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Rev: _____ Date: _____ Action: _____ Inits: _____

ACCOMODATION SCHEDULE		SITE: Barnsley Road Wombwell			
House Type	Abb.	No	Bedrooms	Parking Type	Storey Height
Aix	Ai	1	2	PS/IG	2
Lisbon	Li	1	1	PS	2
Colmar	Cm	1	2	PS	2
Lucca	Lu	8	1	PS	3.5
Monaco	Mo	10	2	PS	3
Oslo	Os	3	1	PS	2
Milan	Mi	4	2	PS	2
Cadiz	Ca	12	3	PS	2.5
Roma	Rom	6	3	PS	2
Geneva	Gen	12	3	PS	2.5
Malmö	Ma	9	3	IG	2.5
Rouen	Ro	14	4	IG	3
Verona	Ve	11	4	G	3
TOTAL		92			

Integral Garage Unit Legend



2 storey Integral Garage Unit



2 storey + Room in Roof
Integral Garage Unit



3 storey Integral Garage Unit



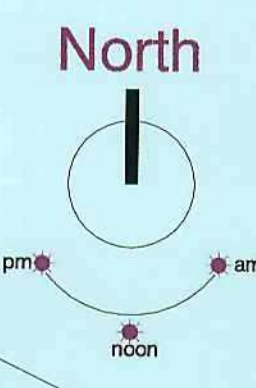
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scale: 1/500 | drawn by: ikc | date: 01.08.10

Project: Barnsley Road Wombwell

Drawing: Integral Garage Unit Plan

Drawing Number: BR/WW/IGU/01	Revision
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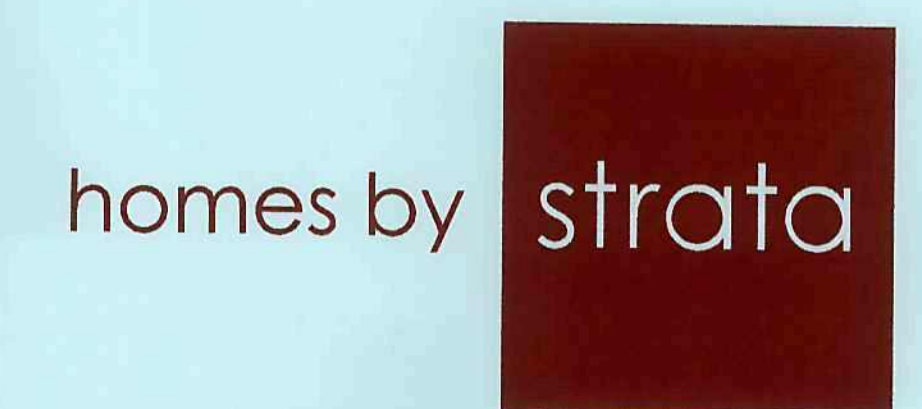
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ACCOMODATION SCHEDULE		SITE: Barnsley Road Wombwell			
House Type	Abb.	No	Bedrooms	Parking Type	Storey Height
Aix	Ai	1	2	PS/IG	2
Lisbon	Li	1	1	PS	2
Colmar	Cm	1	2	PS	2
Luca	Lu	8	1	PS	3.5
Monaco	Mo	10	2	PS	3
Oslo	Os	3	1	PS	2
Milan	Mi	4	2	PS	2
Cadiz	Ca	12	3	PS	2.5
Roma	Rom	6	3	PS	2
Geneva	Gen	12	3	PS	2.5
Malmö	Ma	9	3	IG	2.5
Rouen	Ro	14	4	IG	3
Verona	Ve	11	4	G	3
TOTAL		92			

Boundary Treatment Legend

- 1800mm high screen wall
- 1800mm high screen fence
- 1200mm high Ball Top railings
- 1500mm high screen fence
- 1200mm high timber fence with 300mm trellis on top
- 600mm high knee rail
- sw timber gate - height to suit adjacent boundary detail
- 1200mm high Ball top railing gate



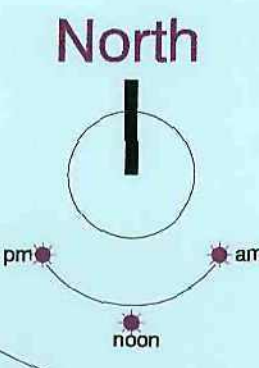
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Project: **Barnsley Road Wombwell**

Drawing: **Boundary Treatment Plan**

Drawing Number: BR/WW/BTP/01	Revision
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Rev: _____ Date: _____ Action: _____ Issue: _____



ACCOMODATION SCHEDULE		SITE: Bamsley Road Wombwell			
DRAWING NUMBER: BR/WW/SK03 E		No	Bedrooms	Parking Type	Storey Height
Aix	Ai	1	2	PS/IG	2
Lisbon	Li	1	1	PS	2
Colmar	Cm	1	2	PS	2
Lucca	Lu	8	1	PS	3.5
Monaco	Mo	10	2	PS	3
Oslo	Os	3	1	PS	2
Milan	Mi	4	2	PS	2
Cadiz	Ca	12	3	PS	2.5
Roma	Rom	6	3	PS	2
Geneva	Gen	12	3	PS	2.5
Malmö	Ma	9	3	IG	2.5
Rouen	Ro	14	4	IG	3
Verona	Ve	11	4	G	3
TOTAL		92			

Renewable Energy Legend

 Kingspan Renewable Energy marvel 1808 Solar Collector (or other equal approved)



