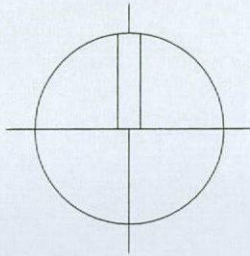


APPENDIX 3

PLANS – STRUCTURAL APPRAISAL OF BARN

North



Oaks Plantation

The Oaks Farm

Barn 1

The Oaks Farm

Bungalow

Barn 2

HOLLYWOOD

OAKS WOOD DRIVE

OAKS WOOD DRIVE

OAKS WOOD DRIVE

WILLOW BROOK CLOSE

WILLOW

CLOSE

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OAKS FARM
OAKS WOOD DRIVE
DARTON
BARNLEY
S75 5PT

Scale 1:1250

Date May 2010

Ref 25.13

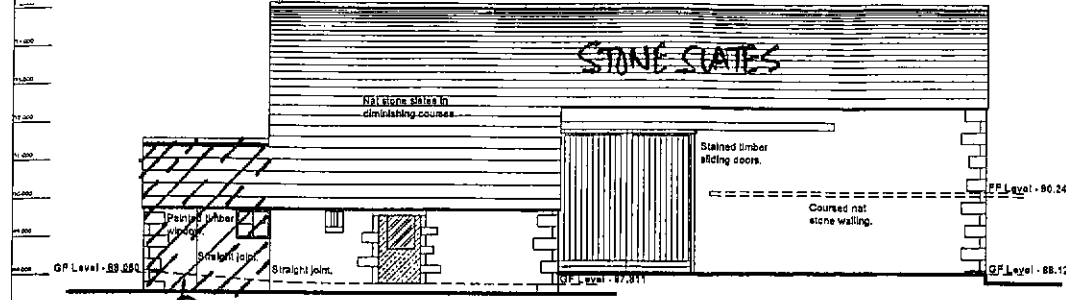
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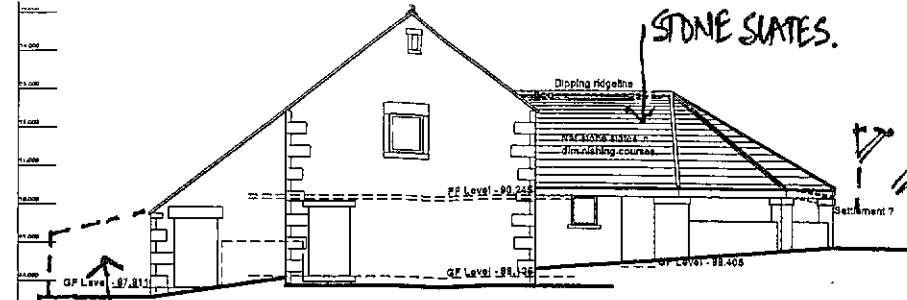
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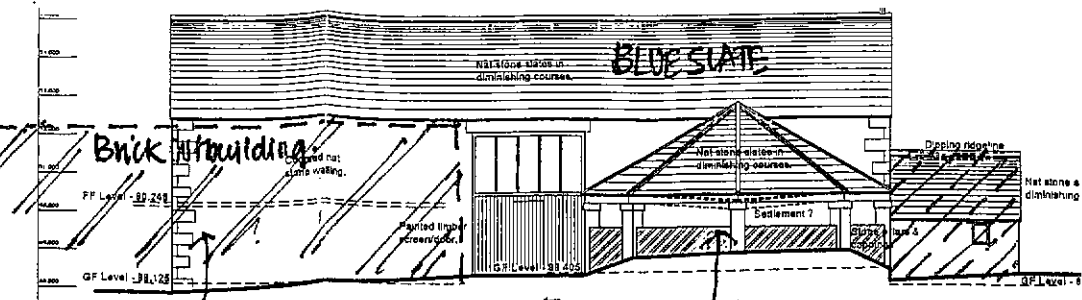
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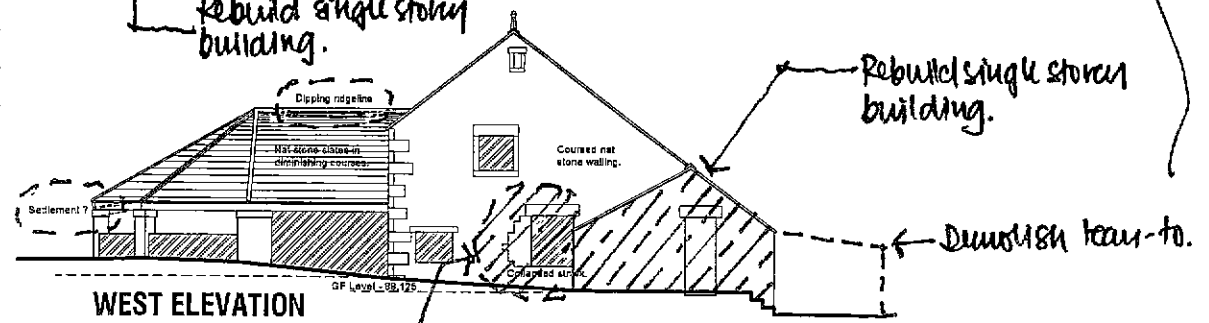
SOUTH ELEVATION



