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**2023/0679**

Mrs P Waldron

Erection of stables

The Croft Farm, High Street, Billingley, Barnsley, S72 0JA

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### **Site Location and Description**

The site forms part of The Croft Farm, an existing dwelling which forms a domestic property approved in the late 1980s. The dwelling is accessed from the rear via a private drive accessed from High Street.

The applicant has indicated they own an extensive area of land with the property, approximately 1ha in area which extends approximately 100m to the west, 50m to the north and 60m to the south in a 'T' shape, with open agricultural fields to the west. The dwelling has a modest garden directly to the rear of the dwelling which is considered to be the extent of the curtilage of the dwelling, with the remainder grassland enclosed by post and rail fencing, surrounded by mature trees and hedgerows.

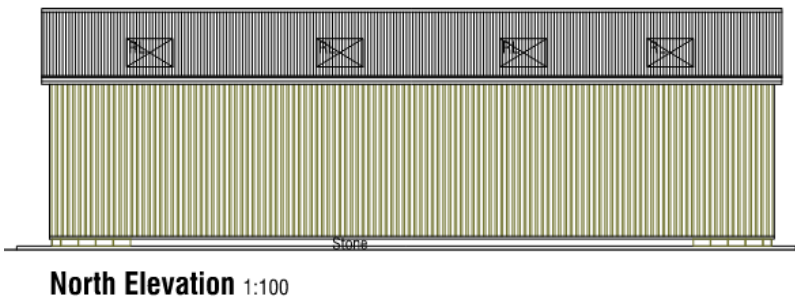
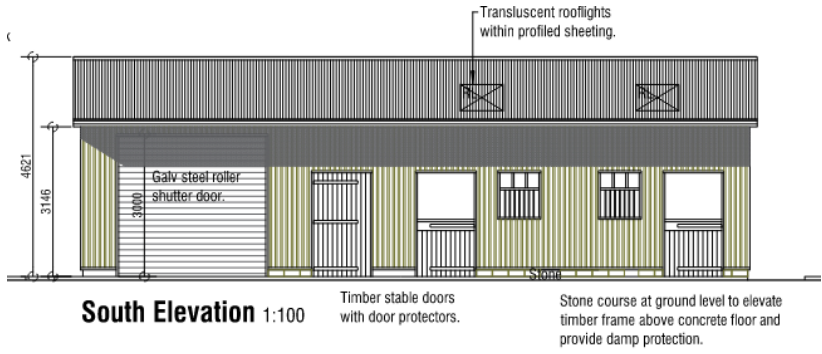
The stables are to be located within the grassland approximately 90m from the rear elevation of the property, 65m from the rear elevation of The Croft and 35m from its rear boundary.

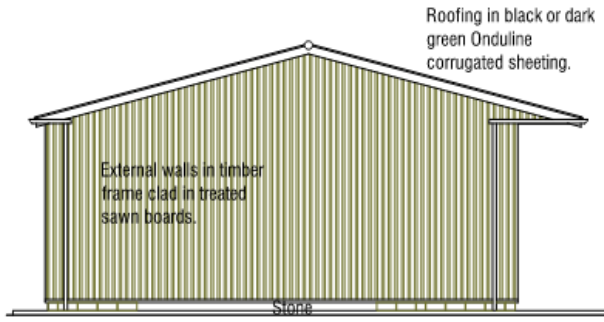
### **Site History**

2018/1555 - Erection of two storey detached dwelling and garages – refused March 2019

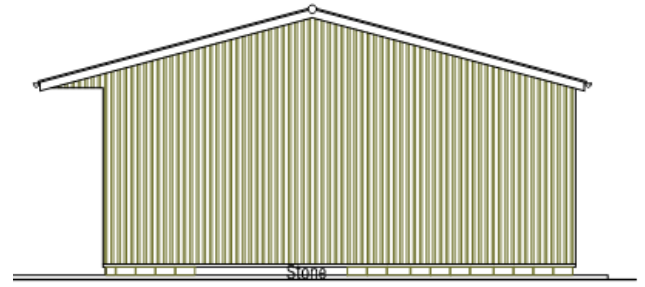
### **Proposed Development**

The applicant seeks permission for the erection of a timber constructed stable block measuring 14m by 8m with a height of 3.1m to the eaves and 4.6m to the ridge and is to be constructed from timber with a Onduline profiled sheeting in black or dark green roof. The stables are to be used for domestic purposes, with an area to store a mini tractor and trailer and a separate area for feed and tack.