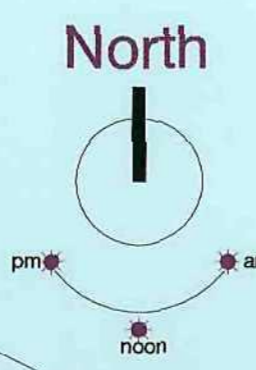
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Project: Barnsley Road Wombwell

Drawing: Renewable Energy Plan

Drawing Number: BR/WW/REP/01 | Revision



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Rev: _____ Date: _____ Action: _____ Incls: _____

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DRAWING NUMBER:	House Type	Abb.	No	Bedrooms	Parking Type	Storey Height
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	Lisbon	Li	1	1	PS	2
	Colmar	Co	1	2	PS	2
	Lucca	Lu	8	1	PS	3.5
	Monaco	Mo	10	2	PS	3
	Oslo	Os	3	1	PS	2
	Milan	Mi	4	2	PS	2
	Cadiz	Ca	12	3	PS	2.5
	Roma	Ro	6	3	PS	2
	Geneva	Ge	12	3	PS	2.5
	Malmö	Ma	9	3	IG	2.5
	Rouen	Ro	14	4	IG	3
	Verona	Ve	11	4	G	3
	TOTAL		92			

Dwelling Massing Legend

-  2 storey Dwelling
-  2 storey + Room in Roof Dwelling
-  3 storey Dwelling
-  3 storey + Room in Roof Dwelling



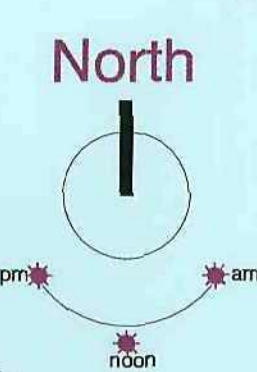
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Project: Bamsley Road Wombwell

Drawing: Massing Plan

Drawing Number: BR/WW/MP01	Revision
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Rev: Date: Action: Inls:

A 12.10 Substation position and adjacent parking amended
 B 16.01.11 Blocks updated and plots 20-31 amended; square footages updated
 C 21.01.11 Plots 35,36,41, 74 & 75 amended
 D 07.02.11 Plots 11-15 amended
 E 09.02.11 Plots 9,10,13-18 amended; road adjacent plots 9 & 10 amended

ACCOMODATION SCHEDULE		SITE: Bamsley Road Wombwell			
DRAWING NUMBER:	BR/WW/SK03 E	No	Bedrooms	Parking Type	Storey Height
Aix	Ai	1	2	PS/IG	2
Lisbon	Li	1	1	PS	2
Colmar	Cm	1	2	PS	2
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scale: 1/500 | drawn by: ikc | date: 01.08.10