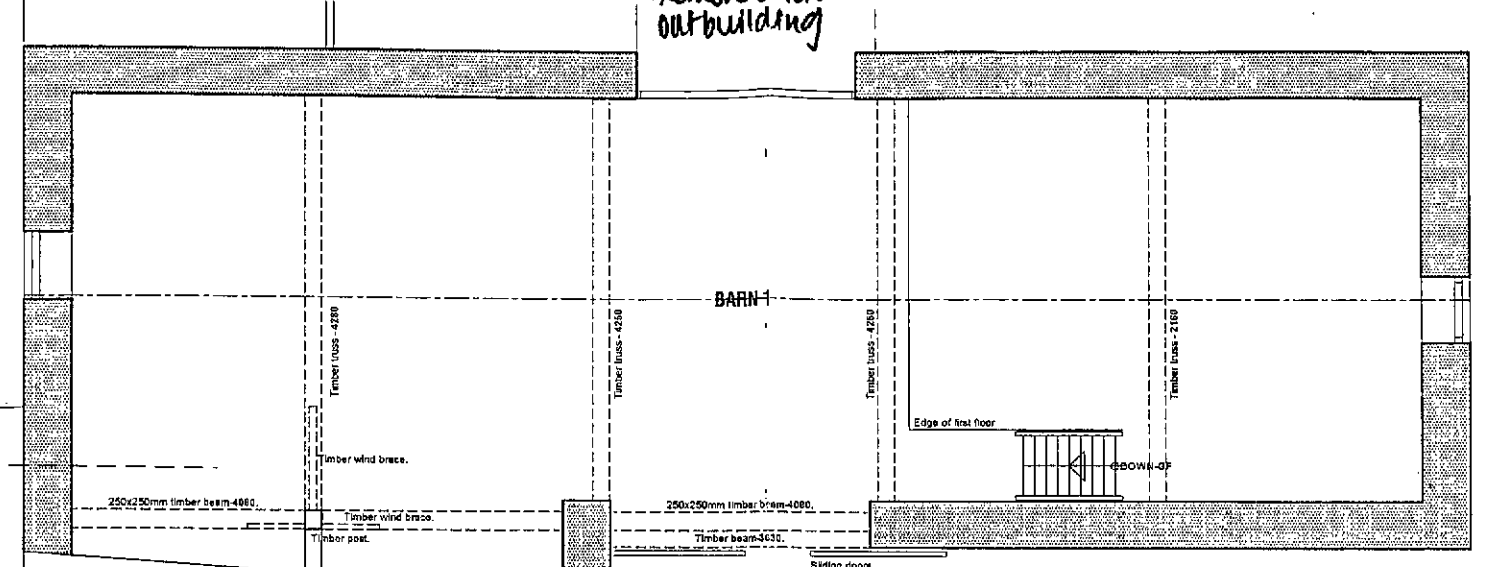
EAST ELEVATION



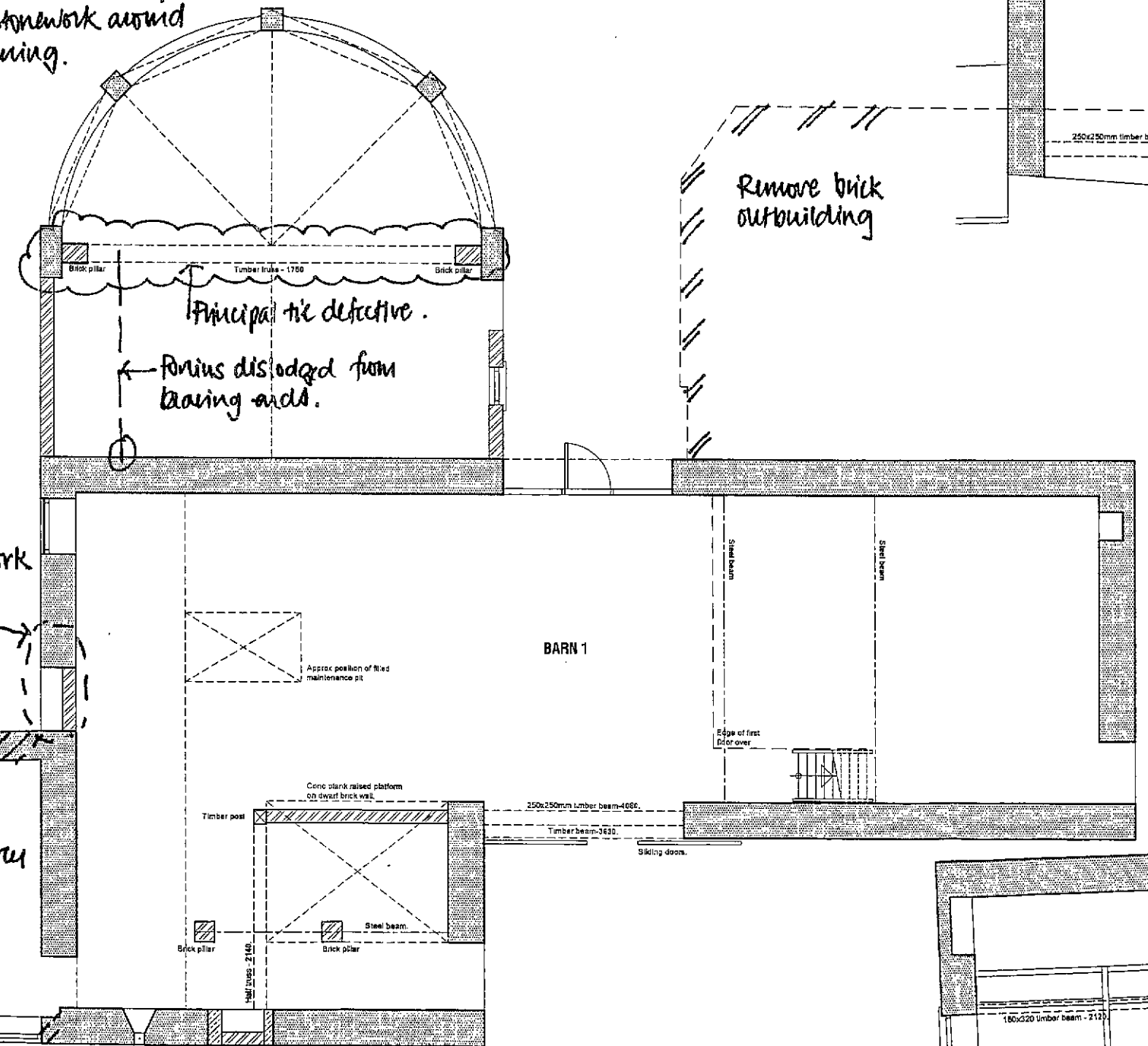
NORTH ELEVATION



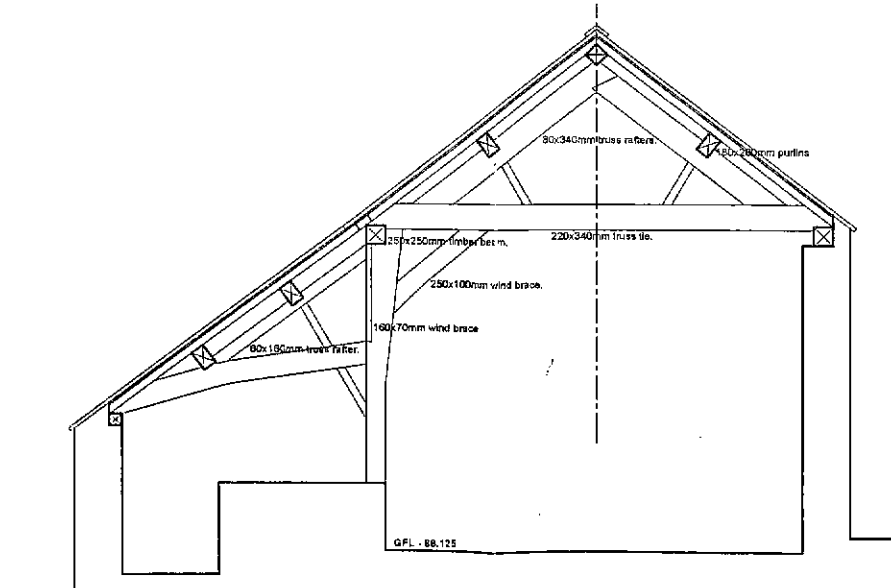
WEST ELEVATION



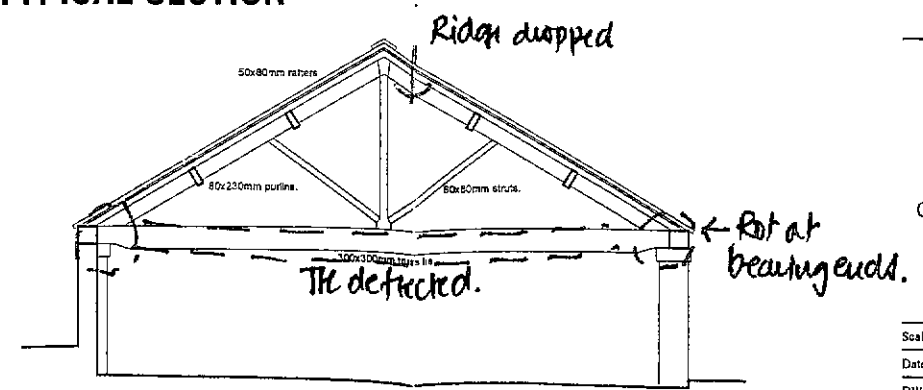
FIRST FLOOR PLAN



GROUND FLOOR PLAN



TYPICAL SECTION



SECTION THRU WHEELHOUSE

**BARN A
STRUCTURAL
APPRAISAL**

OAKS FARM, OAKS WOOD DRIVE,
DARTON, BARNSELY,
S75 5PT.

BUILDING SURVEY 2

BARN 1 - PLANS, SECTIONS & ELEVATION



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Scale: 1:50 & 1:100 @ A1 Drawn: JE

Date: NOV 2010 Ref. No. 25/13

DWG. No. S3 Rev.

0 5m 1 2m 3m 4m 5m

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APPENDIX 4
ASSESSMENT OF SIGNIFICANCE

Assessment of Significance

Grade II Listed Barn at Oaks Farm, Darton

Listing Text

- *SE 31 SW Darton Darton Lane*
- *2/105 Principal barn at The Oaks, approximately 20m north east of farmhouse*
- *II*
- *Barn. Probably late C17 with attached C19 horse-engine house. Coursed rubble with quoins. Stone slate roof except rear of barn which has Welsh slate roof. Five internal bays with 2-bay outshut to front left and horse-engine house to rear left. Full-height square-headed cart entry to centre bay. Front of outshut is rendered. Lower addition to left not of special interest. Rear: The single-storey added engine house projecting to right is of single bay with a 4-sided apsidal end supported on monolithic piers. Part-blocked opposing cart entry.*

