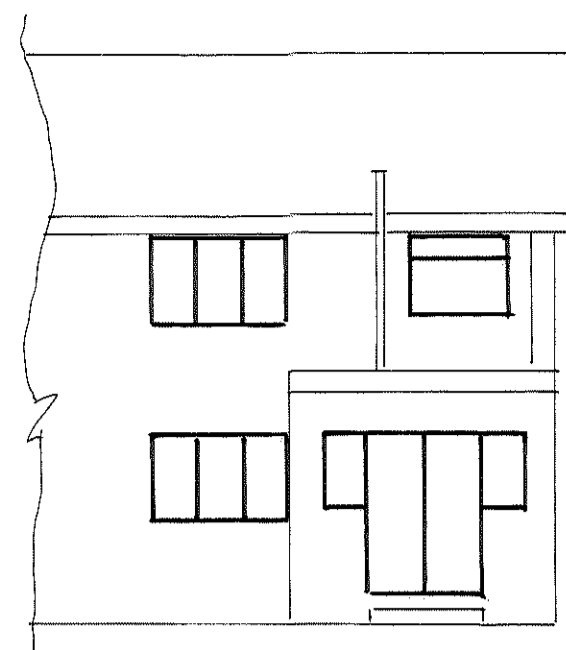


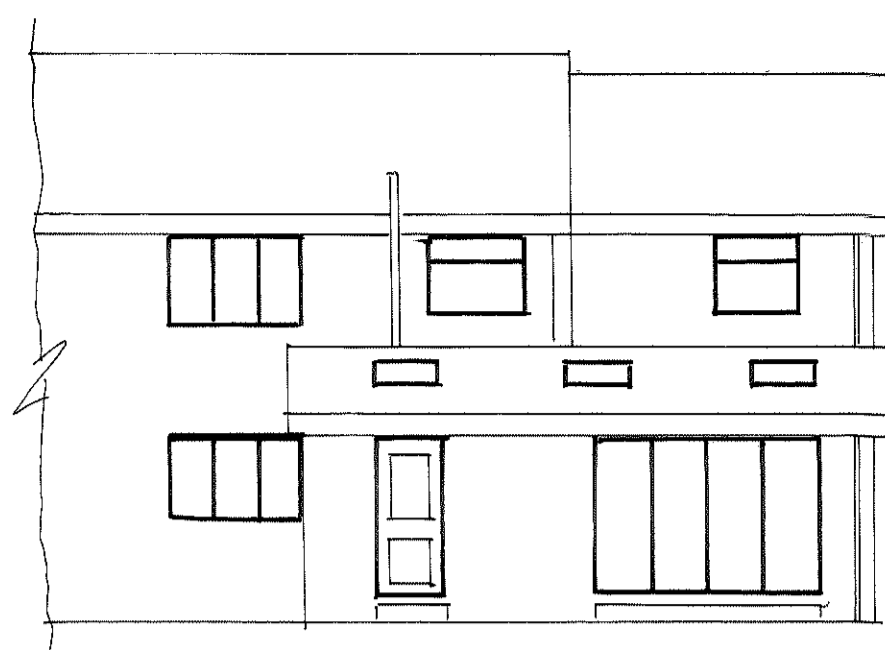
EXISTING FRONT ELEVATION



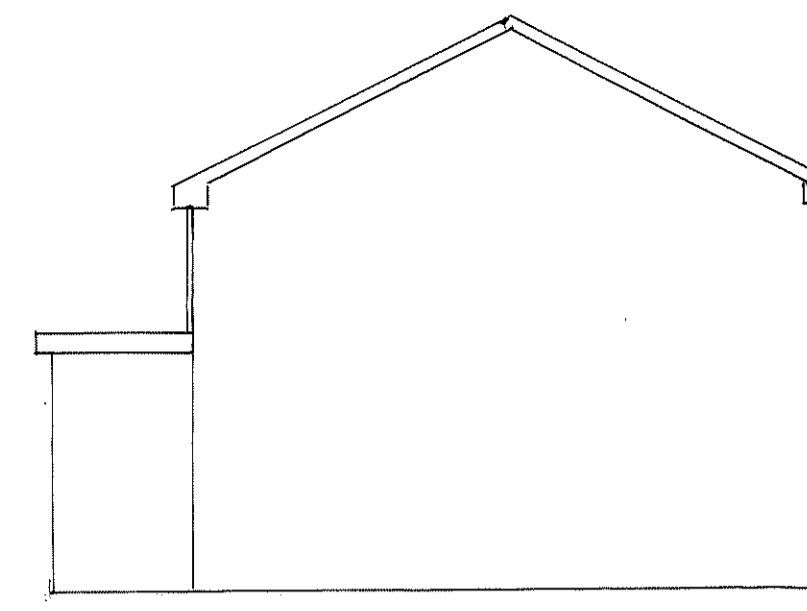