Project: Bamsley Road Wombwell

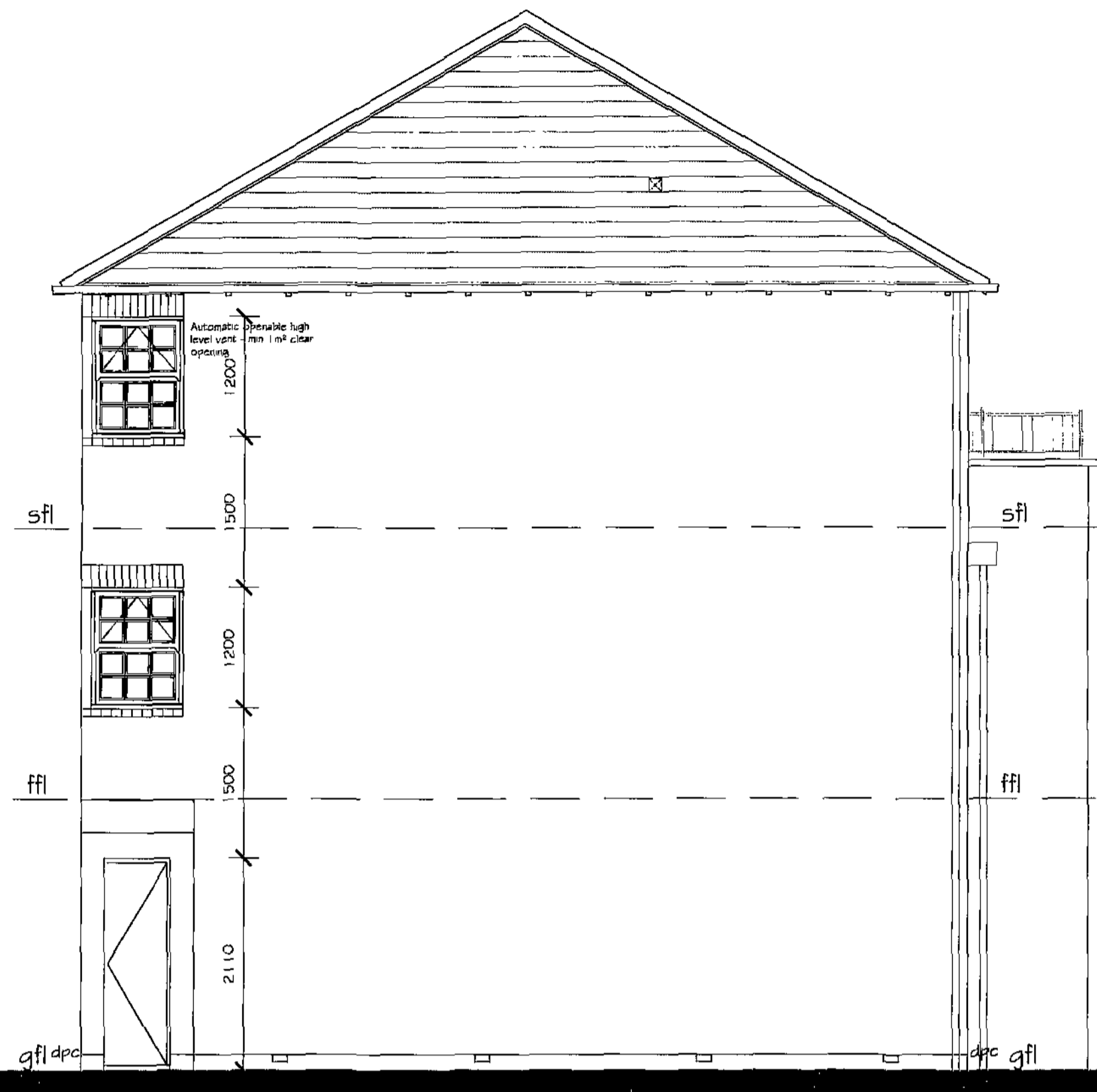
Drawing: Site Layout



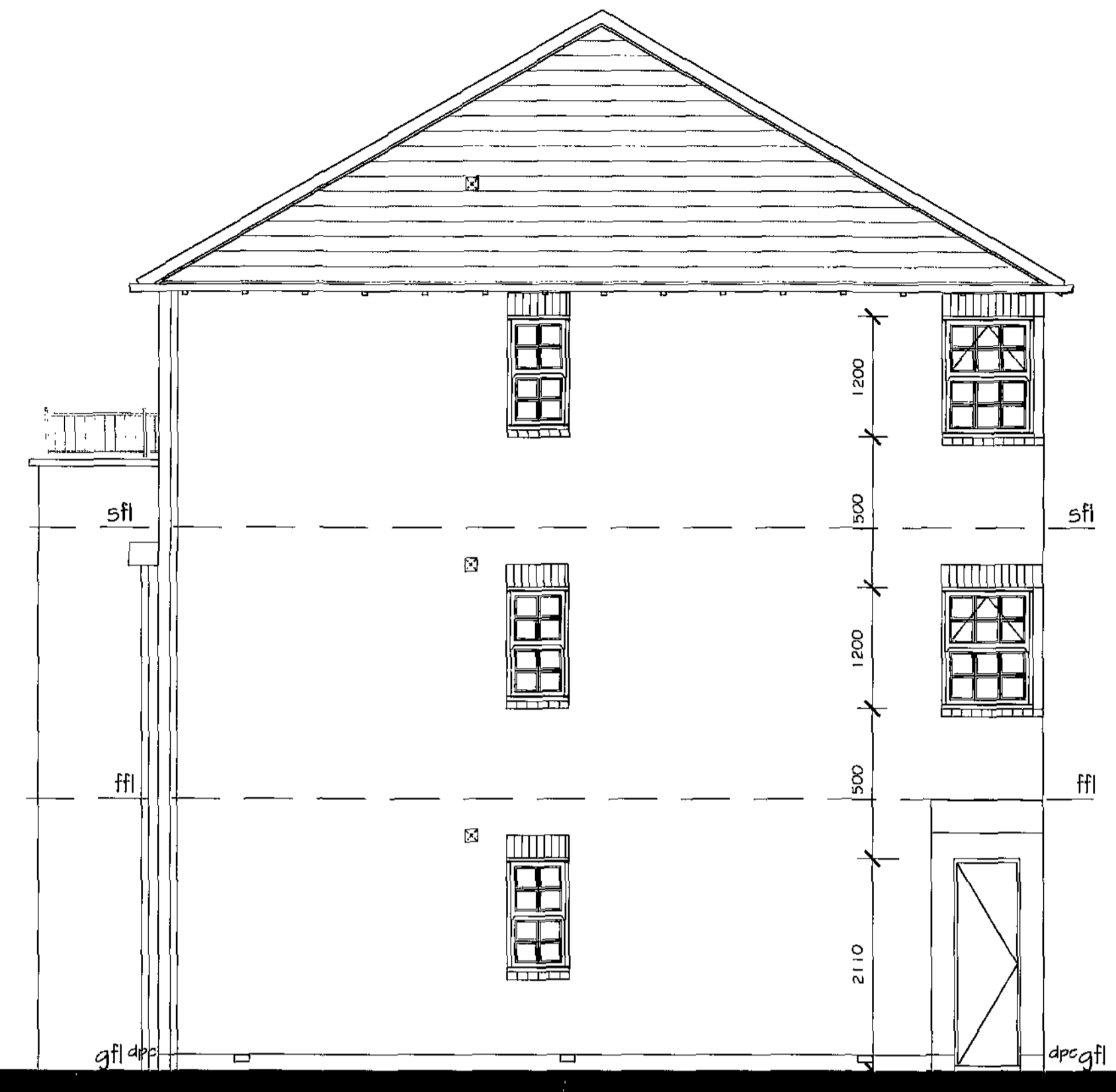
Drawing Number: BR/WW/SK03 Revision: E