Interior: 4 principal-rafter trusses with small queen-struts. One arcade post braced to tie-beam. Some re-used timber.

Assessment

Oaks Farm, or "The Oaks" as originally known, comprised a group of traditional farm buildings, which included a two storey dual-pitched farmhouse which completed the western side of the courtyard and was demolished in the late-nineteen-fifties to make way for the replacement bungalow which now stands in a similar position. It is believed that some of the dressed stonework used to construct the bungalow was reclaimed from the original farmhouse.

The site became largely redundant to farming activities around the time that the adjacent land was sold for residential development in the early nineteen nineties. Since this time, the buildings have been used primarily for storage and the bungalow as a private dwelling.

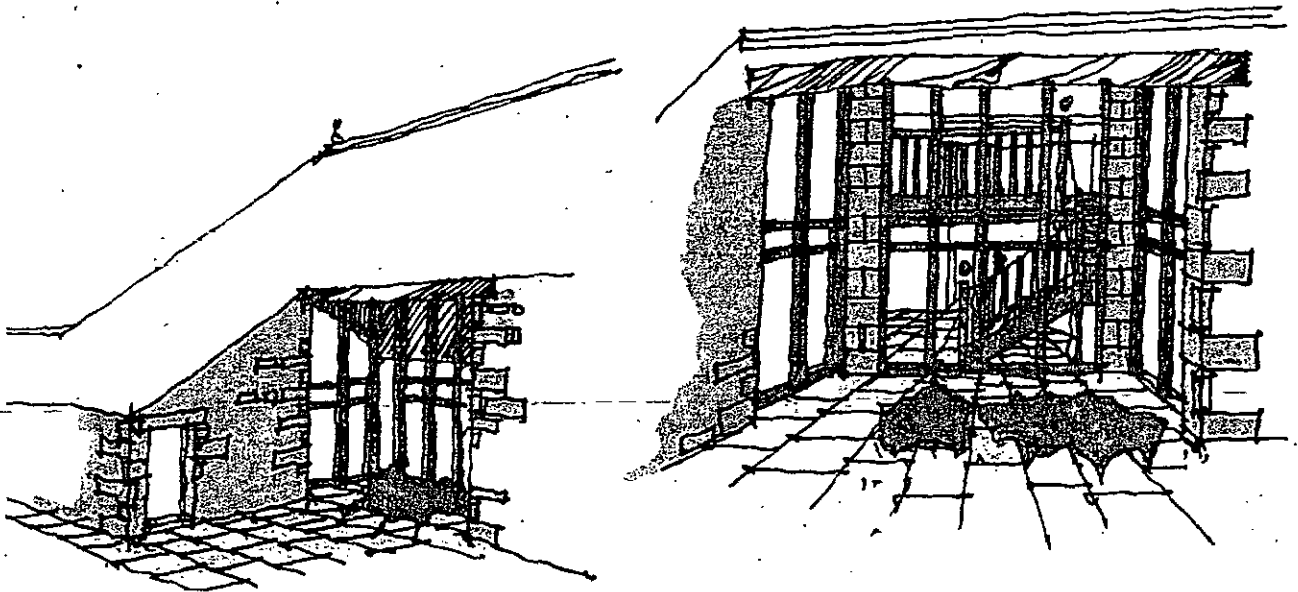
An outline description of the listed building, together with a photographic record and a structural appraisal, has previously been provided within the design and access statement.