PROPOSED FRONT ELEVATION



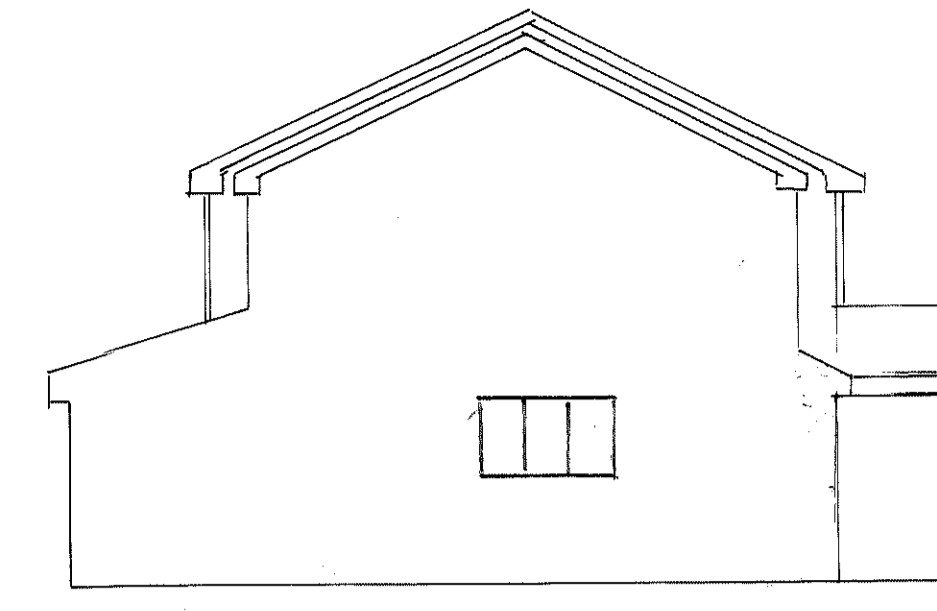
EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION

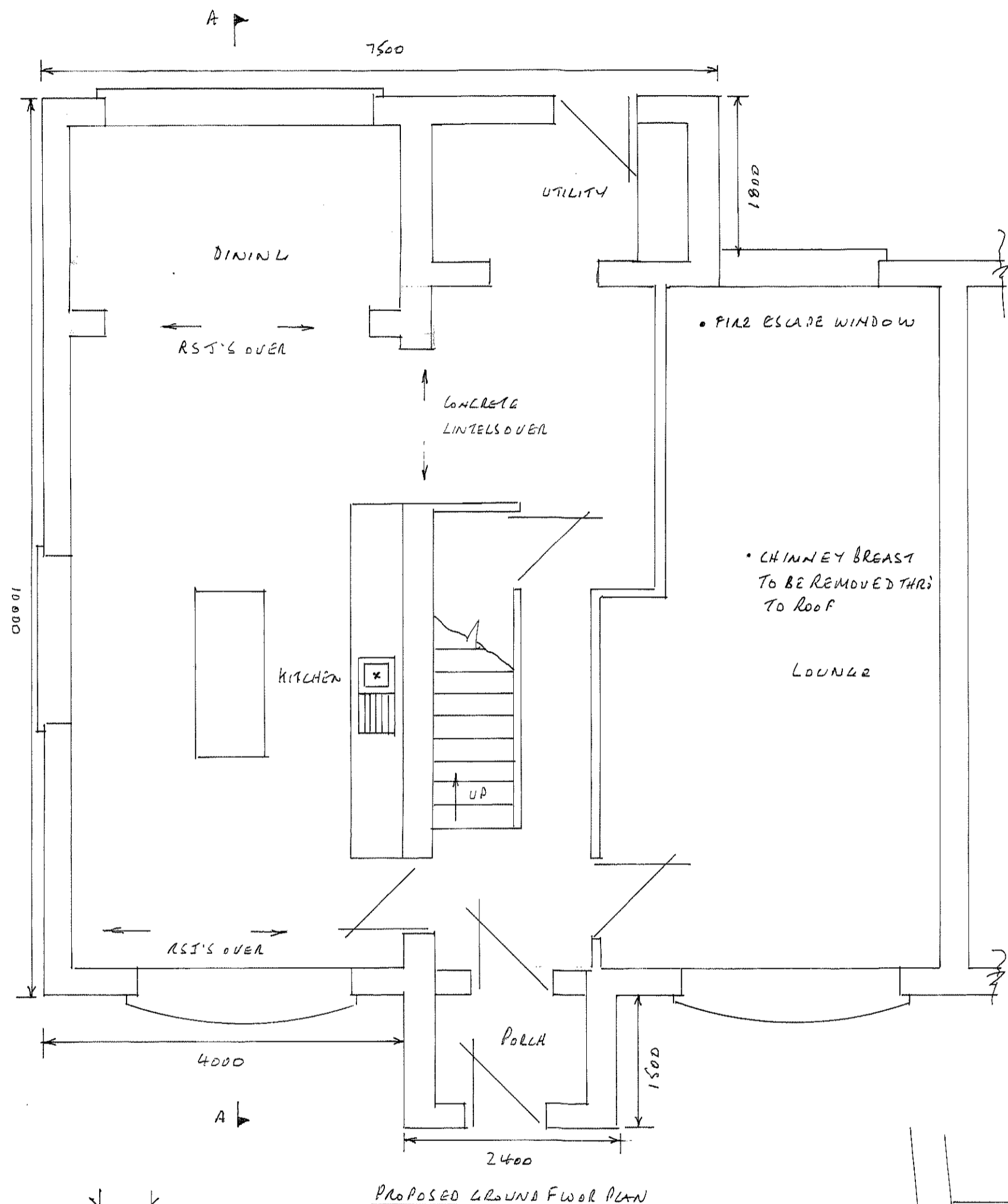


EXISTING SIDE ELEVATION

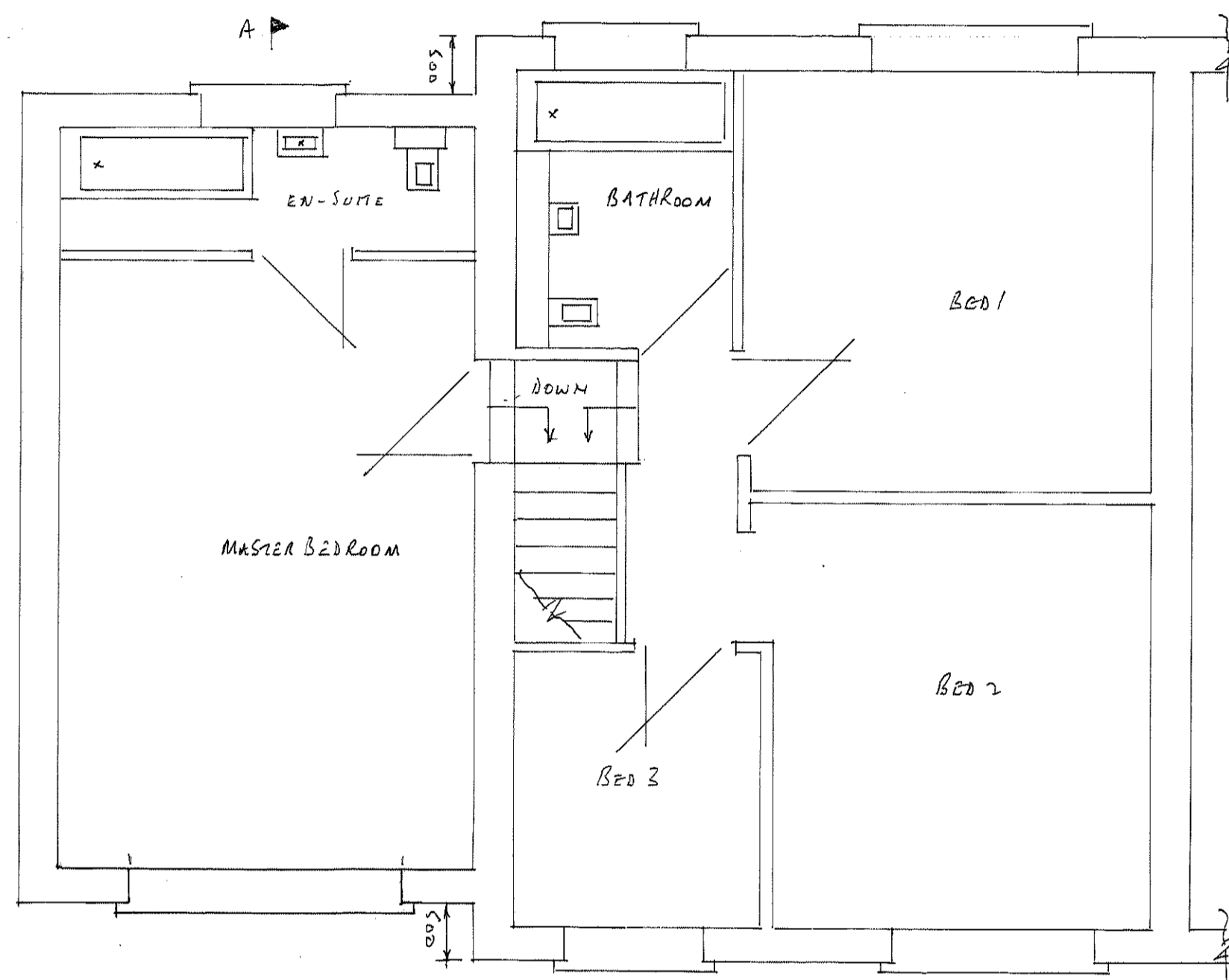


PROPOSED SIDE ELEVATION

ELEVATIONS SCALE 1:100

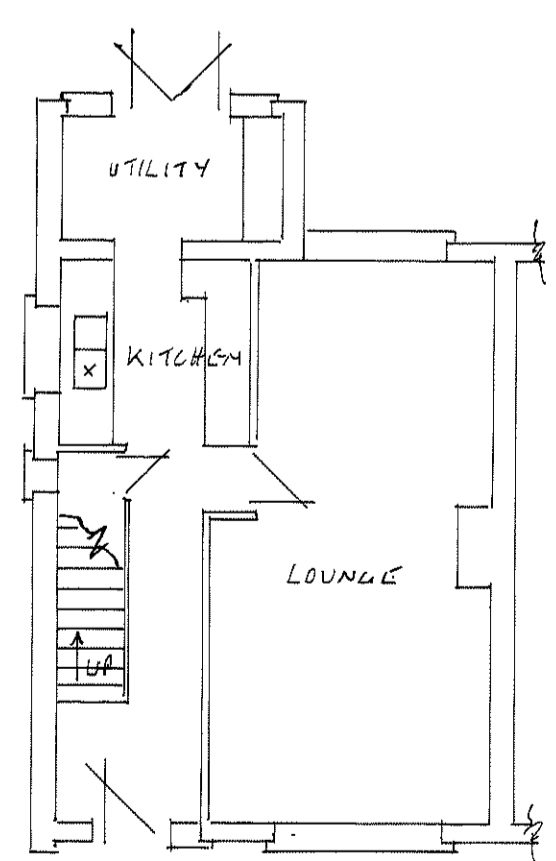


PROPOSED GROUND FLOOR PLAN

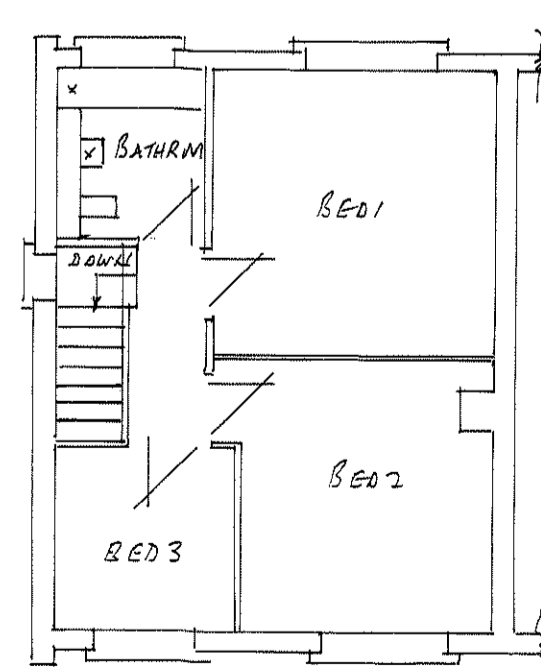


PROPOSED FIRST FLOOR PLAN

PROPOSED PLANS SCALE 1:50



EXISTING GROUND FLOOR PLAN

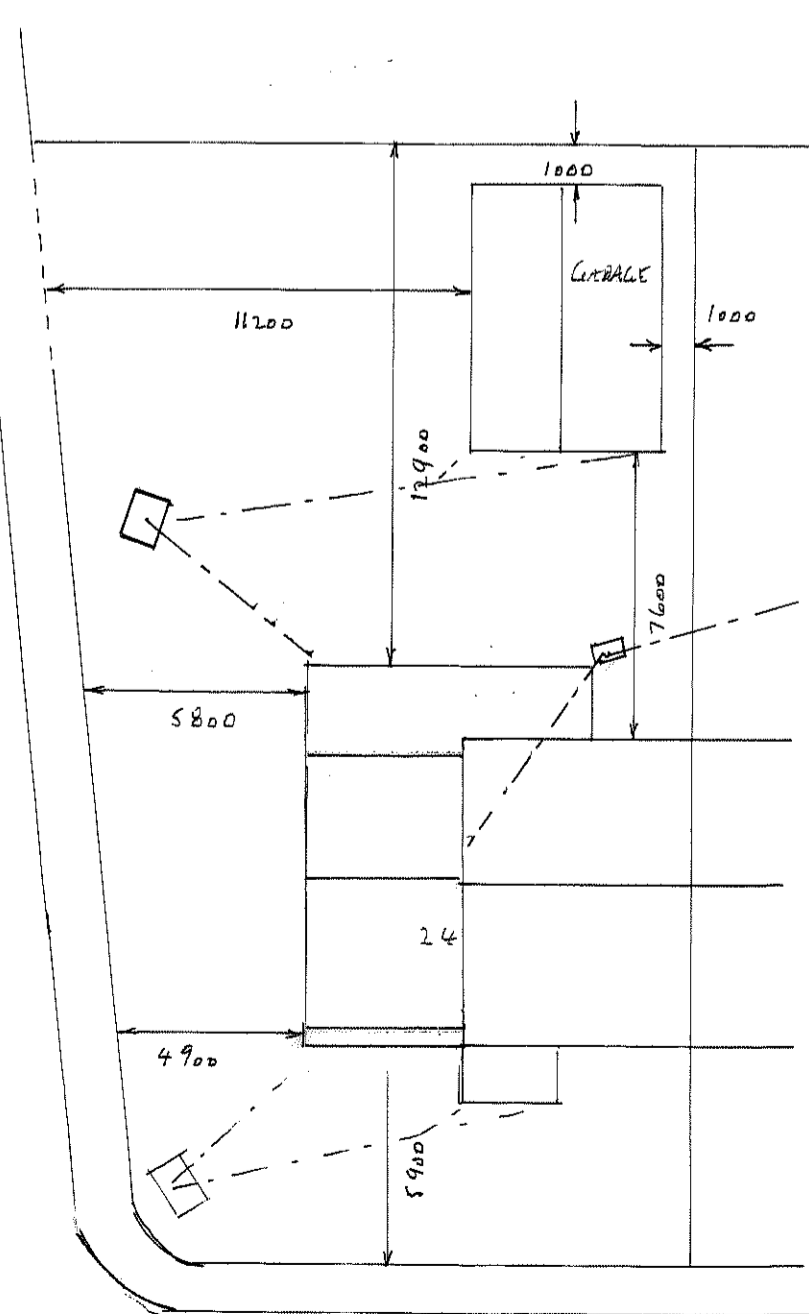


EXISTING FIRST FLOOR PLAN