Homes By Strata House Type - OSLO Balc

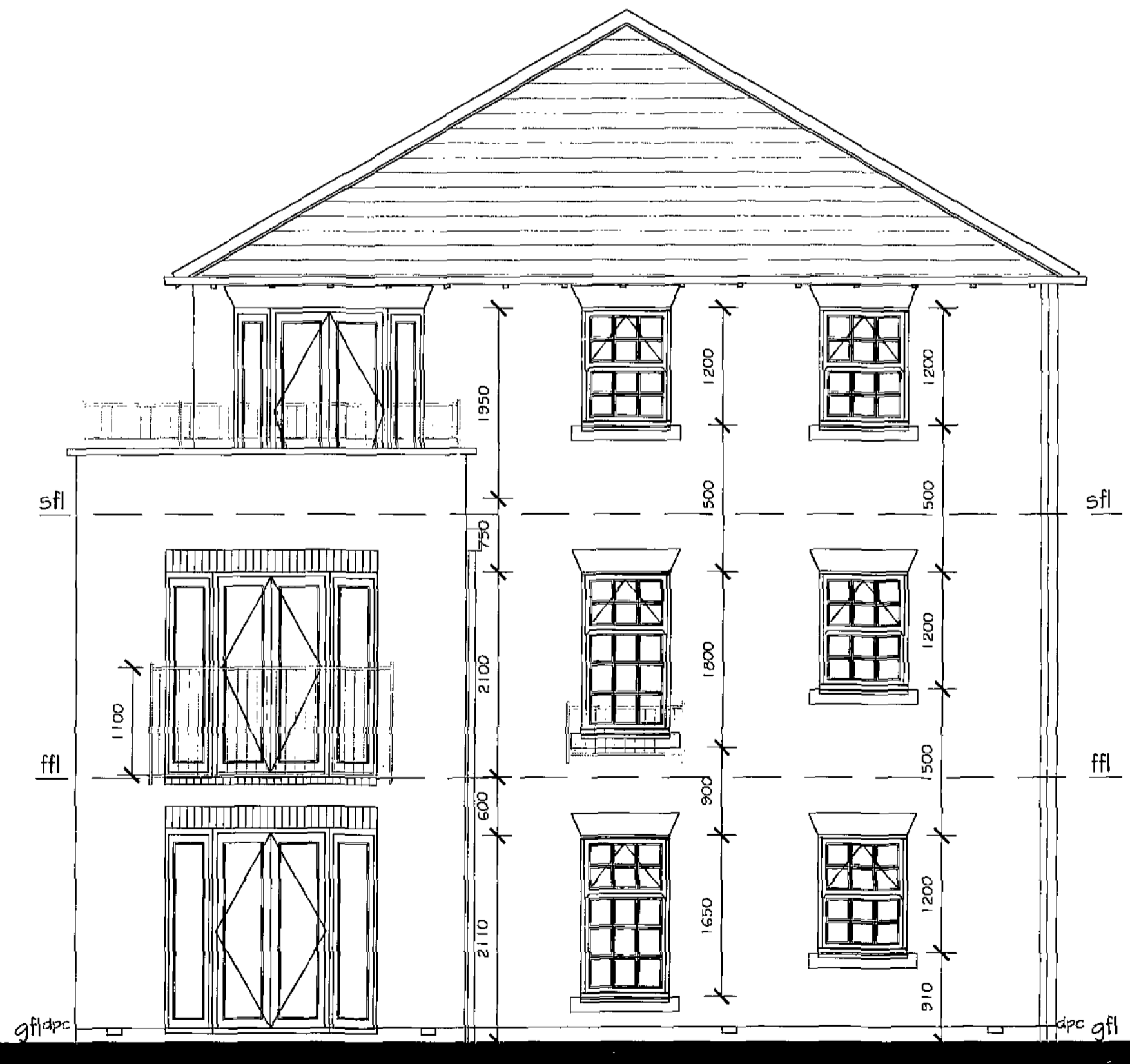
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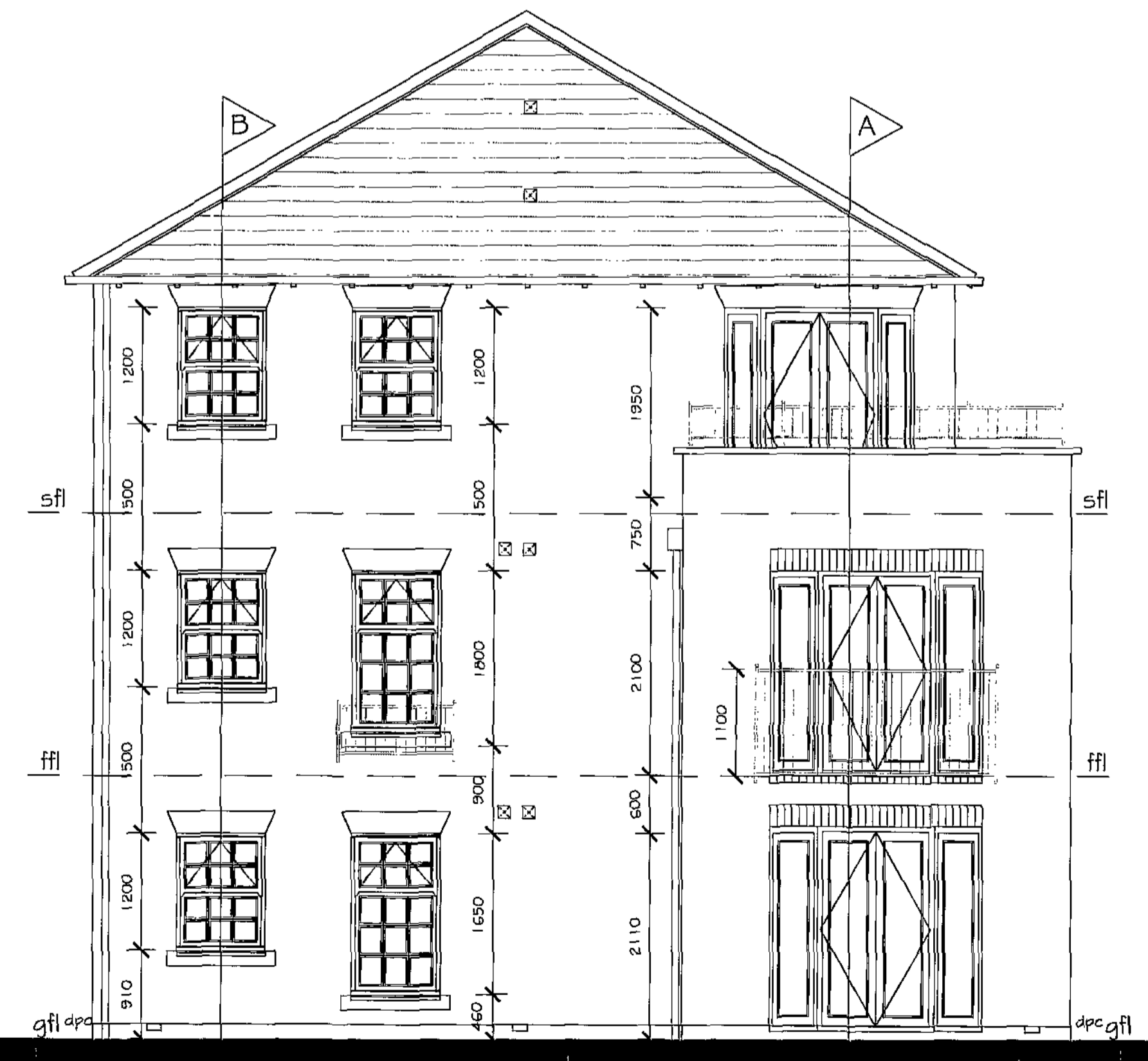
Elevation A



