

LRF

Topographical Survey

1:200

GENERAL NOTES

1. Drawings are prepared for the purposes of obtaining Town & Country Planning Permission and Building Regulations approval, and are not intended as comprehensive construction drawings.
2. All dimensions in millimetres, levels in metres unless noted otherwise.
3. Do not scale from these drawings.
4. All internal dimensions refer to structure, i.e. prior to fixing of wall finish.
5. All dimensions shown on any drawing to existing structures are approximate and the contractor is to obtain all exact site dimensions necessary to carry out the works.
6. Temporary protection shall be provided to prevent water penetration into any existing structures during the works.
7. The contractor should maintain the stability of all existing buildings and structures within and adjacent to the works, and of all works from the date of possession of the site until practical completion of the works. The contractor shall design, install and maintain all necessary temporary works to comply with the above.
8. The contractor shall be responsible for ensuring that sufficient tolerances are provided and integrated throughout all elements of the works. The contractor is to take account of tolerances detailed elsewhere when complying with this clause.



READ IN CONJUNCTION WITH THE FOLLOWING REPORTS:

- 23_PRA_08_28 - Bat Roost Assessment Report
- AW4401 - Arboricultural Report
- C514 - Coal Mining Risk Assessment

Rev	Change Info	Date
D	Drawing pack updated ready for outline submission	27/01/24
C	Updated Plans, elevations and all associated drawings following client comments.	22/01/24
B	Outline Planning pack progressed for first review	18/01/20 24
A	First Issue for client comment	28/12/23

HUGHESCADMAN
ARCHITECTURE & INTERIORS

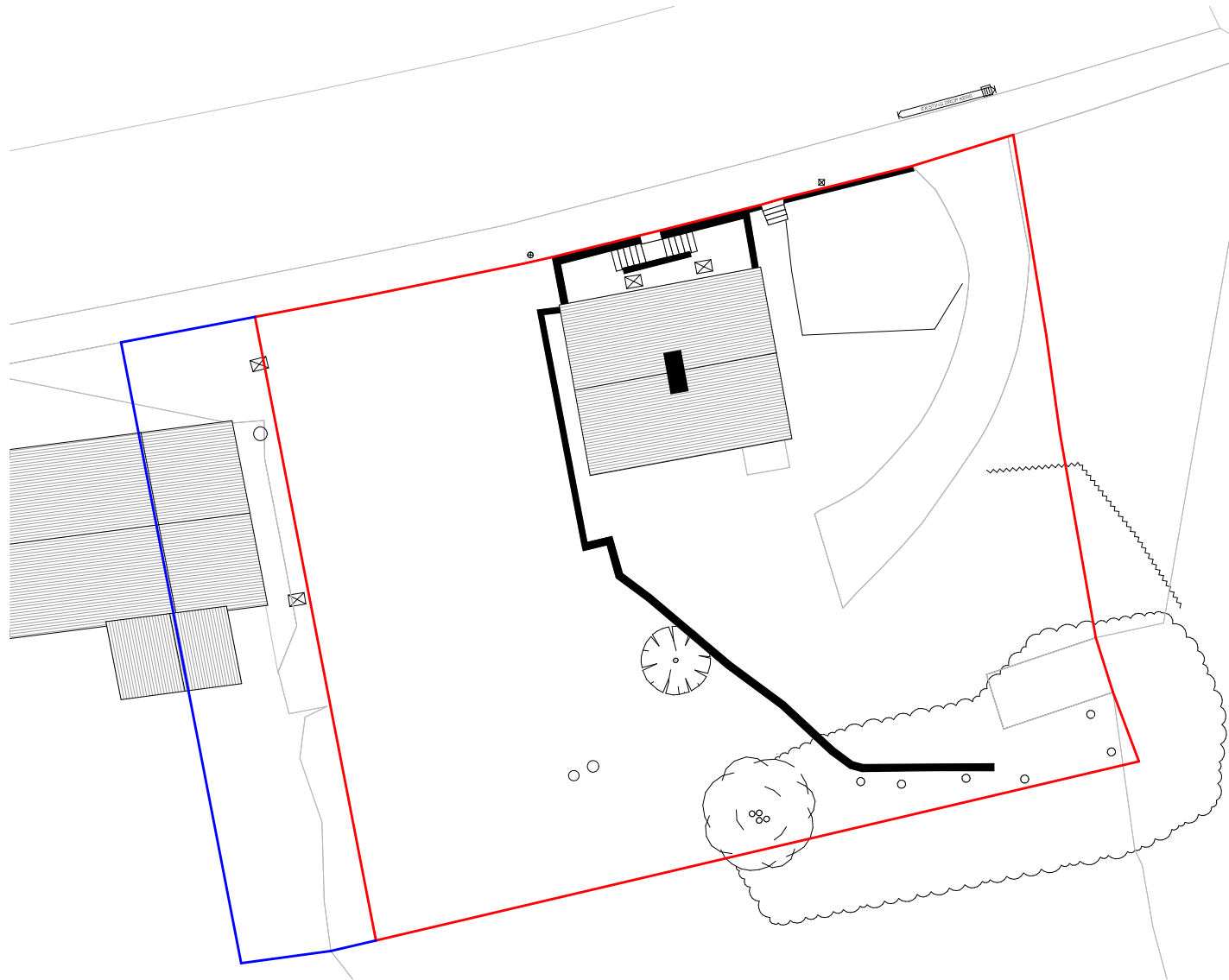
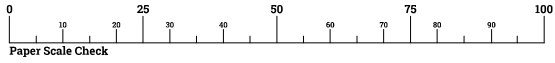
CLIENT
Fantasma Investments

