

**DESIGN & ACCESS STATEMENT FOR RESIDENTIAL DEVELOPMENT
37 TIVYDALE, CAWTHORNE NYP REF 35/10**

INTRODUCTION

This design and access statement has been prepared in support of the full planning application by Mr and Mrs C Watkinson for a new detached dwelling.

The planning application relates solely to the above development however outline information is provided to illustrate how the remainder of the site may be developed with detached dwelling and garage.

The proposals reflect pre-application consultation with the Local Planning Authority.

Originally it was proposed that the remaining garden to the east of 37 Tivydale be divided into three plots however in response to concerns regarding the scale of the dwelling in relation to its site the plots have been reduced from three to two.

The Owners of the site (Mr and Mrs R Watkinson) have three children, born and brought up in Cawthorne and this development would provide a home for their son's family.

CONTEXT

The UDP shows the site within the Village Housing Policy Area and within the Conservation Area.

Previous planning approvals have been granted on the site for residential development. (35a Tivydale).

Tivydale road is within a residential area comprising mostly detached suburban properties although a row of terraced cottages are adjacent the existing access off Tivydale which serves 35a Tivydale. Refer to photo no.1.

Improvements to the access are the subject of Planning Approval 2007/1903.

A modern housing development lays to the east of the site.

There is a pedestrian route from Tivydale, along Back Lane to the A635. Back Lane is tree lined with dry stone wall adjacent the site and brick boundary wall screening the housing development to the east. Refer to photo no 3.

THE SITE

37 Tivydale has a large garden and this southern section was previously part of the garden.

The site rises approximately 11m from Tivydale House to Back Lane.

The site is screened from existing residential development to the north and south by high conifer hedges. Refer to photos nos 2 and 4.

A line of deciduous and coniferous trees run approximately north south across the site, part of these trees are to be retained to provide screening between the proposed dwelling and housing along Tivydale road. Refer to photo no 5.

A tree report is included with the application.

A desktop study is included with the application which indicates that there has been mining on the site. It provides preliminary details of a way of providing suitable foundations for the dwelling.

A topographical survey of the land has been carried out by land survey consultants and their drawing is included in this application.

PROPOSALS

The crossfall of the site exceeds 1:15, consequently a stepped approach for ambulant disabled people is provided between the dwelling and parking area. The development is to be designed to comply with Building Regulations Part M.

The development includes a single detached dwelling with 4 no parking spaces, a vehicular manoeuvring area which will also allow for fire engine access, a shared driveway extending from the existing access serving 35a and a pedestrian access to Back Lane.

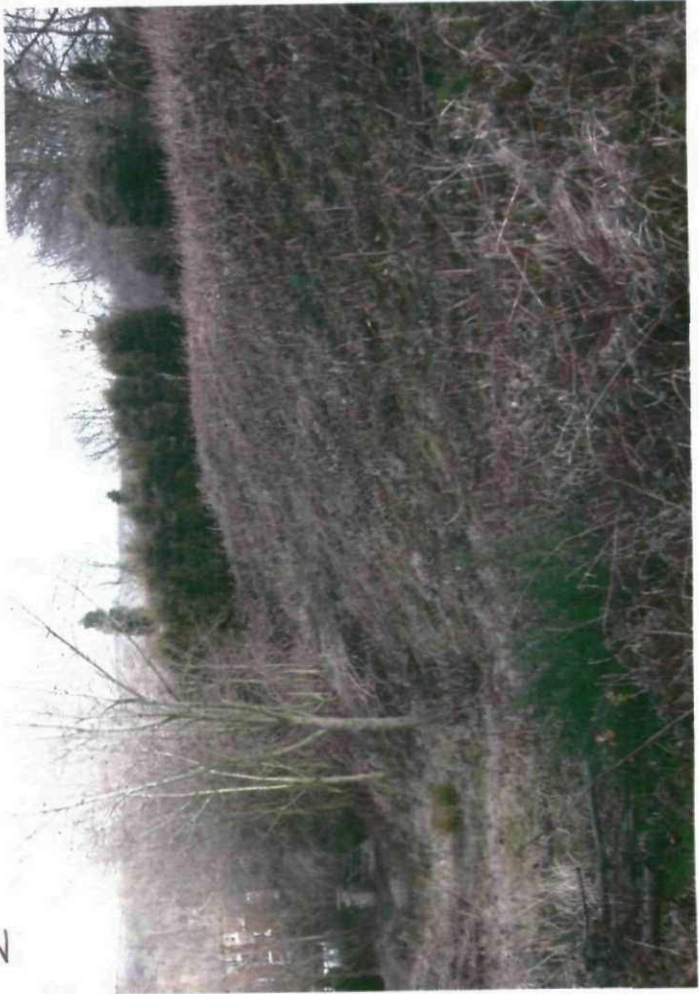
The steeply sloping nature of the site has determined that retaining structures and embankments will be required to construct the access way and dwelling. A planting scheme is to be provided to minimise the impact of these structures on their surroundings.