The building dates from the late seventeenth century and is in good condition, capable of conversion to a single dwelling with a minimum of structural repair or alteration. The barn is characterised by two large openings located opposite in the north and south elevations and by the later nineteenth century addition of the engine house to the north elevation.

The proposals allow for the careful removal of inappropriate outbuildings at the south west and north east corner of the barn which were constructed of brick and block/render with flat roofs as part of the farming activity. These buildings detract from the asset and their removal will reinstate the original form and appearance.

There is a small, single storey, pitched roof building at the south west corner of the barn. It is in poor condition and we recommend its careful removal and reconstruction, using reclaimed materials, to a similar design and scale over the same footprint.

The barn is of adequate height to convert easily to a two storey building and the design provides an opportunity to retain and expose the vast majority of the internal timber structure. It is proposed that glazing to the large opening on the south elevation is recessed into the building. This will provide natural light to inner rooms as well as emphasising the scale of the barn door and giving an opportunity to experience the full two storey height of the barn through the central core of the building, including the internal staircase and gallery landing.



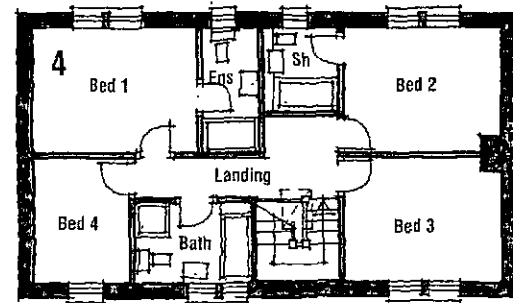
View of recessed glazing to barn door on south elevation

It is proposed to retain the engine house and restore the stone columns and roof structure as previously described. In our opinion, it would be possible to convert the external covered space to use as part of the dwelling by infilling predominantly with glazing between the stone columns, subject to Planning Permission. This would have a very limited detrimental effect on the appearance of the structure and would not detract from the significance of the asset.

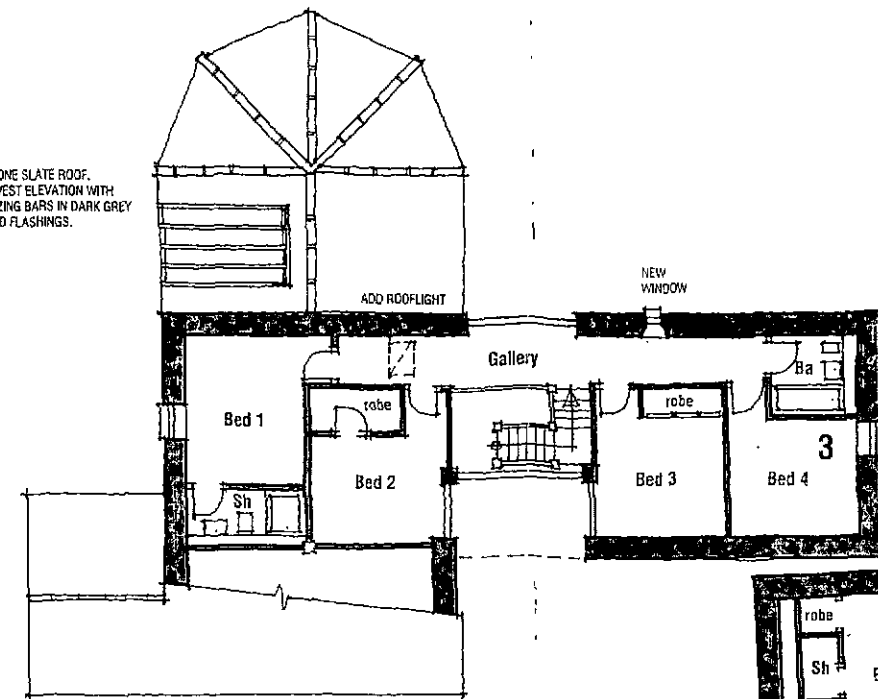
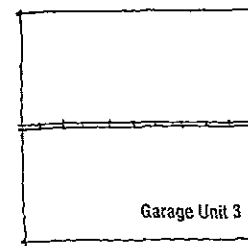
The restoration of the adjoining barn, the proposed new dwelling and garages and the visual improvements to the farmhouse, together with the use of traditional materials and building techniques, will have a positive impact on the setting of the listed building, enhancing the historic asset.