EXISTING PLANS SCALE 1:100

GARAGE FLOOR

- 150mm HARDBOARD
- 25mm SAND BLINDING
- 1200 GAUGE VISQUEEN DAM LAPRO
- INTO HORIZONTAL DPL
- 150mm CONCRETE WITH A POLISHED FINISH



SITE PLAN SCALE 1:200

FOUNDATIONS

- 600 x 150mm CONL. STRIP DEPTH 750mm SUBJECT TO LA APPROVAL

WALLS

- TRENCH BLOCKS BELOW G.L. • BRICKWORK TO MATCH EXISTING • 100mm LWL LWBLOCKS
- 100mm CAVITY FILLED WITH DEITHERAN INSULATION BATTIS • HORIZONTAL DPC 150mm
- MIN ABOVE G.L 150mm DPC TO REVEALS • REVEALS TO BE INSULATED • STAINLESS
- STEEL TIEWIRES PALED 750mm HORIZONTALLY 450mm VERTICALLY & 225mm
- TO REVEALS • EXTERNAL REVEALS TO BE 665mm MIN • G 90/100 LINTELS OVER
- EXTERNAL OPENINGS WITH DPL APRON OVER & WEATHOLDS EVERY 900mm END
- BEARINGS TO BE 150mm MIN • NEW WALLS TIED TO EXISTING WALLS WITH
- TOOTHINGS & SCREW IN TILES EVERY 225mm & ENSURING A CONTINUOUS CAVITY