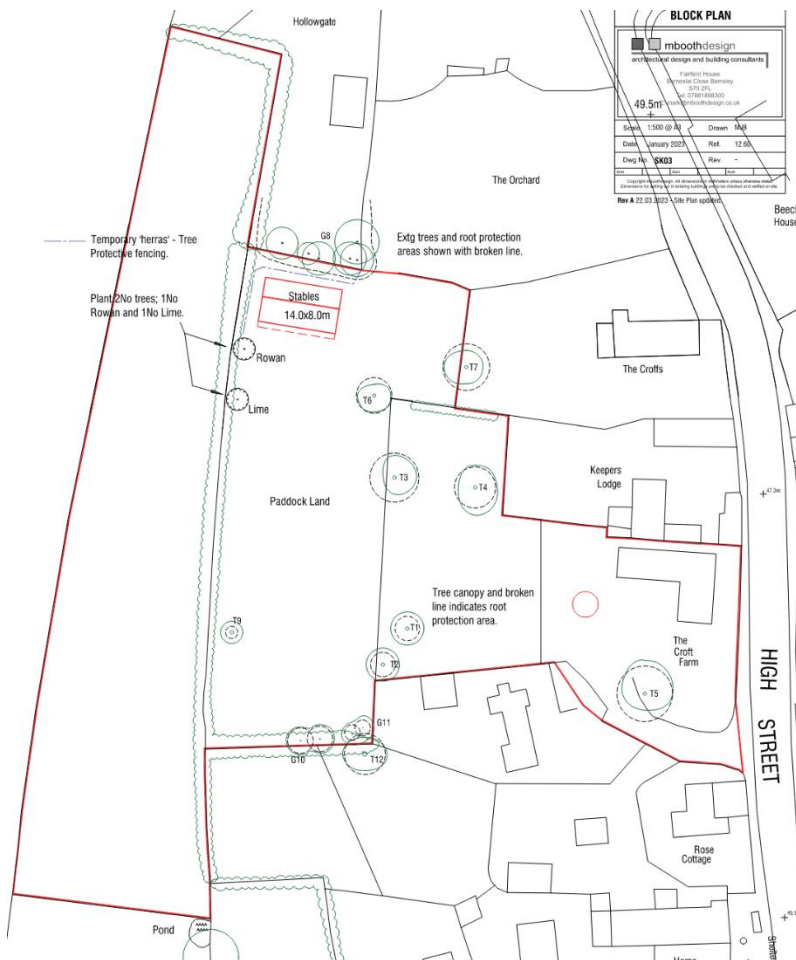
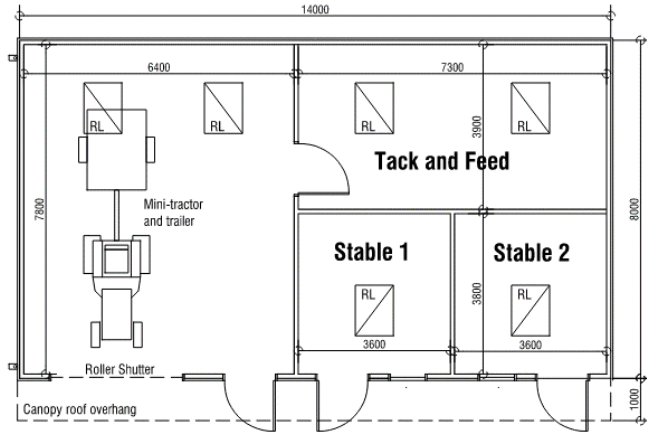




**West Elevation 1:100**



**East Elevation 1:100**



## Policy Context

Planning decisions should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is also now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies and are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

### Local Plan

The site is allocated as Green Belt and with the Billingley Conservation Area, within the Adopted Local Plan, and therefore the following policies are relevant:

- Policy GB1 Protection of Green Belt
- Policy GB3 Changes of use in the Green Belt
- Policy HE1 Historic Environment
- Policy GD1 General Development
- Policy D1 High Quality Design and Place Making
- Policy BIO1 Biodiversity and Geodiversity
- Policy T4 New Development and Transport Safety
- Policy POLL1 Pollution Control and Protection
- Policy SD1 Presumption in favour of Sustainable Development

### National Planning Policy Framework (NPPF)

The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. At the heart is a presumption in favour of sustainable development. Development proposals that accord with the development plan should be approved unless material considerations indicate otherwise. Where the development plan is absent, silent, or relevant policies are out-of-date, permission should be granted unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework as a whole; or where specific policies in the Framework indicate development should be restricted or unless material considerations indicate otherwise.

### Chapter 13 Protecting Green Belt Land

Paragraph 147 states that, inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances.

Paragraph 148 states that when considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. "Very special circumstances" will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

Paragraph 149 states that a Local Planning Authority should regard the construction of new buildings as inappropriate in the Green Belt however there are exceptions to this, which amongst others include:

b) the provision of appropriate facilities (in connection with the existing use of the land or a change of use) for outdoor sport, outdoor recreation, cemeteries and burial grounds and allotments; as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including land within it;

Paragraph 150 states that certain other forms of development are also not inappropriate in the Green Belt provided they preserve its openness and do not conflict with the purposes of including land within it, which amongst other include:

e) material changes in the use of land (such as changed of use for outdoor sport or recreation, or for cemeteries and burial grounds).

### Chapter 16 Conserving and enhancing the historic environment

Paragraph 189 states that heritage assets range from sites and buildings of local historic value to those of the highest significance. These assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance.

Paragraph 195 states that Local Planning Authorities should identify and assess the particular significance of any heritage assets that may be affected by a proposal (including development affecting the setting of a heritage asset) taking account of the available evidence and necessary expertise.