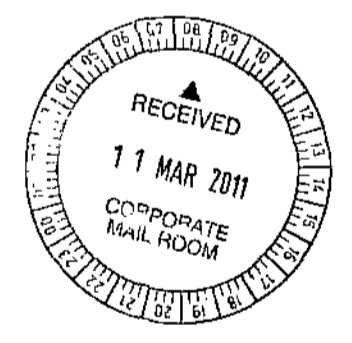
Elevation B



Elevation C



Elevation D



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scale: 1:50 drawn by: _____ app'd by: _____ date: 07/03/2011

Project: HOUSE TYPES G-LIFE

Drawing: OSLO BALCONY (3 storey) PLANNING ELEVATIONS 682 sq/ft

Drawing Number:	House Ref	Drawing	Revision
G-LIFE 2(3ST/B). 12			

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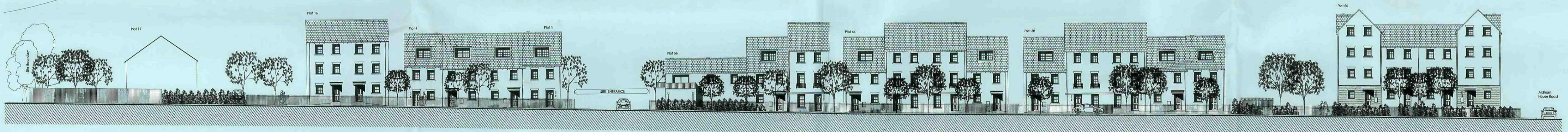
Rev: _____ Date: _____ Action: _____ Initials: _____



View of plots 49 to 57.



View of plots 1 & 5 to 10.



View Along Barnsley Road.



homes by **strata**

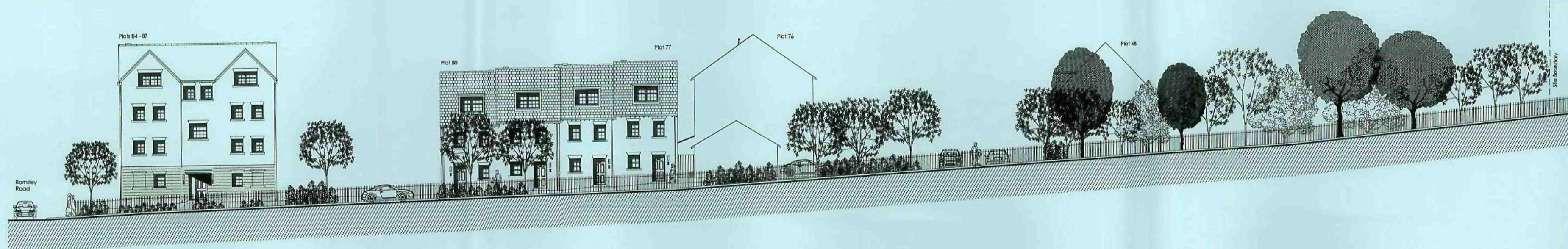
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scale: 1/250 @ A1 | drawn by: htb | date: 07.03.2011

Project: **Barnsley Road
 Wombwell**

Drawing: **Street Scenes**

Drawing Number: **BR/SS/WW/01** | Revision: **-**



View along Aldham House Road



- KEY**
- Existing vegetation to be retained
 - Proposed extra heavy standard (14-16cm girth) and heavy standard (12-14cm girth) trees (left to right)
 - Proposed selected standard (10-12cm girth) and light standard (6-8cm girth) trees (left to right)
 - Proposed Beech hedgerow
 - Proposed ornamental, flowering hedge
 - Proposed ornamental shrub planting
 - Proposed native light woodland planting
 - Proposed native scrub planting
 - Proposed turf to plot frontages
 - Proposed wildflower seed mix
 - Proposed Marshall's Mistral paving block in Silver Grey
 - Proposed Marshall's Tegula block paving in Brindle
 - Proposed tarmac

NOTES

PROTECTION OF EXISTING VEGETATION

Existing vegetation to be retained on site shall be protected where necessary during works by 2300mm high mesh panel fencing secured to a scaffold tubing framework with fluorescent tape to the top rail. Protective fencing shall be erected on the canopy drip line wherever possible. Laminated, waterproof A4 signs shall be fixed to the fence posts at 10m intervals bearing the words 'PROTECTED TREE ZONE - NO STORAGE OR OPERATIONS WITHIN FENCED AREA'. Tracking of machinery, storage of chemicals and building materials shall not be permitted within the protected area. Leaks or spills should be removed immediately and the contaminated soil replaced. No bonfires shall be lit within 5m of the canopy spread. Any excavation work beneath the canopy spread shall be carried out by hand. All works affecting trees within the development shall be subject to BS 5837:2005.