The architectural appearance of the proposed dwelling reflects the style of existing dwellings within the Conservation Area and existing dwellings in the vicinity of a similar scale and appearance as illustrated on photographs 6 – 11 inclusive.

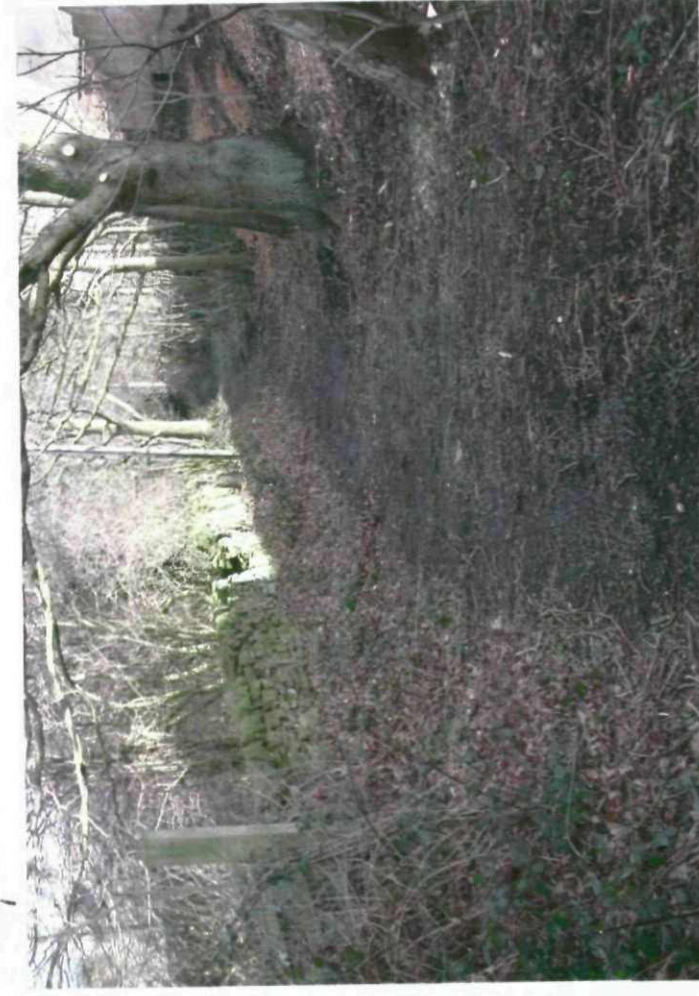
References to materials, fencing, retaining structures etc are described on the plans accompanying the application.

CONCLUSION

The proposals seek to enhance the character of the site and the character of this predominantly residential area and for these reasons we invite the Local Planning Authority to support this application.