PROJECT ADDRESS
25 - 27 Millhouses St,
Hoyland
Barnsley, S74 9BQ

DRAWING NAME	
Existing Topo	
DRAWING No.	SCALE AT A3
031001-11	1:200
DRAW BY	DATE
JH	28/12/2023

PLANNING





RF

Existing Site Plan

1:200

GENERAL NOTES

1. Drawings are prepared for the purposes of obtaining Town & Country Planning Permission and Building Regulations approval, and are not intended as comprehensive construction drawings.
2. All dimensions in millimetres, levels in metres unless noted otherwise.
3. Do not scale from these drawings.
4. All internal dimensions refer to structure, i.e. prior to fixing of wall finish.
5. All dimensions shown on any drawing to existing structures are approximate and the contractor is to obtain all exact site dimensions necessary to carry out the works.
6. Temporary protection shall be provided to prevent water penetration into any existing structures during the works.
7. The contractor should maintain the stability of all existing buildings and structures within and adjacent to the works, and of all works from the date of possession of the site until practical completion of the works. The contractor shall design, install and maintain all necessary temporary works to comply with the above.
8. The contractor shall be responsible for ensuring that sufficient tolerances are provided and integrated throughout all elements of the works. The contractor is to take account of tolerances detailed elsewhere when complying with this clause.



READ IN CONJUNCTION WITH THE FOLLOWING REPORTS:

- 23_PRA_08_28 - Bat Roost Assessment Report
- AWA4401 - Arboricultural Report
- C514 - Coal Mining Risk Assessment

D	Drawing pack updated ready for outline submission	27/01/24
C	Updated Plans, elevations and all associated drawings following client comments.	22/01/24
B	Outline Planning pack progressed for first review	18/01/20 24
A	First Issue for client comment	28/12/23
Rev	Change Info	Date

HUGHESCADMAN
ARCHITECTURE & INTERIORS

CLIENT
Fantasma Investments

PROJECT ADDRESS
25 - 27 Millhouses St,
Hoyland
Barnsley, S74 9BQ

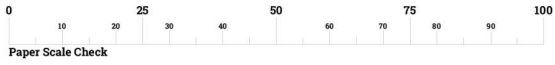
DRAWING NAME
Existing Site Plan

DRAWING No. 031001-12 SCALE A3 1:200

DRAW BY JH DATE 28/12/2023

PLANNING





GENERAL NOTES

1. Drawings are prepared for the purposes of obtaining Town & Country Planning Permission and Building Regulations approval, and are not intended as comprehensive construction drawings.
2. All dimensions in millimetres, levels in metres unless noted otherwise.
3. Do not scale from these drawings.
4. All internal dimensions refer to structure, i.e. prior to fixing of wall finish.
5. All dimensions shown on any drawing to existing structures are approximate and the contractor is to obtain all exact site dimensions necessary to carry out the works.
6. Temporary protection shall be provided to prevent water penetration into any existing structures during the works.
7. The contractor should maintain the stability of all existing buildings and structures within and adjacent to the works, and of all works from the date of possession of the site until practical completion of the works. The contractor shall design, install and maintain all necessary temporary works to comply with the above.
8. The contractor shall be responsible for ensuring that sufficient tolerances are provided and integrated throughout all elements of the works. The contractor is to take account of tolerances detailed elsewhere when complying with this clause.

