

Application Reference: 2026/0195

Site Address: 4 Holgate View, Brierley, Barnsley, S72 9HN

Introduction: This application seeks full planning permission for a single storey front extension to dwelling

Relevant Site Characteristics:

The dwelling is dark buff brick coloured detached bungalow with a half (vertical split) front façade. The dwelling features a rear extension, a small side extension and a detached garage, The dwelling is located in a corner style plot within a small cul-de-sac predominantly featuring semi-detached houses and bungalows.



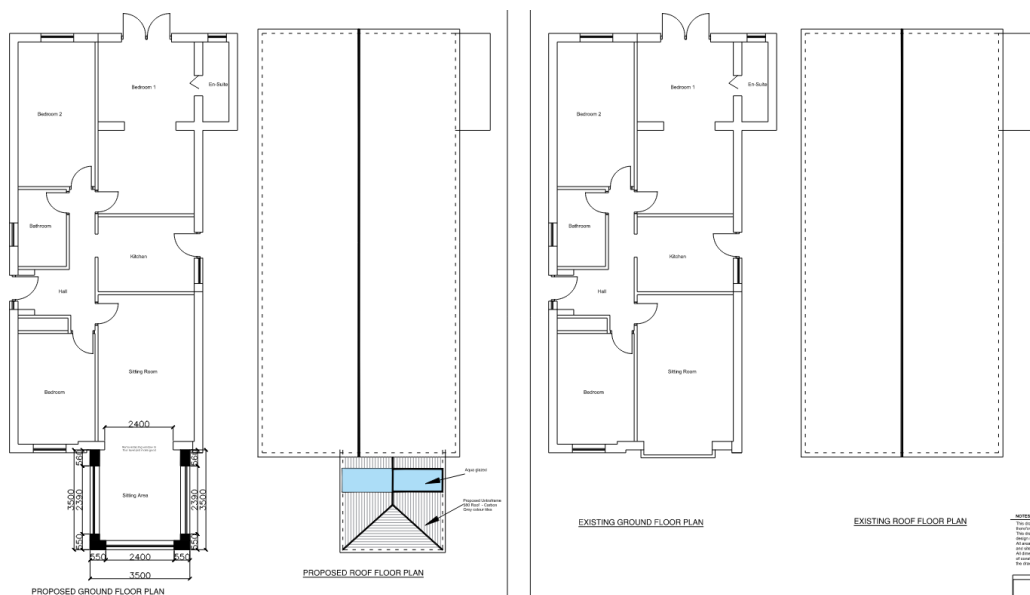
Site History

A single storey side extension was approved in application B/05/0102/HR

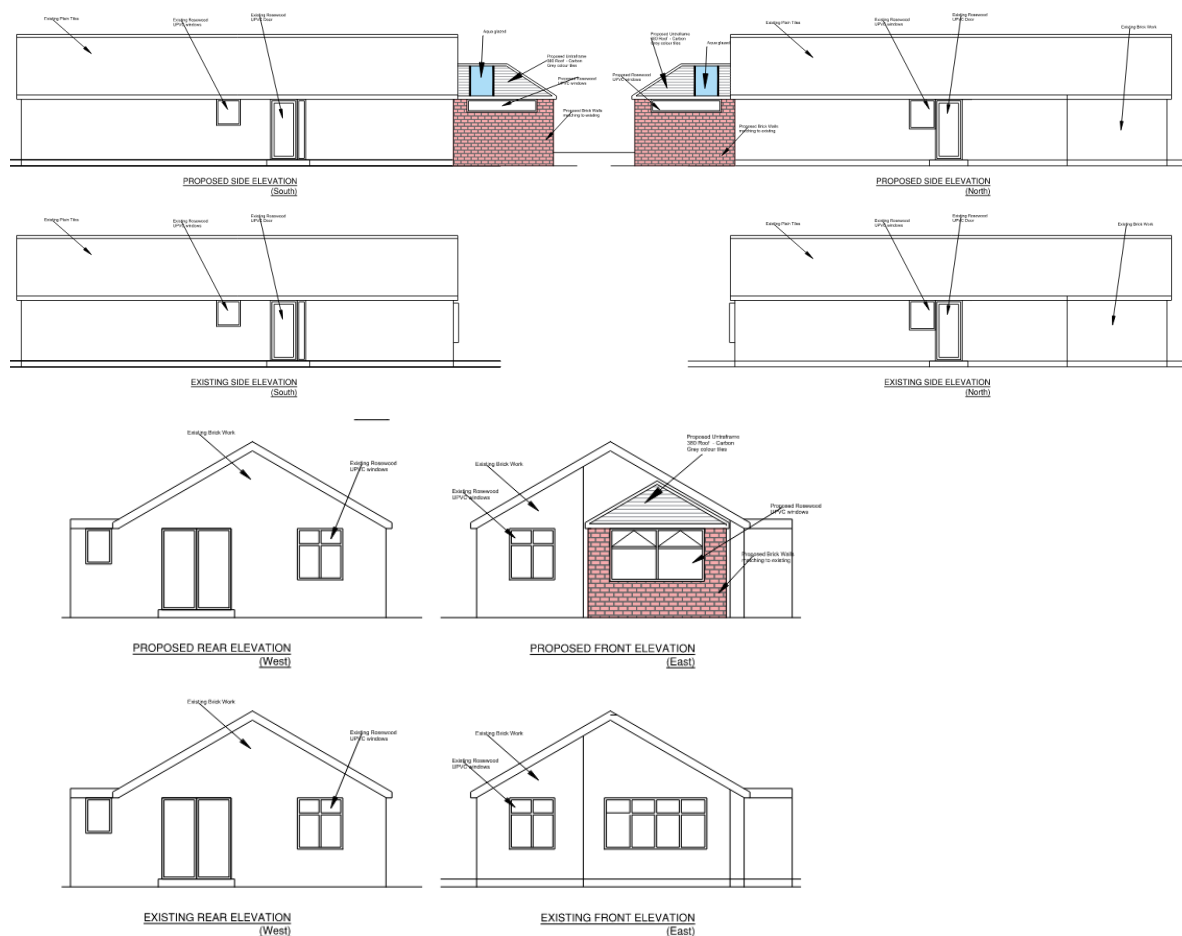
Detailed description of Proposed Works

The proposal is for a 3.5m by 3.5m extension on the eastern front elevation of the dwelling, featuring a hipped roof with roof lights.

Existing and Proposed Floor Plan



Existing and Proposed Elevations



Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015. Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

No comments were received.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant

- Moderate
- Modest
- Limited
- Little or no

Principle

The site falls within Urban Fabric. Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Scale, Design and Impact on the Character

The proposed plans indicate a proposed front extension with measurements of 3.5m for the front projection and an equal 3.5m for width, although on the plans the front projection is measured at 3.4m, although this may be software error. Using the indicated measurements of 3.5m by 3.5m, providing a footprint of approximately 12.25 sqm is at the same time a modest size for an extension, but a relatively large front extension, especially the 3.5m projection. Some mitigation for its location arises from the fact the neighbouring dwelling of No2 is set further forward than the application dwelling, resulting in the extension only marginally exceeding the building line of No2.

The actual design of the of the proposal is acceptable, despite the loss of a large proportion of the yellow stone cladding. As the proposal is to be constructed of matching brickwork, only a surround of yellow stone cladding would remain around the extension, thus supporting some of the dwelling's original character and retaining some similarity with the adjacent neighbouring dwelling.