Paragraph 197 states that in determining applications, local planning authorities should take account of; the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality and the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 199 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be).

Paragraph 200 states that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting) should require clear and convincing justification.

### **Consultations**

Biodiversity – No objections.

Conservation Officer – No objections.

Forestry Officer – No objections.

Drainage – No objections happy for details to be checked by Building Control.

Highways DC – No objections.

Pollution Control – No objections.

Yorkshire Water – No comments received.

Parish Council – No comments received.

Ward Councillors – No comments received.

### **Representations**

The application was advertised by way of neighbour notification letters, a site notice, and a press notice; no representations have been received.

## **Assessment**

### Principle of development

The site is stated as being part of the garden of The Croft Farm, however it is largely grass with some scattered trees and shrubs (concentrated at the edges). The site is bound by open fields to the west, with The Croft Farm and adjacent Keepers Lodge to the east. The majority of the boundary is marked by a post and rail fence typical of an agricultural field, the exceptions to this being where existing neighbouring gardens bound the site and more residential style close-boarded fences have been erected.

A review of the historic maps shows the site as part of a wider field pattern which has varied and become more domesticated over time. Whilst the site plan indicates the area is used as a paddock, there was no evidence at the time of the site visit that horses had been on the site and that the grass looked in good condition and had been recently mowed; however, this is not itself proof of site being a residential garden nor that it has been used as a paddock.

On balance it is considered that the site is and has the characteristics of an agricultural field with no evidence of a change of use to domestic curtilage. This assessment is similar to that made by the planning officer during the determination of application 2018/1555, whilst a different red line boundary, it does overlap with the red line boundary of this application.

Nevertheless, paragraphs 149 and 150 do allow exceptions to development within the Green Belt, which allow the change of use for outdoor recreation and the provision of appropriate facilities in connection with the use. Timber built stables such as the one proposed, are a feature of the countryside, and the use of land within the Green Belt for the grazing of horses is typical within the area and accepted by the NPPF as being an acceptable use (sports and recreation) and development within the Green Belt and as such the principle of development is considered acceptable, subject to the development complying with other policies of the Local Plan including assessing its impact on the openness and character of the Green Belt.

### Impact on openness and character of Green Belt, Conservation Area, and Visual Amenity

The stable sits in a corner of the garden and is backed by trees and hedges to the north and west and it is considered that this location is not harmful to the setting of the conservation area. The building is timber clad to just above DPC which is considered a sympathetic approach that is in keeping with the agricultural vernacular. The roof is to be profiled metal sheeting but overall, the design and materials should appear very recessive, and it is not considered that it will intrude on or harm the conservation area setting.

The size, design and location of the stables are considered to be acceptable and have been limited to what is necessary for the stabling/shelter of the applicant's horses. In terms of visual impact, the block has a height to the ridge of 4.6m and is located in such a position that from public vantage points it will either be predominantly screened or be seen against the backdrop of surrounding buildings, As such it is not considered that it would have a detrimental impact on the openness and character of the Green Belt.

The change of use of the land and the erection of the stable block would not cause any significant detriment to the openness or visual amenity of the Green Belt or the character of the Conservation Area and as such the proposal is considered acceptable in terms of Local Plan Policies GB1, HE1 and D1

### Residential Amenity

The stables are located on land approximately 0.84ha in area, associated with The Croft Farm, the land extends to the rear of Keeper Lodge and The Croft. The location of the proposed stables is approximately 90m from the rear elevation of the property it relates and approximately 65m from the rear elevation of The Croft and 35m from its rear boundary. The siting of the stables is such that it would not increase levels of overshadowing or reduce levels of outlook from the neighbouring properties. Given the distance from the nearest residential property, it is not considered that the stables would give rise to an increase in noise and disturbance to the detriment of residential amenity. There is the potential for an increase in smells, however, again the stables are located a significant distance from the surrounding properties and Pollution Control have been consulted on the application and raised no objections to the development.

It is therefore considered that given the stables are proposed for a personal use and not as a commercial livery, the proposed development is considered acceptable in terms of its impact on residential amenity. Nevertheless, a condition should be applied to ensure that the stables remain for a personal use. As such it is in compliance with Local Plan Policies POLL1 Pollution Control and Protection and GD1 General Development.

### Other Issues

The stable is located within close proximity to the boundary trees; an arboricultural method statement has been submitted and it is noted that the stables are located outside the rooting areas of the retained trees. The documents also make it clear that no trees or hedges will be removed, but two new trees will be planted to add to the existing tree population. The Forestry Officer has been consulted and raised no objection to the proposal subject to the arboricultural method statement being conditioned, along with the proposed landscaping.

### Highways Considerations

Highways have been consulted on the application and raised no objections given that the stables are for personal use of the applicant and would therefore not result in an increase in vehicular movements to and from the site. There are no changes proposed to the access, or parking and turning arrangements of the site and as such the proposals would not adversely impact upon the highway and are therefore acceptable from a highway's perspective and in compliance with Local Plan Policy T4.

### **Recommendation**

Approve with Conditions