LOCATION PLAN



READ IN CONJUNCTION WITH THE FOLLOWING REPORTS:

- 23_PRA_08_28 - Bat Roost Assessment Report
- AWA4401 - Arboricultural Report
- C514 - Coal Mining Risk Assessment

Rev	Change Info	Date
D	Drawing pack updated ready for outline submission	27/01/24
C	Updated Plans, elevations and all associated drawings following client comments.	22/01/24
B	Outline Planning pack progressed for first review	18/01/2024

HUGHESCADMAN
ARCHITECTURE & INTERIORS

CLIENT
Fantasma Investments

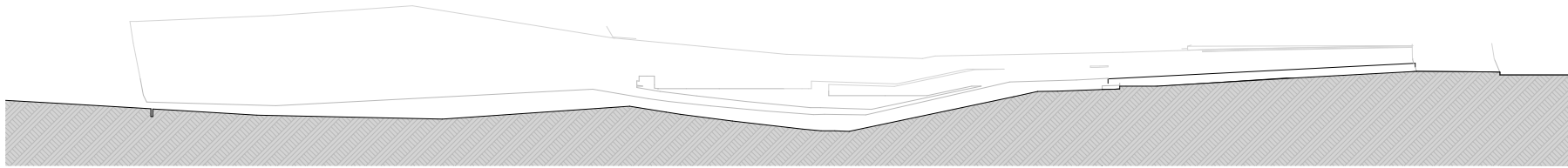
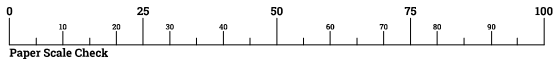
PROJECT ADDRESS
25 - 27 Millhouses St.
Hoyland
Barnsley, S74 9BQ