TREE PLANTING

Extensive planting of heavy standard and selected standard trees throughout the development will create a structure to the site and an extensive canopy on maturity, breaking up the building line from outside the site. Planting of extra heavy standard trees along the frontage at the entrance to the site and at focal points within the development will give early structure and maturity to the scheme. Foundation design of new buildings shall accommodate proposed tree planting in accordance with NHBC guidelines.

- Species to be chosen from:
- | | |
|------------------------------------|--|
| Acer platanoides 'Laciniatum' (Ap) | Prunus subhirtella 'Autumnalis Rosea' (Ps) |
| Alnus incana (Al) | Quercus robur (Qr) |
| Betula pubescens (Bp) | Sorbus aria (Sa) |
| Carpinus betulus (Cb) | Sorbus aucuparia (Sau) |
| Crataegus prunifolia (Cp) | Sorbus 'Embley' (Se) |
| Fraxinus excelsior (Fe) | Sorbus 'Joseph Rock' (Sj) |
| Malus tschonoskii (Mt) | Tilia x euchlora (Te) |
| Prunus sargentii (Pg) | Tilia cordata 'Green Spire' (Tgs) |

SHRUB PLANTING

A mix of evergreen and deciduous shrubs will be planted throughout the site to give enclosure and structure to the development. Medium/large species will be planted against screen fences and walls and medium/low mixes will be planted into front gardens, cul de sacs and around parking areas.

- Species to be selected from: () density/m2
- Berberis frukartii 'Amstelveen'(5), Berberis thunbergii 'Atropurpurea Nana'(5), Berberis cordifolia 'Silberlicht'(6), Buddleia davidii 'Lochinch'(2), Ceanothus thrysoiflorus repens(4), Chaenomeles superba 'Jet Trail'(4), Cornus alba 'Spaethli'(2), Cornus stolonifera 'Flaviramea'(2), Cotoneaster conspicuus 'Decorus'(6), Cotoneaster lacteus(2), Cytisus 'Allgold'(4), Elaeagnus pungens 'Maculata'(3), Escallonia 'Apple Blossom'(4), Euonymus fortunei 'Emerald Gaiety'(6), Euphorbia griffithii 'Fireglow'(5), Festuca spp(6), Geranium 'Johnson's Blue'(4), Hebe albicans 'Red Edge'(4), Hebe 'Autumn Glory'(4), Hypericum x moserianum(4), Juniperus sabina 'Tamariscifolia' (3), Lavandula 'Hidcote'(6), Lonicera 'Maygreen'(4), Lonicera 'Silver Beauty'(4), Nepeta faassenii(4), Perovskia 'Blue Spire'(6), Phormium var. 'Red Ace'(5), Prunus laurocerasus 'Zabelliana'(3), Pyracantha 'Orange Charm'(3), Rubus x 'Betty Ashburner'(4), Spiraea 'Gold Flame'(4), Spiraea 'Shirobana'(4), Viburnum tinus 'Eve Price'(3)

HEDGE PLANTING

Planting of Beech and ornamental flowering hedges to frontages in selected areas will create 'character' zones and a sense of place within the development. Hedges will be planted as 60-80 cm hedging plants as specified on the detailed design drawings.

WOODED BUFFER

The area of existing vegetation to the south of the development will be retained and enhanced by planting block of light woodland and scrub mix. Remaining areas of grass will be planted with wildflower seed mix where necessary to reinstate the existing.

LIGHT WOODLAND

- | | |
|------------------|-----|
| Acer campestre | 20% |
| Betula pendula | 25% |
| Corylus avellana | 15% |
| Ilex aquifolium | 5% |
| Malus sylvestris | 10% |
| Sorbus aucuparia | 25% |