GROUND FLOOR

- 100mm HARDBOARD • 100mm OVERSITE CONCRETE FINISHED ABOVE G.L. • 215x140mm
- A/A GRATES & LINERS EVERY 2m WITH DPC APRON OVER • 170x63mm JOISTS AT
- 400mm CENTRES WITH 100mm KINGSPAN BETWEEN ON JUNCTION OR SIMILAR • 18mm
- T/G BOARDING WET GRADE TO WET AREAS

FIRST FLOOR

- 170 x 63mm JOISTS AT 400mm CENTRES • 100mm FIBREGLASS INSULATION BETWEEN
- 1m INTERNAL RESTRAINT STRAPS AT 1.5m CENTRES WITH NOLLINS • 18mm T/G BOARDING

MAIN ROOF

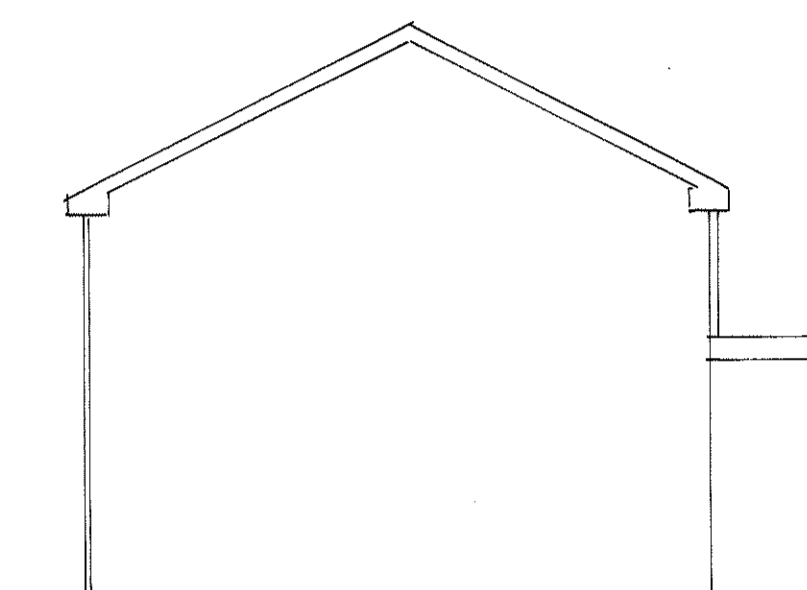
- 100 x 50mm WALL PATES • 100 x 50mm BEILING JOISTS AT 400mm CENTRES • 225x
- 75mm BINDERS AT 1.8m CENTRES • 170 x 25mm RIDGE BOARD • 100 x 50mm
- RAFTERS AT 400mm CENTRES • 225 x 75mm PURLINS MID DIVISION • 1m HOLDING
- DOWN STRAPS EVERY 3 RAFTERS • 1m INTERNAL RESTRAINT STRAPS TO HORIZONTAL
- E CUT UPS EVERY 1.5m WITH NOUGINS • 200 x 25mm FASCIA • 5mm EXTERIOR
- PLY SOFFIT WITH 25mm CONTINUOUS FELT PROOF MESH • REINFORCED BITUMEN
- ROOFING FELT • 38x25mm TIE BATTENS • ROOF TILES TO MATCH EXISTING
- WITH TILE VENTS EVERY 2m • 10mm EAVES VENTS • 150mm INSULATION
- BETWEEN JOISTS • 150mm LAIN OVER AT 90° • CODE 5 LEAD FLASHINGS

LEAN TO ROOF

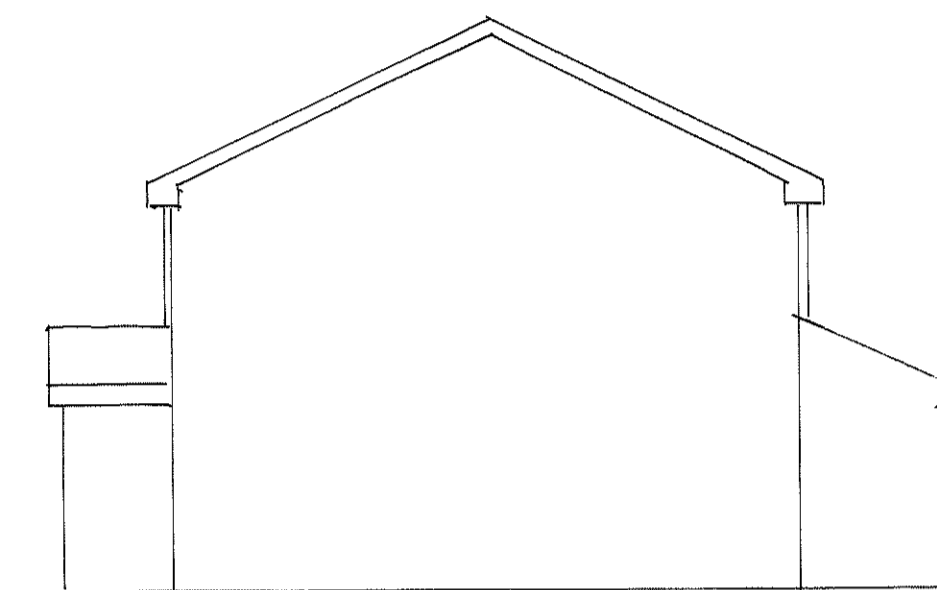
- 100 x 50mm WALL PATE • 100x75mm WALL PATE SECURED TO EXISTING WALL
- WITH RAWL BOLTS EVERY METRE • 150 x 47mm RAFTERS BIRD MOUTHED AT
- BOTH ENDS & SECURED WITH SLIDING TRUSS ELIPS TO FORM A VAULTED CEILING
- RAFTERS TO BE DOUBLED FOR VELUXES REST OF SPEC SAME AS MAIN ROOF

