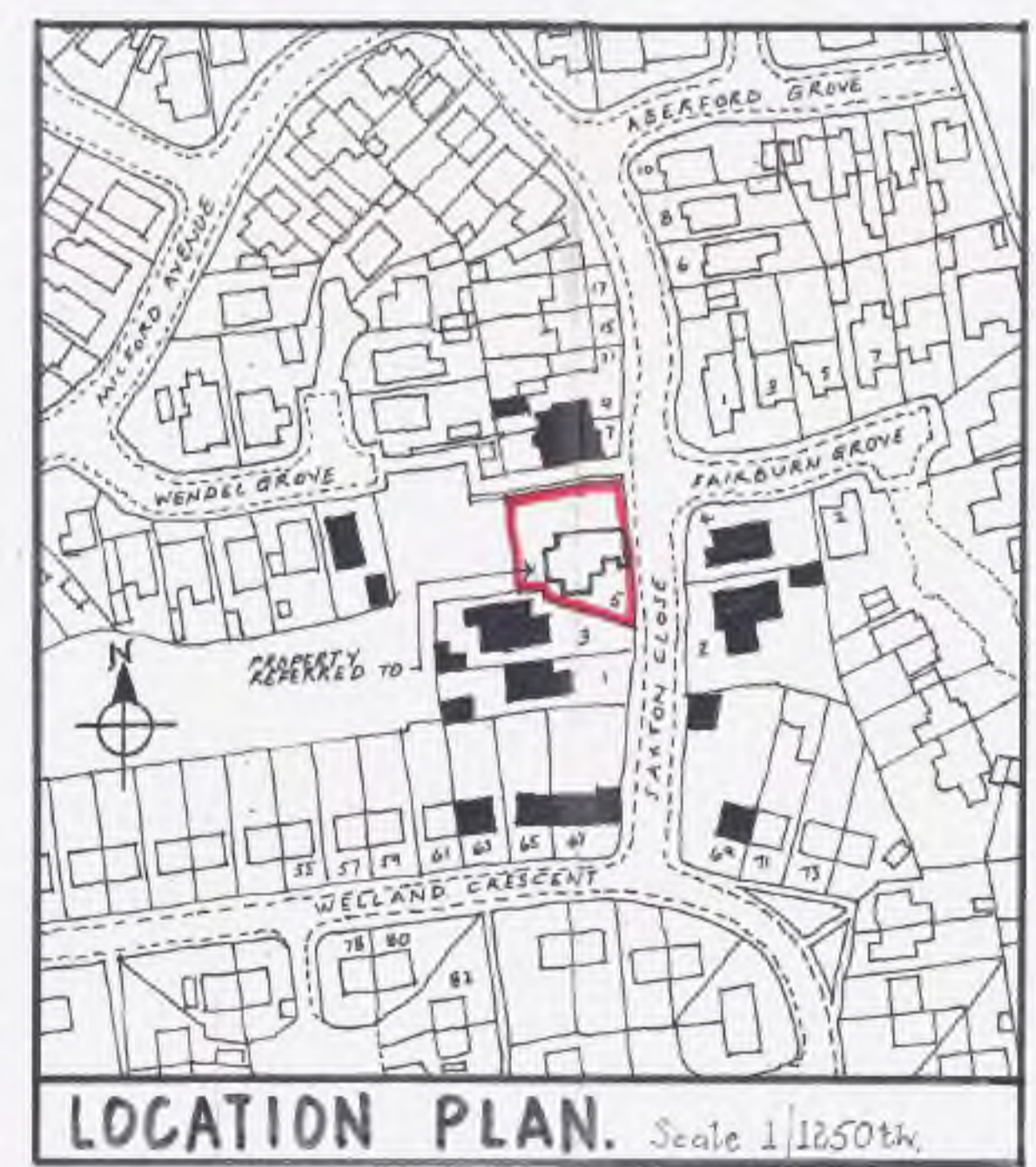


PROPOSED FIRST FLOOR PLAN.