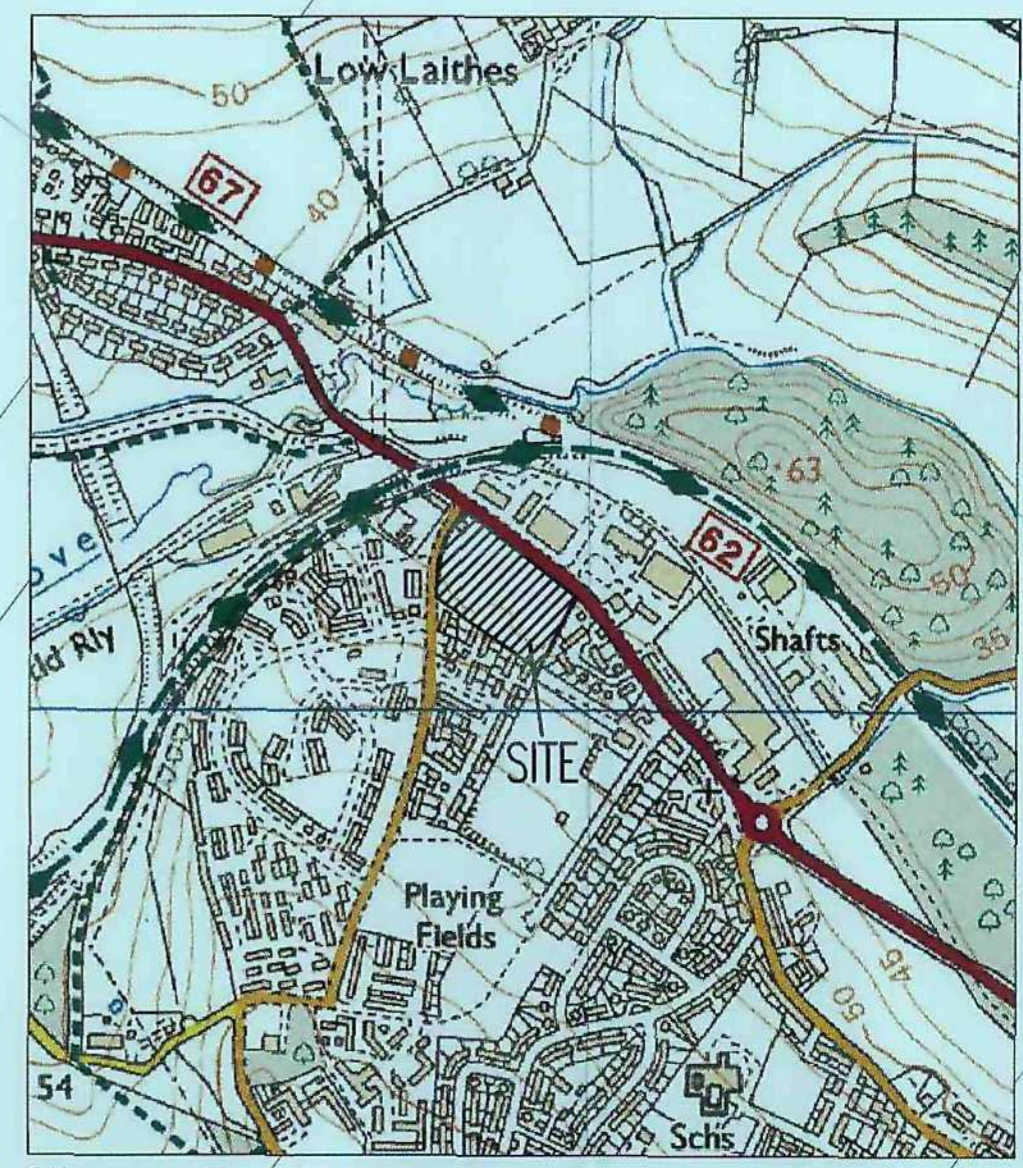
NATIVE SCRUB

- | | |
|--------------------|-----|
| Cornus sanguinea | 5% |
| Crataegus monogyna | 50% |
| Ilex aquifolium | 5% |
| Prunus spinosa | 20% |
| Rosa canina | 10% |
| Rosa arvensis | 5% |
| Viburnum opulus | 5% |



<p>Sue Farnham MSc LLU Landscape Architect</p> <p>Westleigh Hall Wakefield Road Denby Dale Huddersfield HD8 8QJ telephone 01484 861611 fax 01484 861616 iscdn 01484 866900 email info@fdandscape.co.uk www.fdandscape.co.uk</p>	<p>client Strata Homes Ltd</p>
	<p>project Residential Development BARNLSLEY ROAD, WOMBWELL</p>
<p>drawing title LANDSCAPE MASTERPLAN</p>	<p>scale 1:500</p>
<p>date Feb 11</p>	<p>drawn by SF</p>
<p>drawing no R/1213/1</p>	

NOTE
Lateral sewers to be Plastidrain (110 & 160 O.D.) in UPVC and manufactured by Hepworth or similar approved by Yorkshire Water. Demarcation chamber to be polypropylene Non-Entry Inspection Chamber up to 2.0m depth manufactured by Wavin or similar approved by Yorkshire Water to BS EN 13598-1:2003.



Site Location Plan
1:10000 Approx

N O T E S

- KEY**
- G Gully
 - Storm water manhole
 - Foul water manhole
 - Rain water pipe
 - Foul stack
 - Storm water sewer
 - Foul water sewer
 - Combined sewer
 - Sewer to be abandoned
 - Acco channel or similar approved
 - VC Yard gully

1. For longitudinal sections refer to drawing 374/19/06.
2. No services are to be sited directly over, or within 1m of, an adoptable sewer or manhole.
3. Private drainage connections to adoptable sewers to be via 45° junction.
4. Off site manholes already built must have invert levels checked prior to connection to the off site drainage.
5. Any connections to existing sewers/manholes are to be supervised by Yorkshire Water.
6. All connections to proposed public sewers to be minimum 150mm.
7. Any land drain or water course on site to be diverted not to pass under proposed buildings. Diversion to be approved and inspected on site by the Local Authority.