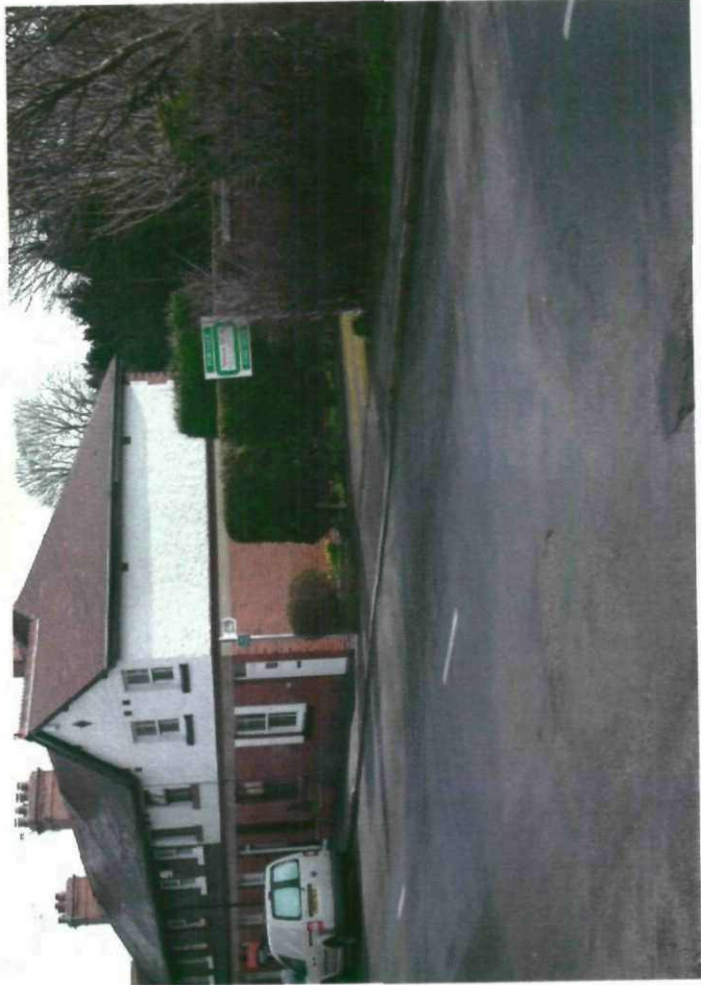
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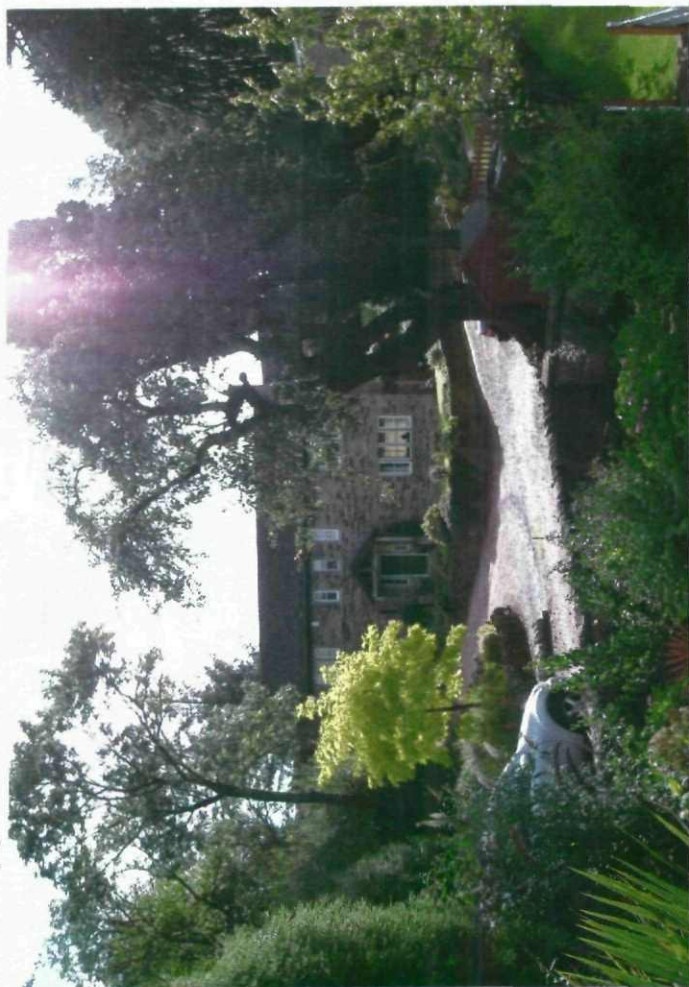
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