APPENDIX 5
REDUCED SCALE PLANS

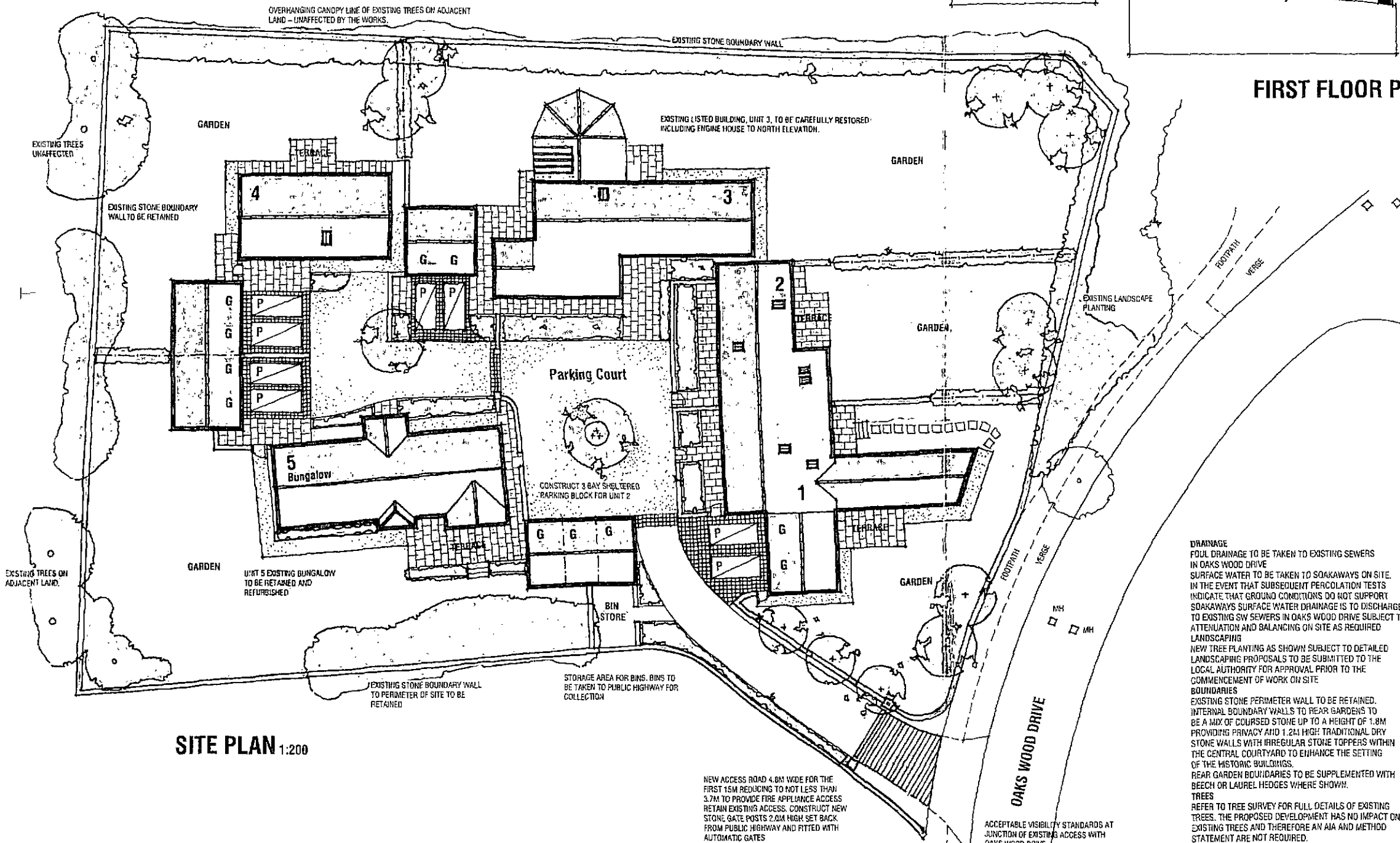
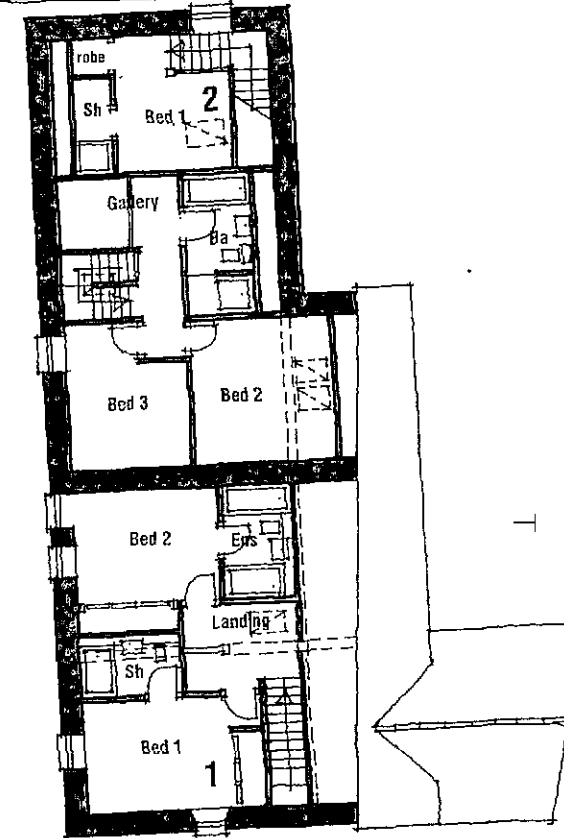
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 and subject to verification
 on site.



RETAIN ENGINE HOUSE AND RESTORE STONE SLATE ROOF.
 PROVIDE PATENT GLAZING TO ROOF ON WEST ELEVATION WITH
 SLENDER ALUMINIUM OVER-RAFTER GLAZING BARS IN DARK GREY
 POWDER COAT FINISH TO REPLICATE LEAD FLASHINGS.



FIRST FLOOR PLAN 1:100



SITE PLAN 1:200

NEW ACCESS ROAD 4.8M WIDE FOR THE
 FIRST 15M REDUCING TO NOT LESS THAN
 3.7M TO PROVIDE FIRE APPLIANCE ACCESS
 RETAIN EXISTING ACCESS. CONSTRUCT NEW
 STONE GATE POSTS 2.0M HIGH SET BACK
 FROM PUBLIC HIGHWAY AND FITTED WITH
 AUTOMATIC GATES

DRAINAGE
 FOUL DRAINAGE TO BE TAKEN TO EXISTING SEWERS
 IN OAKS WOOD DRIVE
 SURFACE WATER TO BE TAKEN TO SOAKAWAYS ON SITE.
 IN THE EVENT THAT SUBSEQUENT PERCOLATION TESTS
 INDICATE THAT GROUND CONDITIONS DO NOT SUPPORT
 SOAKAWAYS SURFACE WATER DRAINAGE IS TO DISCHARGE
 TO EXISTING SW SEWERS IN OAKS WOOD DRIVE SUBJECT TO
 ATTENUATION AND BALANCING ON SITE AS REQUIRED
LANDSCAPING
 NEW TREE PLANTING AS SHOWN SUBJECT TO DETAILED
 LANDSCAPING PROPOSALS TO BE SUBMITTED TO THE
 LOCAL AUTHORITY FOR APPROVAL PRIOR TO THE
 COMMENCEMENT OF WORK ON SITE
BOUNDARIES
 EXISTING STONE PERIMETER WALL TO BE RETAINED.
 INTERNAL BOUNDARY WALLS TO REAR GARDENS TO
 BE A MIX OF COURSED STONE UP TO A HEIGHT OF 1.8M
 PROVIDING PRIVACY AND 1.2M HIGH TRADITIONAL DRY
 STONE WALLS WITH IRREGULAR STONE TOPPERS WITHIN
 THE CENTRAL COURTYARD TO ENHANCE THE SETTING
 OF THE HISTORIC BUILDINGS.
 REAR GARDEN BOUNDARIES TO BE SUPPLEMENTED WITH
 BEECH OR LAUREL HEDGES WHERE SHOWN.
TREES
 REFER TO TREE SURVEY FOR FULL DETAILS OF EXISTING
 TREES. THE PROPOSED DEVELOPMENT HAS NO IMPACT ON
 EXISTING TREES AND THEREFORE AN AIA AND METHOD
 STATEMENT ARE NOT REQUIRED.