Yorkshire Water General Notes

1. All adoptable sewer works and material to be in accordance with "Sewers for Adoption 6th Edition The Relevant British/European and Yorkshire Water's Standard/Addendum and Kitemarked".
2. Manhole covers shall/must have a clear opening of 600mm and shall be Class D400 BS EN 124 with 150mm deep frames in highway.
3. Filled ground must be filled and consolidated under the supervision and to the satisfaction of Yorkshire Water before any sewer works are carried out.
4. Cover slabs must carry the BS Kitemark or will be rejected by Yorkshire Water inspector. Where the clear opening of the Kitemarked product is different to that of the cover and frame, a loading bearing slab should be fitted above the cover slab to bring the size down to 600x600mm for the Yorkshire Water specified cover size.
5. The adoptable sewers should be a minimum of 1m and manholes 0.5m from kerb faces and service margins.
6. Sewers must have 5 metres clearance from trees and hedges. (Also refer to Figure 2.3 on page 33 in "Sewers for Adoption" 6th Edition for restrictions on tree planting adjacent to Sewers).
7. Sewers to be laid in Class "S" bedding (150mm granular bed and surround). Where depth of cover to top of the sewer is less than 1.2m in highways and verges (or less than 900mm in non vehicular access areas) then a concrete slab should be provided above the granular bed and surround.
8. Adoptable sewer pipes to be laid in maximum 3 metre lengths unless there is a specific operational need to lay longer.
9. Plastic channel sections in manholes are not acceptable and clayware is preferable. Plastic channels are difficult to set in concrete and a satisfactory finish cannot be obtained on the benching.
10. The chamber size of manholes with more than one connection in them may need to be increased on increment to accommodate the connections and bends.
11. Yorkshire Water policy is not to accept Type "C" brick manholes. Instead Type "B" manholes with 1200mm dia or 1500mm dia. rings, with the opening sit over the chamber where depth of cover to pipe soffit is 1-1.5m shall be used.
12. Surface water and foul rising mains to be provided with marker tape above the rising mains.
13. If plastic pipes are to be used then the following should apply:
 - a. All adoptable sewers to be BS1 Kitemark (certified to MS 4-35-01).
 - b. Bedding and backfill material to conform to the requirements of Water Industry Specification 4-06-02 (Table A2).
14. Where plastic pipes are proposed for adoptable sewers, structural calculations for the plastic pipes and a site investigation report to prove that the ground condition is suitable for the plastic pipes are to be produced.
15. Where plastic pipes are installed into the ground prior to getting full technical approval, the developer must provide a CCTV survey of the prospectively adoptable sewers and a deformation test (Light-Line test) of the plastic pipes.
16. Demarcation chambers to be a min. 450mm chamber for 100mm foul & 150mm surface water pipes up to 1.2m deep. For depths greater than 1.2m, restricted access opening to 350mm is required for safety reasons.
17. Maximum depth of demarcation chamber to be 2m, where depth exceeds 2m, manhole to be constructed as type B manhole.
18. Yorkshire Water is not obliged to accept filter drain/land drainage runoff into the public sewer network or adoptable drainage system (directly or in-directly). An alternative method of disposal of the land drainage runoff will therefore be required and lesson with the Local Authority. Land Drainage Section with regard to the disposal of the filter drain/land drainage runoff is required.
19. Sulphate resistant cement (C20-D2) and precast concrete products must be used or a laboratory report provided that such precautions are not necessary.
20. Strength of vitrified clay pipes (if used) to be 34KN/m for 1000, 40KN/m for 1500, 45KN/m for 2250 and 72KN/m for 3000. All concrete pipes to be Class 120 concrete to BS EN 1916.



MJB	07.03.11	Issued for approval	ARP
Rev	By	Date	Revision
			Chk

ARP ASSOCIATES
CHARTERED CONSULTING ENGINEERS

Northwest House • 5/6 Northwest Business Park • Servia Hill • Leeds LS6 2DH
Telephone: 0113 2458498 • Fax: 0113 2443864 • E-Mail: leeds@arpassociates.co.uk

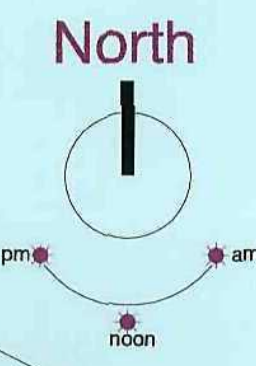
TITLE PROPOSED DRAINAGE LAYOUT (1 of 2)

PROJECT
WOMBWELL MILLS
BARNSELY

CLIENT
STRATA HOMES

Scale	Date	Drawn
1:250 @ A1	FEB 11	MJB
		Chk. ARP

Drwg. No. 374/19/SK07.01



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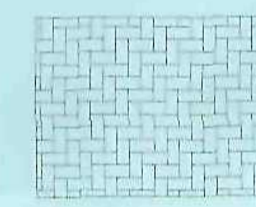
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Rev: _____ Date: _____ Action: _____ Initls: _____

ACCOMODATION SCHEDULE		SITE: Bamsley Road Wombwell			
DRAWING NUMBER:	BR/WW/SK03 E	No	Bedrooms	Parking Type	Storey Height
Aix	Ai	1	2	PS/IG	2
Lisbon	Li	1	1	PS	2
Colmar	Cm	1	2	PS	2
Lucca	Lu	8	1	PS	3.5
Monaco	Mo	10	2	PS	3
Oslo	Os	3	1	PS	2
Milan	Mi	4	2	PS	2
Cadiz	Ca	12	3	PS	2.5
Roma	Rom	6	3	PS	2
Geneva	Gen	12	3	PS	2.5
Malmo	Ma	9	3	IG	2.5
Rouen	Ro	14	4	IG	3
Verona	Ve	11	4	G	3
TOTAL		92			

Surfacing Materials Legend

-  Black Tarmac Surfacing to BMBC specification
-  Marshalls Tegular Brindle block paving
-  Marshalls Mistrals Silver Grey block paving



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scale: 1/500 | drawn by: ikc | date: 01.08.10

Project: Bamsley Road Wombwell

Drawing: Materials Plan Surfacing

Drawing Number: BR/WW/MAT/02 | Revision

