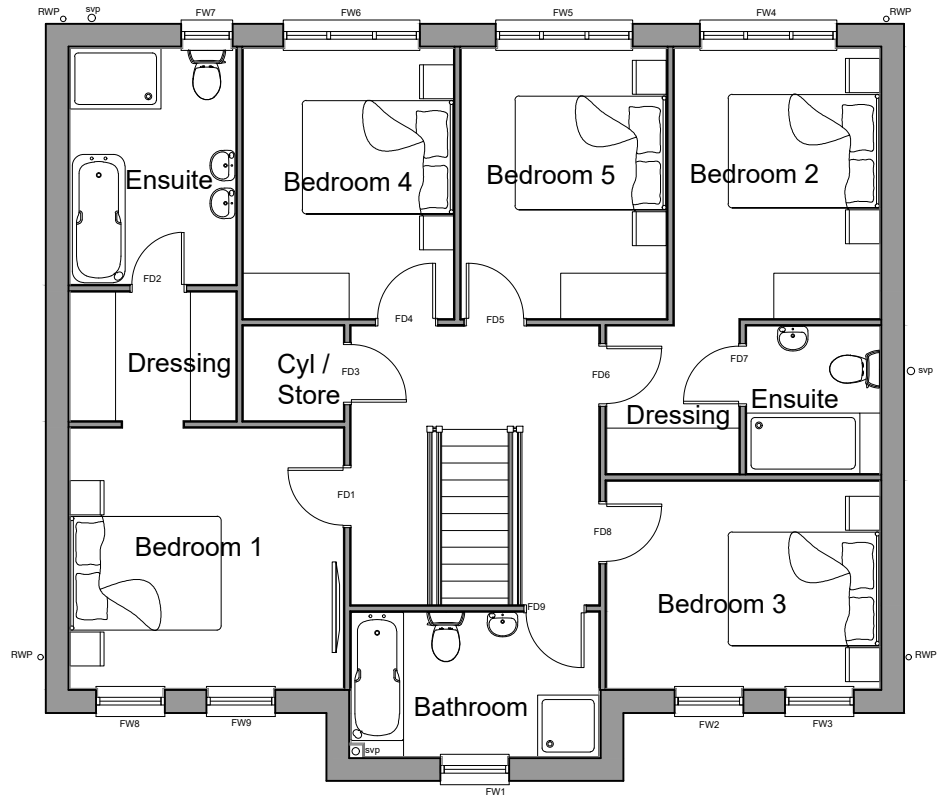
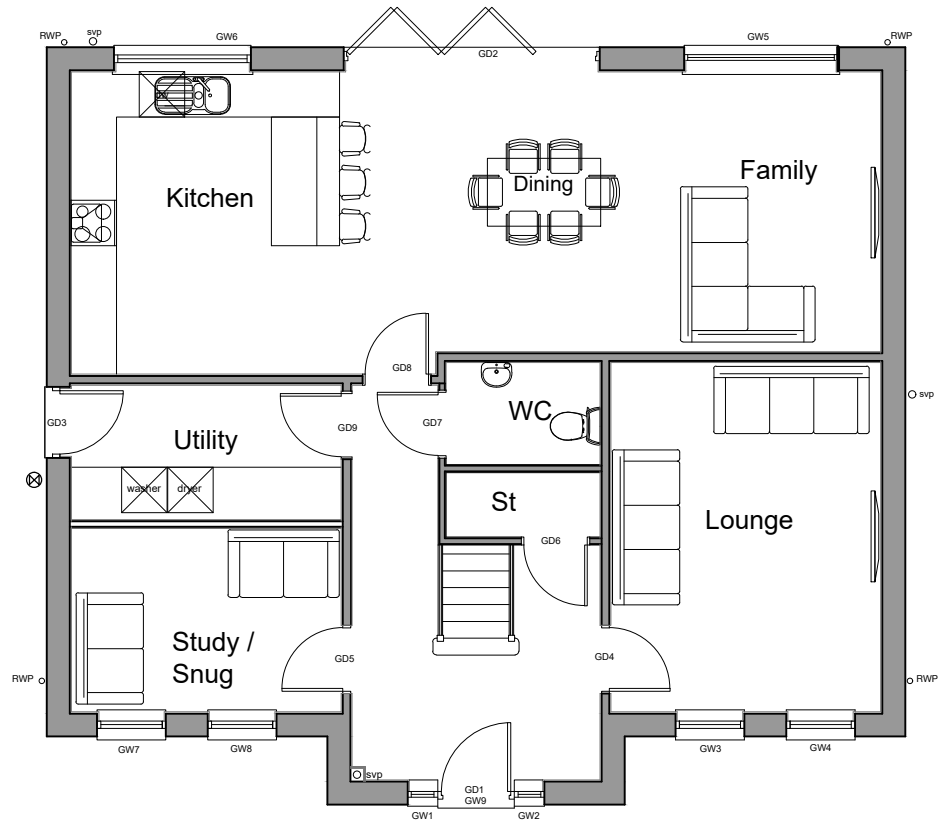