Legend:

- Existing tree
- Proposed tree
- Marshalls Tegula artificial stone sets colour ref: Traditional.
- Marshalls Chancery artificial stone flags colour ref: grey/green.
- Sharp brown chippings to footpaths and bonded gravel to roads where shown.

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**OAKS FARM
 OAKS WOOD DRIVE
 DARTON BARNESLEY**

**PROPOSALS
 SITE PLAN & FIRST FLOOR PLAN**

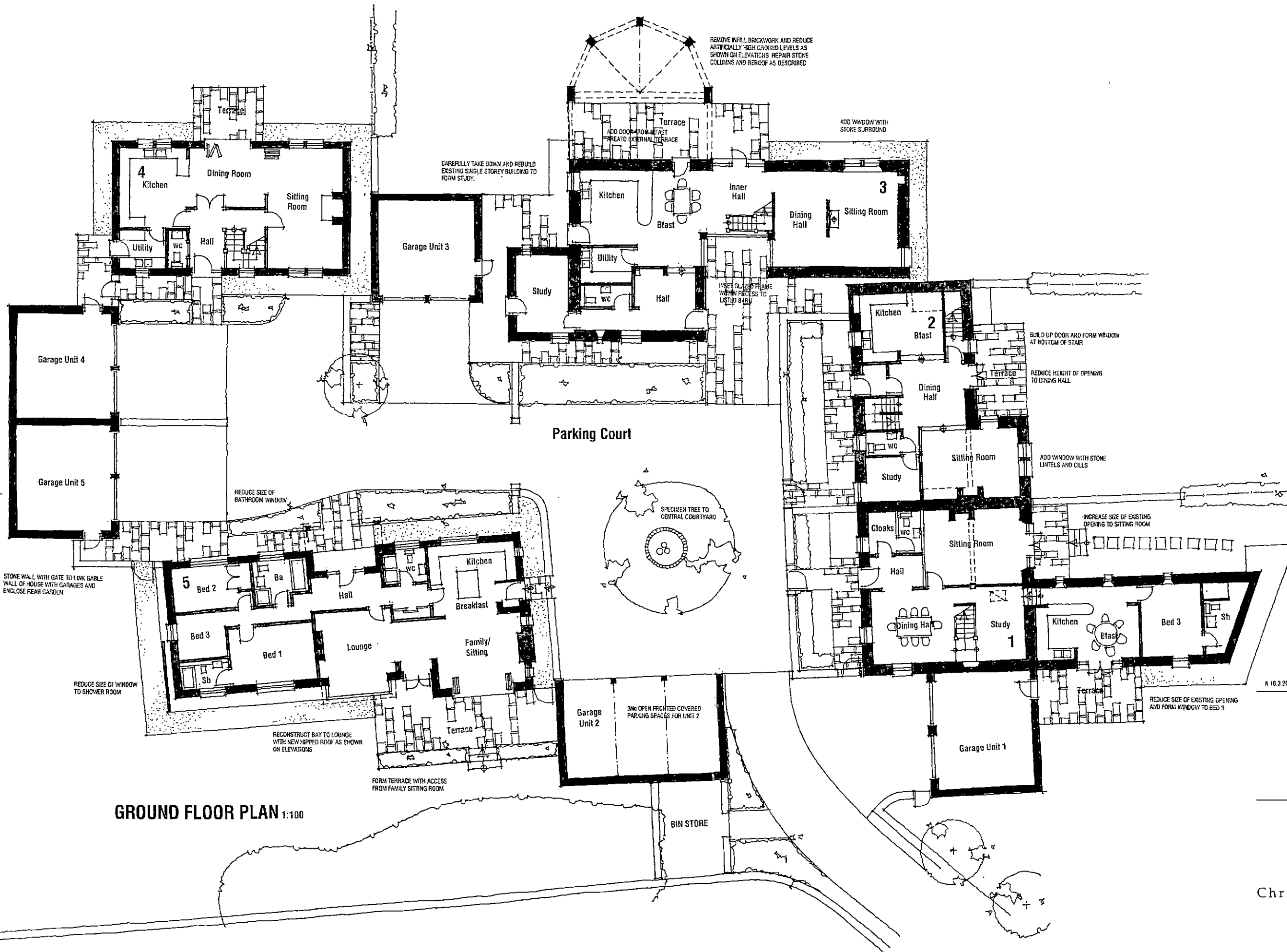


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GROUND FLOOR PLAN 1:100

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OAKS FARM
OAKS WOOD DRIVE
DARTON BARNSELY

PROPOSALS
GROUND FLOOR PLAN



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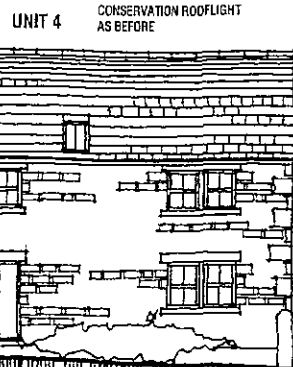
NATURAL STONE LINTELS AND CHILLS TO WINDOW OPENINGS WHERE SHOWN.

NATURAL RECLAIMED COURSED STONE WALLING TO NEW GARAGE AND UNIT 5 WITH STONE QUOINS TO EXTERNAL CORNERS FLUSH POINTED IN GRIT SHAD LIME BASED MORTAR WITH A BRUSHED FINISH OR 'BAGGED OFF'.

WINDOWS IN OPAQUE PAINT REF. BS 12 B 21 OR SIMILAR FINISH AND SET INTO 75MM REVEAL FROM THE OUTSIDE FACE OF THE STONE.