The proposed hipped roof although not a match to the original style of roof, would follow the existing roof line of the front elevation. The height of the eaves and roof at approximately 2.40m and 3.46m respectively are acceptable in terms of scale, and comparison to the original dwelling, which features a maximum ridge height 4.46m. In addition to the matching brickwork, the proposed extension would feature two skylights on the side elevations of the roof, and branded Ultraroot Slate [brand name, not material) Carbon Grey coloured tiles. These appeared to be the best option of colours provided to match the existing roof.

Overall, the proposal, due to mitigation such as the building line of the adjacent neighbouring dwelling, would only have a modest impact on the original scale, design and character of the original dwelling, The proposal would therefore be compliant with local policy GD1 and D1, which carry moderate weight in favour of the proposal.

Impact on Neighbouring Amenity

The proposal would be constructed quite close to the boundary with the adjacent neighbouring dwelling of No2. With the extension only just surpassing the build line of No.2, and with an approximate 5m distance between the extension and the neighbouring dwelling, there would be very minimal consideration of the impact of the extension being overbearing or overshadowing.

Other than potential visual impacts within the street scene., the proposal would have no noticeable impact on the amenity of any other neighbouring dwellings. Therefore, with only a limited impact on

No2, the proposal would be considered in accordance with Local Policy GD1 which carries moderate weight in favour of the proposal.

Highways

With no changes to existing parking or access, along with no increase in bedrooms numbers, the in-curtilage parking provision would remain sufficient to meet local parking requirements of two in curtilage parking spaces for dwellings with three or more bedrooms. With no proposed changes to access or parking, there would be no impact on highway safety.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

In dealing with the application, the Local Planning Authority has worked with the applicant to find solutions to the following issues that arose whilst dealing with the planning application:

Confirmation of proposed materials of a similar appearance to the original dwelling was sought and confirmed by the applicant's agent.

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. it is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.