DRAWING NAME
Existing Street Elevation

DRAWING No. 031001-13 SCALE AT A3

DRAW BY JH DATE 28/12/2023

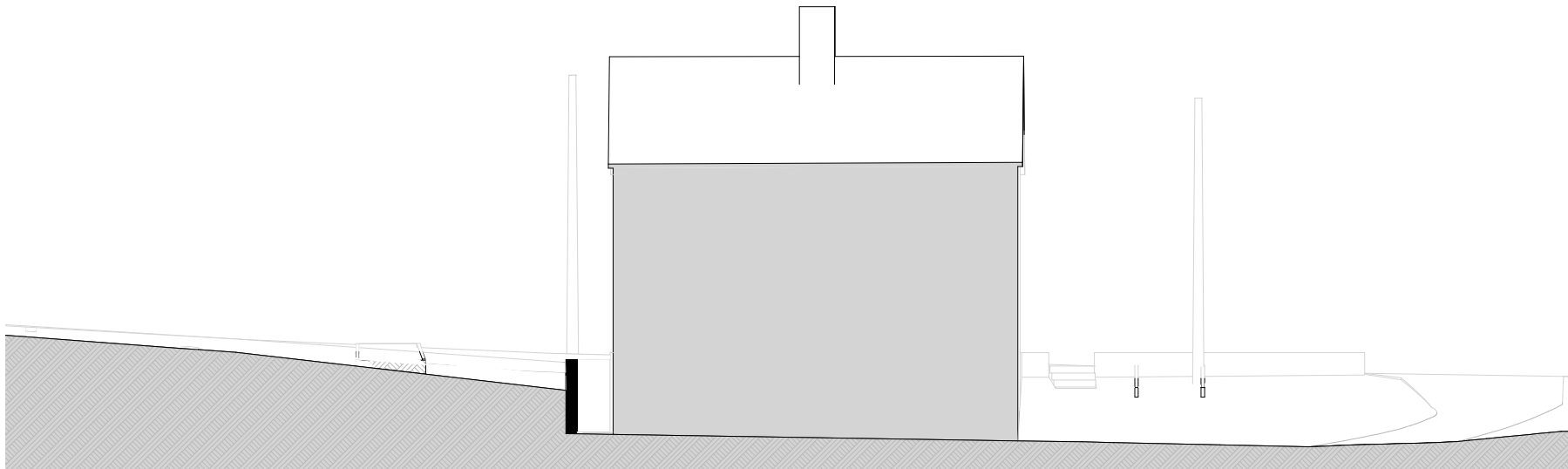
PLANNING



S01

Existing Site Section

1:100



S02

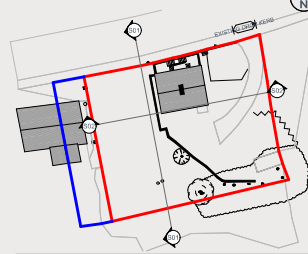
Existing Site Section

1:100

GENERAL NOTES

1. Drawings are prepared for the purposes of obtaining Town & Country Planning Permission and Building Regulations approval, and are not intended as comprehensive construction drawings.
2. All dimensions in millimetres, levels in metres unless noted otherwise.
3. Do not scale from these drawings.
4. All internal dimensions refer to structure, i.e. prior to fixing of wall finish.
5. All dimensions shown on any drawing to existing structures are approximate and the contractor is to obtain all exact site dimensions necessary to carry out the works.
6. Temporary protection shall be provided to prevent water penetration into any existing structures during the works.
7. The contractor should maintain the stability of all existing buildings and structures within and adjacent to the works, and of all works from the date of possession of the site until practical completion of the works. The contractor shall design, install and maintain all necessary temporary works to comply with the above.
8. The contractor shall be responsible for ensuring that sufficient tolerances are provided and integrated throughout all elements of the works. The contractor is to take account of tolerances detailed elsewhere when complying with this clause.

LOCATION PLAN



READ IN CONJUNCTION WITH THE FOLLOWING REPORTS:

- 23_PRA_08_28 - Bat Roost Assessment Report
- AWA4401 - Arboricultural Report
- C514 - Coal Mining Risk Assessment

Rev	Change Info	Date
D	Drawing pack updated ready for outline submission	27/01/24
C	Updated Plans, elevations and all associated drawings following client comments.	22/01/24
B	Outline Planning pack progressed for first review	18/01/2024