SOUTH ELEVATION

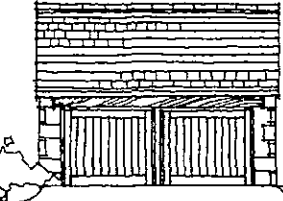
ENTRANCE DOOR TO UNIT 4 TO BE IN TIMBER WITH DARK OAK STAIN FINISH.



CONSERVATION ROOFLIGHT AS BEFORE

HALF ROUND GUTTERS AND CIRCULAR RAINWATER PIPES IN ALUMINIUM WITH BLACK PPC FINISH. GUTTERS TO BE FIXED ON RISE AND FALL BRACKETS WITHOUT FASCIAS.

ROOF SLATES TO GARAGE IN DENBY DALE CAST FARMER BROWNS ARTIFICIAL STONE WITH MATCHING RIDGES BED IN MORTAR.



ROOF SLATES TO PRINCIPAL BARN UNIT 3, TO BE IN NATURAL STONE IN DIMINISHING COURSES RECLAIMED FROM SITE WITH MATCHING RIDGES BED IN MORTAR.

UNIT 3

VERGES TO BE GENERALLY FLUSH WITH SLIGHT OVERHANG AND POINTED

DENBY DALE CAST FARMER BROWNS ARTIFICIAL STONE SLATES AND MATCHING RIDGES AS BEFORE.

PARTLY BUILD UP EXISTING DOOR OPENING TO FORM WINDOW.

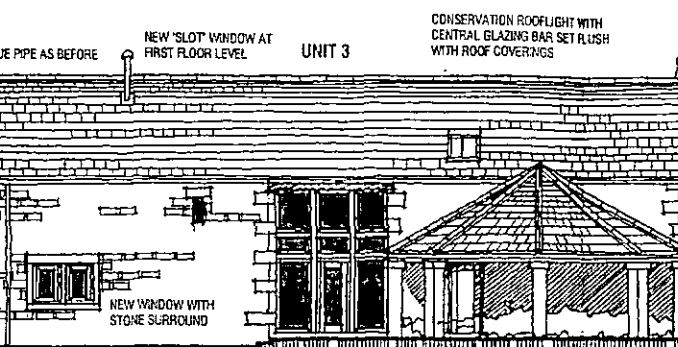
RECESSED GLAZING TO MAIN BARN DOOR OPENING ON SOUTH ELEVATION

GARAGE DOORS TO UNIT 3 TO BE VERTICALLY BOARDED EFFECT GRP WITH DARK OAK FINISH AND MATCHING FRAME SET IN 75MM REVEALS. GARAGE DOORS TO HAVE SECOND HAND PITCH PINE LINTEL AND CENTRE POST BETWEEN DOORS WITH VERY DARK STAIN FINISH.

STAINLESS STEEL FLUE PIPES FROM INTERNAL FIREPLACES BURNISHED TO PREVENT GLARE OR TREATED WITH HEAT RESISTANT BLACK PAINT.

UNIT 1

UNIT 2



NORTH ELEVATION

WINDOW AND DOOR FRAMES TO LISTED BARN TO BE IN TIMBER WITH A DARK OAK STAIN FINISH

CONSERVATION ROOFLIGHT WITH CENTRAL GLAZING BAR SET FLUSH WITH ROOF COVERINGS

CAREFULLY TAKE DOWN AND REBUILD EXISTING SINGLE STOREY BUILDING AT SW CORNER OF LISTED BARN USING RECLAIMED STONE WALLS TO SIMILAR FOOTPRINT AND REINSTATE ORIGINAL DOOR AND WINDOW OPENINGS. ROOFING TO BE IN NATURAL STONE SLATES AS BEFORE.

UNIT 4

GARAGE UNIT 3

GARAGE UNIT 4

3 NO NARROW 'SLOT' WINDOW OPENINGS IN REAR WALL OF SINGLE STOREY WING OF UNIT 1.

EAST FACING ROOF OF UNITS 1 AND 2 TO BE IN DENBY DALE CAST FARMER BROWNS ARTIFICIAL STONE SLATES IN DIMINISHING COURSES WITH MATCHING RIDGES BED IN MORTAR.

CONSERVATION STYLE ROOFLIGHTS TO EAST FACING ROOF OF UNITS 1 AND 2.

UNIT 2

UNIT 3

REMOVE INFILL MASONRY TO ENGINE HOUSE, RETAIN AND REPAIR STONEMWORK PIERS, REPAIR STRUCTURAL ROOF TIMBERS, REPLACE RAFTERS IN 50X125MM SAWN OAK, RAFTERS AND PROVIDE ROOF COVERING IN NATURAL STONE SLATES IN DIMINISHING COURSES WITH STONE RIDGE BED IN MORTAR.

DENBY DALE CAST FARMER BROWNS ARTIFICIAL STONE SLATES AND MATCHING RIDGES AS BEFORE.

GARAGE UNIT 1



ALTER EXISTING OPENINGS IN REAR WALL WHERE SHOWN

REPOINT EXISTING STONEMWORK TO LISTED BARN WHERE NECESSARY BY CAREFULLY RAKING THE JOINT TO A DEPTH EQUAL TO THE WIDTH AND USING A LIME BASED MORTAR CONTAINING AGGREGATE WITH A BRUSHED FINISH GENERALLY FLUSH BUT SLIGHTLY BACK FROM THE ARIS OF THE STONE.

EAST ELEVATION

RAFTER TOP PATENT GLAZING PANELS TO WEST FACING ROOF SLOPE OF ENGINE HOUSE PROMOVING NATURAL LIGHT TO EXTERNAL COVERED TERRACE.

REBUILD SINGLE STOREY BUILDING TO MATCH EXISTING

FARMER BROWNS ARTIFICIAL STONE SLATES AS BEFORE TO WEST FACING ROOF OF UNITS 1 AND 2.

UNIT 1

DENBY DALE CAST FARMER BROWNS ARTIFICIAL STONE SLATES AND MATCHING RIDGES AS BEFORE.