POACH ROOF

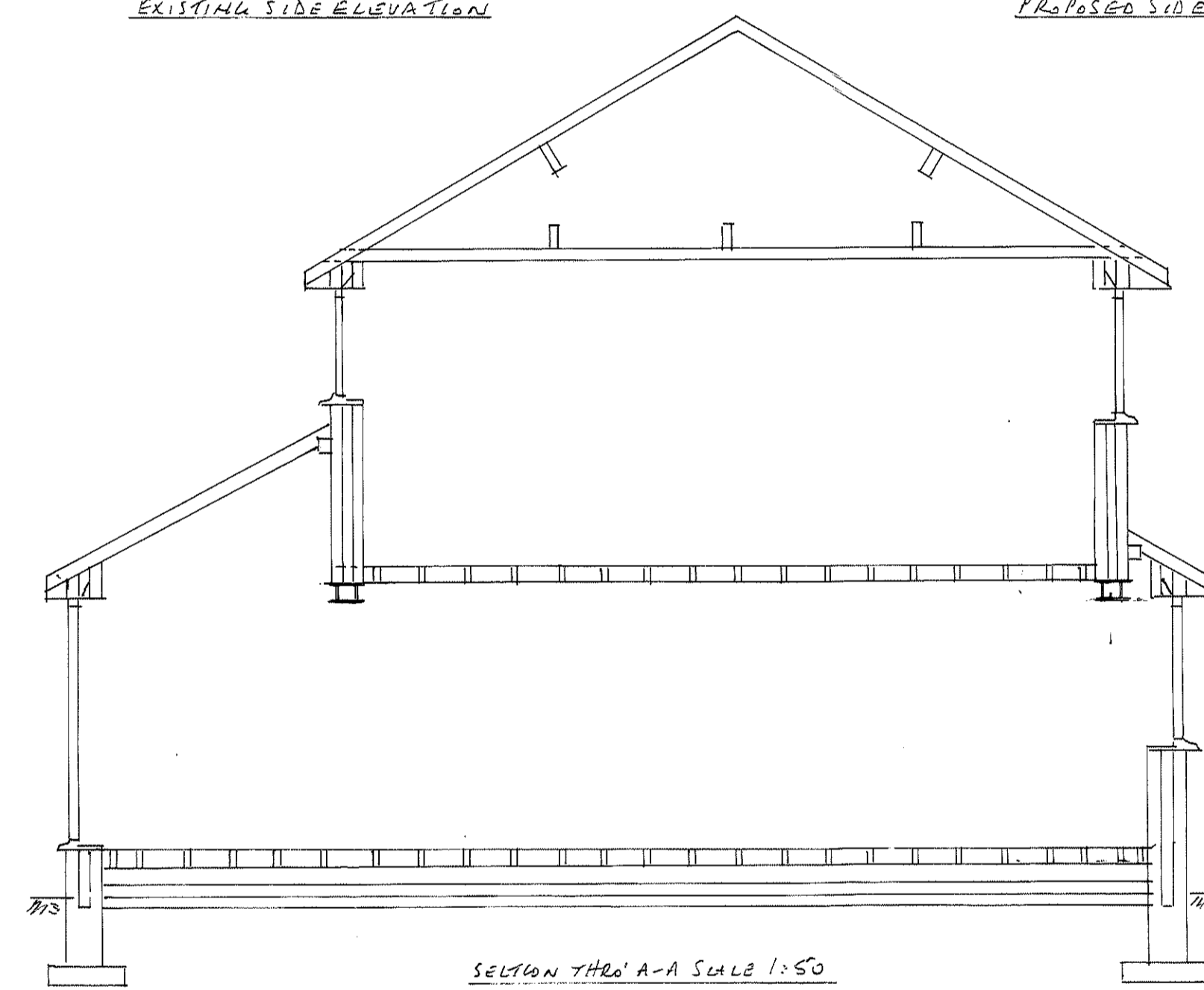
- 100 x 50mm WALL PATES • 150x25 RIDGE BOARD • 100 x 50mm RAFTERS & 100 x
- 50mm BEILING JOISTS BOTH AT 400mm CENTRES REST OF SPEC SAME AS MAIN ROOF