HUGHESCADMAN
ARCHITECTURE & INTERIORS

CLIENT
Fantasma Investments

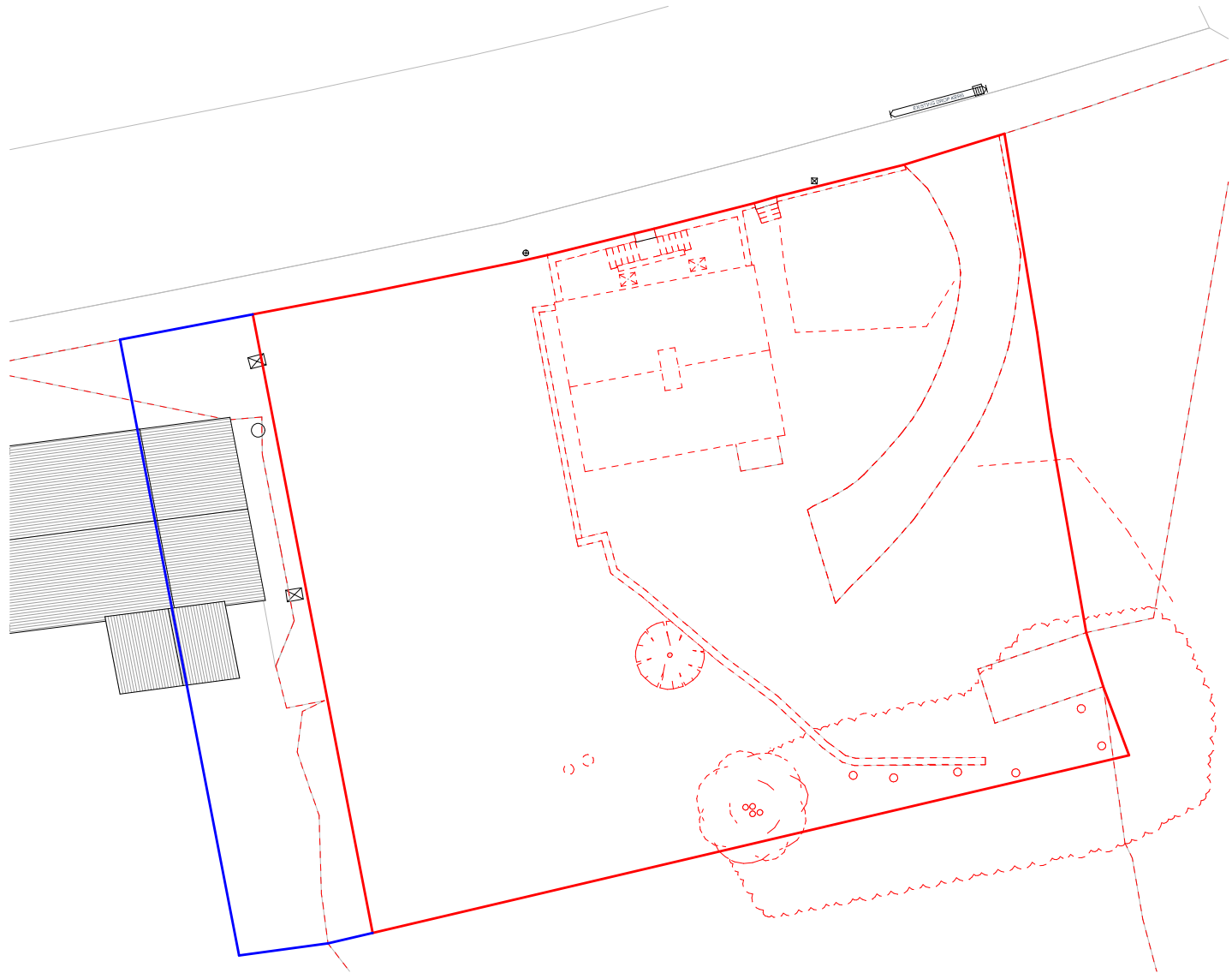
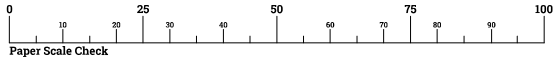
PROJECT ADDRESS
25 - 27 Millhouses St,
Hoyland
Barnsley, S74 9BQ

DRAWING NAME
Existing Site Sections

DRAWING No. 031001-14 SCALE A3 1:100

DRAW BY JH DATE 28/12/2023

PLANNING



RF

Demolition Plan

1:200

GENERAL NOTES

1. Drawings are prepared for the purposes of obtaining Town & Country Planning Permission and Building Regulations approval, and are not intended as comprehensive construction drawings.
2. All dimensions in millimetres, levels in metres unless noted otherwise.
3. Do not scale from these drawings.
4. All internal dimensions refer to structure, i.e. prior to fixing of wall finish.
5. All dimensions shown on any drawing to existing structures are approximate and the contractor is to obtain all exact site dimensions necessary to carry out the works.
6. Temporary protection shall be provided to prevent water penetration into any existing structures during the works.
7. The contractor should maintain the stability of all existing buildings and structures within and adjacent to the works, and of all works from the date of possession of the site until practical completion of the works. The contractor shall design, install and maintain all necessary temporary works to comply with the above.
8. The contractor shall be responsible for ensuring that sufficient tolerances are provided and integrated throughout all elements of the works. The contractor is to take account of tolerances detailed elsewhere when complying with this clause.

READ IN CONJUNCTION WITH THE FOLLOWING REPORTS:

- 23_PRA_08_28 - Bat Roost Assessment Report
- AWA4401 - Arboricultural Report
- C514 - Coal Mining Risk Assessment

D	Drawing pack updated ready for outline submission	27/01/24
C	Updated Plans, elevations and all associated drawings following client comments.	22/01/24
B	Outline Planning pack progressed for first review	18/01/2024
A	First Issue for client comment	28/12/23
Rev	Change Info	Date

HUGHESCADMAN
ARCHITECTURE & INTERIORS

CLIENT
Fantasma Investments

PROJECT ADDRESS
25 - 27 Millhouses St,
Hoyland
Barnsley, S74 9BQ

DRAWING NAME
Demolition Plan

DRAWING No. 031001-15 SCALE A3 1:200

DRAW BY DATE
JH 28/12/2023

PLANNING