GARAGE UNIT 1

RESTORE ENGINE HOUSE AS BEFORE DESCRIBED

REPAIR COLLAPSE TO WEST GABLE WALL AND FORM DOOR OPENING AS SHOWN

WEST ELEVATION

WINDOW AND DOOR FRAMES TO UNITS 1 AND 2 TO BE IN TIMBER WITH OPAQUE PAINT FINISH GREY/GREEN COLOUR REF. BS 12 B 21 OR SIMILAR APPROVED. VERTICALLY BOARDED DOORS TO BE IN OAK WITH DARK OAK STAIN FINISH

GARAGE DOORS TO UNIT 1 TO BE VERTICALLY BOARDED EFFECT GRP WITH DARK OAK FINISH AND MATCHING FRAME SET IN 75MM REVEALS.

A 16.3.2011 AMENDED FOR PLANNING SUBMISSION

OAKS FARM
OAKS WOOD DRIVE
DARTON BARNESLEY

PROPOSALS

UNITS 1-4 ELEVATIONS



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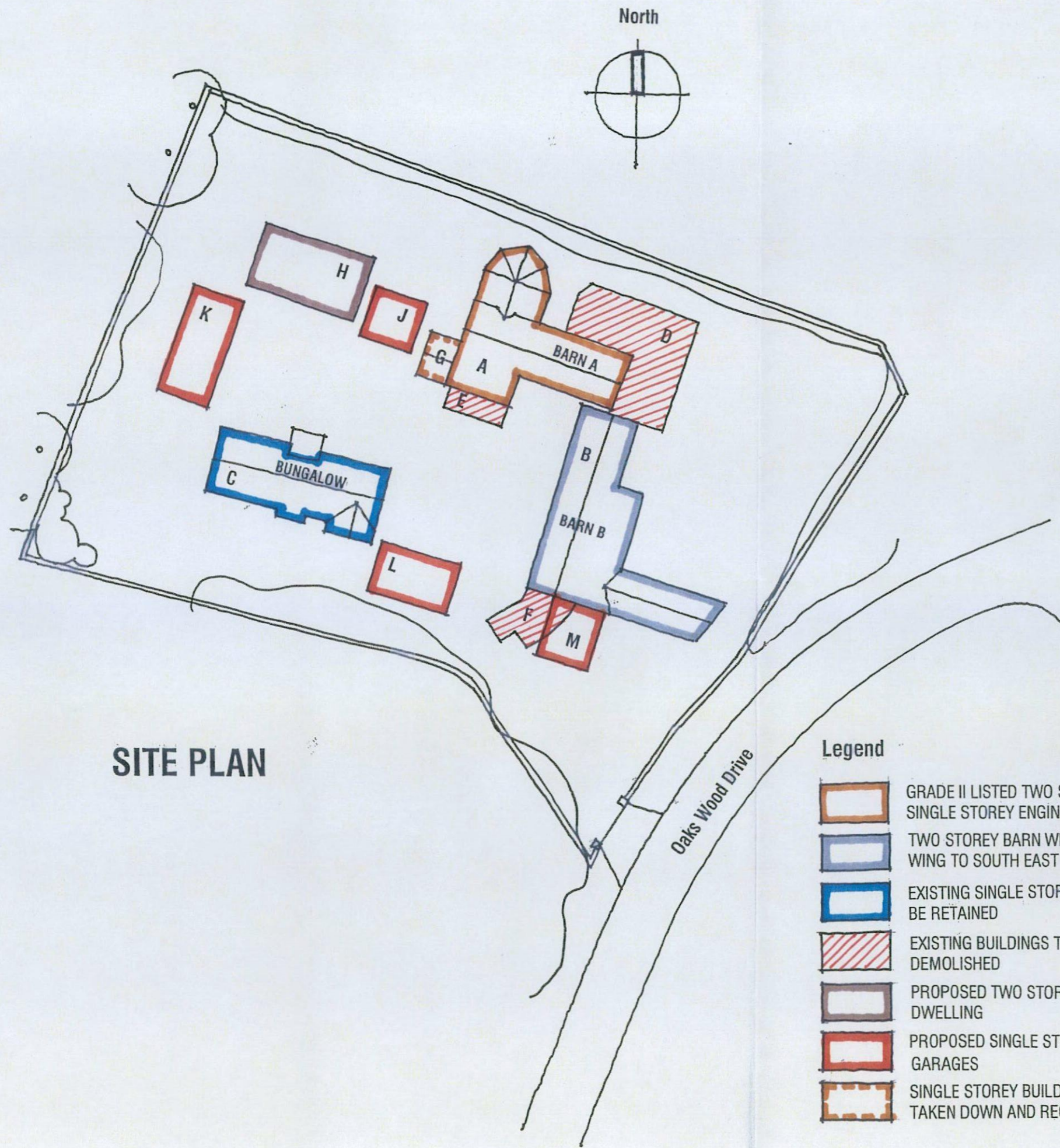
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Rev. A



SITE PLAN





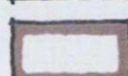
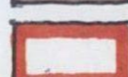

North



Schedule of Buildings

- A - Two storey Listed barn with rear single storey engine house
- B - Two storey barn with single storey wing to south east
- C - Single storey bungalow
- D - Brick outbuilding with flat roof
- E - Single storey rendered concrete lean-to with fibre cement roof
- F - Single storey outbuilding in stone with flat roof
- G - Single storey stone outbuilding with pitched roof
- H - New build two storey dwelling
- JKLM - New build single storey garages

Legend

-  GRADE II LISTED TWO STOREY BARN WITH SINGLE STOREY ENGINE HOUSE TO BE RETAINED
-  TWO STOREY BARN WITH SINGLE STOREY WING TO SOUTH EAST - TO BE RETAINED
-  EXISTING SINGLE STOREY DWELLING TO BE RETAINED
-  EXISTING BUILDINGS TO BE DEMOLISHED
-  PROPOSED TWO STOREY DWELLING
-  PROPOSED SINGLE STOREY GARAGES
-  SINGLE STOREY BUILDING TO BE TAKEN DOWN AND RECONSTRUCTED

**OAKS FARM
OAKS WOOD DRIVE
DARTON
IDENTIFICATION PLAN**



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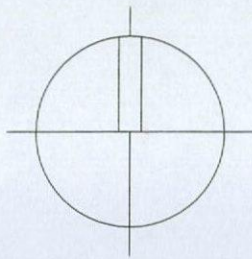
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APPENDIX 2
IDENTIFICATION PLAN

North



Oaks Plantation



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**OAKS FARM
OAKS WOOD DRIVE
DARTON
BARNESLEY
S75 5PT**

Scale 1:1250

Date May 2010

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Drwg No OS1



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LOCATION PLAN