EXISTING SIDE ELEVATION



PROPOSED SIDE ELEVATION



DRAINS

- 100mm RWL'S & 66mm RWP'S TO MATCH EXISTING • SW TO CONNECT TO SW SEWER OR TO SOAKWAYS 5m MIN AWAY
- FROM BUILDING WITH A VOLUME OF 1m³ FOR EVERY OUTLET ENTERING DEPTH TO BE 1m BELOW GREET • FOUL FROM
- ENSUITE TO CONNECT TO FOUL IN EXISTING BATHROOM • FOUL FROM KITCHEN TO CONNECT TO FOUL DRAIN IN EXISTING
- KITCHEN & TO CONNECT TO EXISTING I.L. • FOUNDATIONS TO GO BELOW DRAINS LEAVING A 50mm GAP AROUND &
- BRAIDED WITH SPANLITE LINTELS

GENERAL

- NEW WINDOWS & DOORS TO MATCH EXISTING & TO HAVE TRICKLE VENTS 900mm TO BE PICKINGTON K GLASS WITH A
- 16mm AIR GAP & SOFT LOW E COATING L VALUE TO BE 1.6 WINDOWS TO HAVE OPENING LIGHTS 5% FLOOR AREA • BEDROOM
- WINDOW TO HAVE CLEAR OPENING 450mm WIDE x 750mm HIGH & LIL TO BE 800-100 ABOVE FLOOR • KITCHEN TO HAVE
- EAN EXTRACTING 40L/SEC UTILITY HAVE FAN EXTRACTING 20L/SEC • EN-SUITE EXTRACTING 15L/SEC & ALL
- CONTROLLED BY AN INDEPENDENT SWITCH • PROVIDE SMOKE ALARMS WITH BATTERY BACK UP TO CIRCULATE IN AREAS
- ON EVERY FLOOR & TO BE INTERLINKED TO A SEPERATE CIRCUIT • ALL ELECTRICAL WORK TO COMPLY TO PART P
- ELECTRICAL SAFETY & MUST BE DESIGNED, INSTALLED, INSPECTED & TESTED BY A COMPETENT PERSON REGISTERED UNDER
- THE COMPETENT PERSON SCHEME A COPY OF THE BUILDING REGS SELF CERTIFICATE IS TO BE GIVEN TO BUILDING CONTROL ON
- COMPLETION OF WORKS • HEATING ALTERATIONS TO BE DONE BY A GAS SAFE ENGINEER & TRUSS ROD FOR EXTENSION
- OF HEATING SYSTEM • ROOF TO GARAGE TO HAVE 100 x 50mm WALL PATES WITH TO A ROOF TRUSSES SUPPLIED BY
- SPECIALISTS & TO COMPLY TO BS 5268 PART 3 SPALCO AT 600mm CENTRES REST OF SPEC SAME AS MAIN ROOF • WALLS
- TO GARAGE TO HAVE 50mm CAVITY WITHOUT INSULATION & G 90/100 LINTEL OVER DOOR OPENING REST OF SPEC SAME
- AS SPEC FOR EXTENSIONS • STRUCTURAL ENGINEER TO PROVIDE CALCULATIONS FOR RTJ'S SUPPORTING WALLS OVER GARAGE
- DOOR & OVER BI-FOLDING DOORS & CALLS TO BE GIVEN TO BUILDING CONTROL FOR APPROVAL • INSULATION TO LEAN TO ROOF
- 90mm KINGSPAN BETWEEN RAFTERS LEAVING 50mm GAP & THIN TIE INSULATION BOUNDERSIDE WITH 12.5mm PASTERBOARD & SKIN

PROPOSED DOUBLE STOREY SIDE EXTENSION SINGLE STOREY REAR EXTENSION FRONT PORCH & DETACHED GARAGE AT:-  
 24 HEDGE LANE  
 DARTON  
 BARNSELEY