- NEW STUD PARTITIONS.**
- NO. 1 STUD PARTITIONS TO BE FORMED IN 100mm DIA. STUDS AT 400mm OR 100mm STEEL STUDS BLOTTED FACED TO GIVE 100mm CEILING.
  - TIMBER STUDS OR STEEL STUDS TO BE ADJUSTED WITH ADJUSTABLE STANDING THIS DETAIL HAS BEEN USED TO PROVIDE BOTH SUPPORT FOR ROOFING AND TO PROVIDE SOME BUTTERFLIES FOR NEW 100mm HIGH CAVITY WALLS AND EXISTING SUPPORT.
  - ALL STUDWORK TO BE FIXED TO NEW CAVITY WALLS WITH 100mm DIA. ANGLE FIXINGS AND TO BE CONTINUED OVER TOPS OF DOOR OPENINGS.
  - PARTITIONS TO BE COVERED IN 12.5mm THICK PLASTERBOARD AND 3mm SKIM COAT.
  - ALL PARTITIONS TO BE FILLED WITH A SUITABLE SOUND INSULATION.
- ALL PARTITIONS TO BE SET OUT ON SITE AND MAY VARY WITH THE LAYOUT SHOWN ON THE FIRST FLOOR PLAN. SOME TYPICAL DIMENSIONS ARE SHOWN.

- EXTRACT FANS TO BATHROOMS AND LAUNDRY ROOM.**
- NEW EXTRACT FANS TO BE POSITIONED AS SITE CONDITIONS ALLOW.
  - FAN TO LAUNDRY ROOM TO BE IN NEW GAME ROOM WITH A CANOPY SCREEN WITH ANTI-OVER AND TO BE PROVIDED WITH VERT. ROOF AND CAVITY TRAY D.P.C.S.
  - BATHROOM FANS TO BE DUCTED THROUGH THE ROOF SPACE AND ROOF FLASH AND BE FITTED WITH A SUITABLE FLASHING TO THE ROOF TILES AND BE FITTED WITH A SUITABLE CONE.
  - FANS TO BE ELECTRICALLY OPERATED AND SEPARATE ELECTRICAL OPERATION REQUIRED FOR EACH INSTALLATION TO CONFORM TO PART 2.1.1. (1) AND (2).
  - FANS TO BE CAPABLE OF PROVIDING THREE AIR CHANGES PER HOUR WITH A FIFTEEN MINUTE OVERDRIE.
  - FANS TO BE INDEPENDENTLY SWITCHED FROM A FUSED SPUR SUBJECT OPERATIONAL FROM A LIGHT SWITCH TO BE NEAR THE FAN. SWITCHED WHEN THE FUSED SPUR IS IN THE 'ON' POSITION.
- NOTES 1, 2, 3, 4 AND 6 APPLY TO KITCHEN FAN AS SHOWN ON DWS-NOML-ELS-01

- GENERAL PLUMBING NOTES.**
- ALL SINK PIPE CONNECTIONS TO NEW OR EXISTING SOIL AND VENT PIPES SHOULD BE FITTED AT JUNCTIONS WITH SOIL AND VENT PIPES BY 100mm TO AVOID ANY ANTI-TYPHOID CONNECTIONS SHOULD BE MADE BY A SUITABLE DRAINING BORE.
  - ANY SINK PIPE CONNECTIONS SHOULD BE AT LEAST 300mm ABOVE OR BELOW H.C. CONNECTION TO AVOID ANY ANTI-TYPHOID.



LOCATION PLAN. Scale 1/1250th

REF.	REVISION.	DATE.
<b>SITE PLAN, LOCATION PLAN, PROPOSED FLOOR PLANS.</b>		
<b>PROPOSED NEW ROOF WITH DORMER BEDROOMS AT 5, SAXTON CLOSE, ELSECAR, BARNSELY, S74 8BA FOR MR. M. LOY AND MS. S. DENHAM.</b>		
<b>SCALES.</b>		
1:50 METRIC - PLANS. AS STATED.		
DATE MARCH 2026.	DRAWING NO ML-ELS-02	REVISION.