HOUSE TYPE [T502] - 5 Bed (Total Floor Area: 187 m²/ 2013 ft²)  
Elevation Treatment - STONE



First Floor Plan



Ground Floor Plan

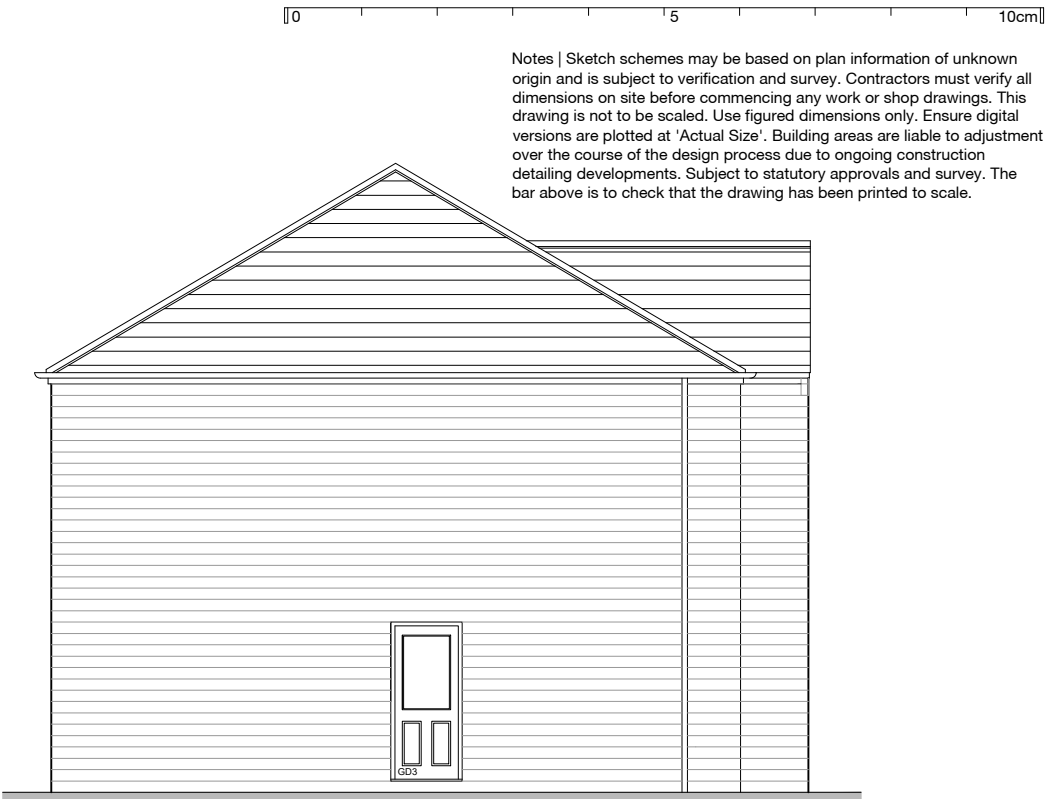


Front Elevation

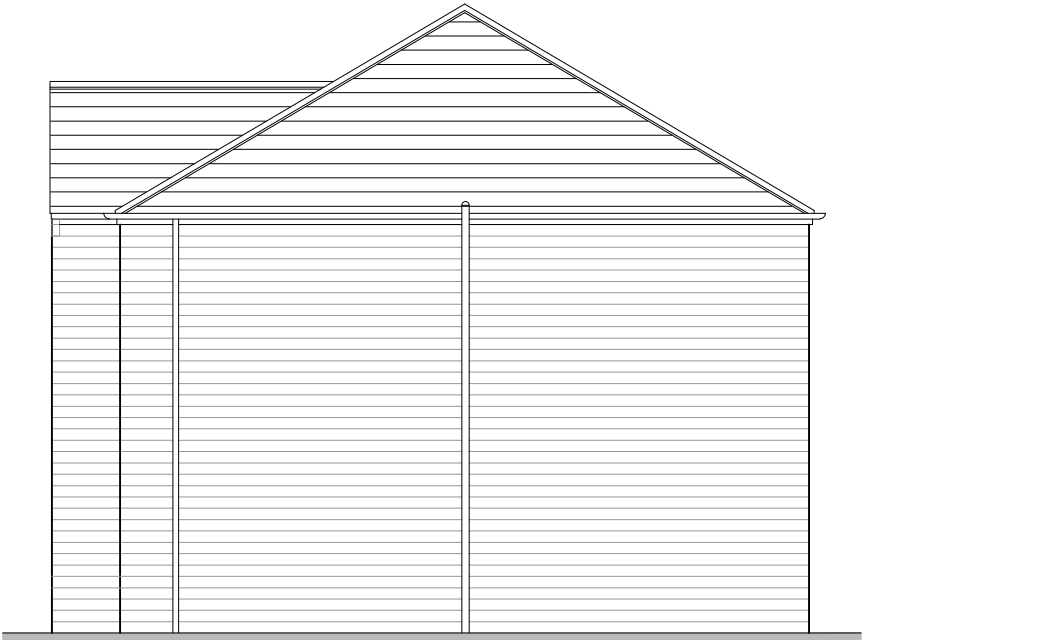


Rear Elevation

- Proposed Materials and Features**  
**Elevation Treatment - STONE**
- Reconstituted Stone walls
  - Grey concrete roof tiles
  - Artstone headers and sills to front elevation only.
  - Black uPVC rainwater goods
  - White uPVC double glazed windows and doors
  - Traditional style composite front door with double glazed panels (colour TBC)
  - Glazing beads to front elevation



Side Elevation



Side Elevation

|                             |                                        |                                       |                                         |     |                             |         |
|-----------------------------|----------------------------------------|---------------------------------------|-----------------------------------------|-----|-----------------------------|---------|
| A                           | 20.09.19                               | Elevation Treatment: changed to stone |                                         |     | NT                          | CR      |
| Rev                         | Date                                   | Description                           |                                         |     | Drawn                       | Checked |
| Project                     | New Smithy Avenue, Thurlstone          |                                       |                                         |     |                             |         |
| Drawing                     | House Type T502 - Plans and Elevations |                                       |                                         |     |                             |         |
|                             | Elevation Treatment - STONE            |                                       |                                         |     |                             |         |
| Client                      | Newett Homes                           |                                       |                                         |     |                             |         |
| BIM Suitability Description |                                        | SUITABLE FOR INFORMATION              |                                         |     | BIM Suitability Code S2     |         |
| Status                      | Planning                               |                                       | 2 Riverside Way<br>Whitehall Waterfront |     | 320 City Road<br>Angel      |         |
| Date                        | 02.05.2019                             |                                       | LEEDS ■                                 |     | LONDON □                    |         |
| Drawn                       | WC                                     |                                       | LS1 4EH<br>t 0113 819 8041              |     | EC1V 2NZ<br>t 0203 883 8602 |         |
| Checked                     | CR                                     |                                       | w edwardarchitecture.co.uk              |     |                             |         |
| Scale (A3)                  | 1:100                                  |                                       | e info@edwardarchitecture.co.uk         |     |                             |         |
| Project                     | Originator                             | Discipline                            | Drawing No                              | Rev | edward<br>architecture      |         |
| 0716A-                      | EA -                                   | A -                                   | P105 -                                  | A   |                             |         |

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