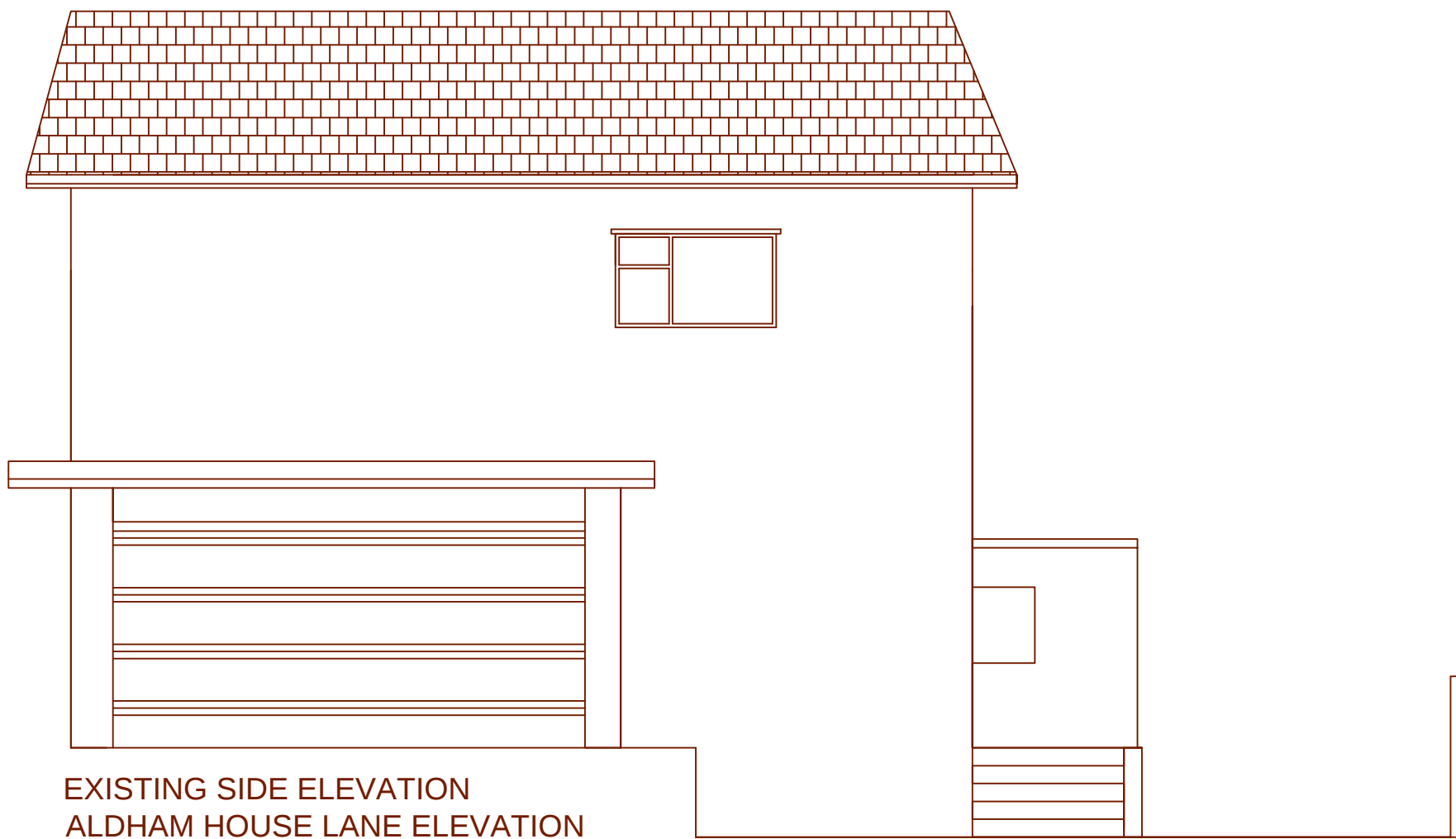
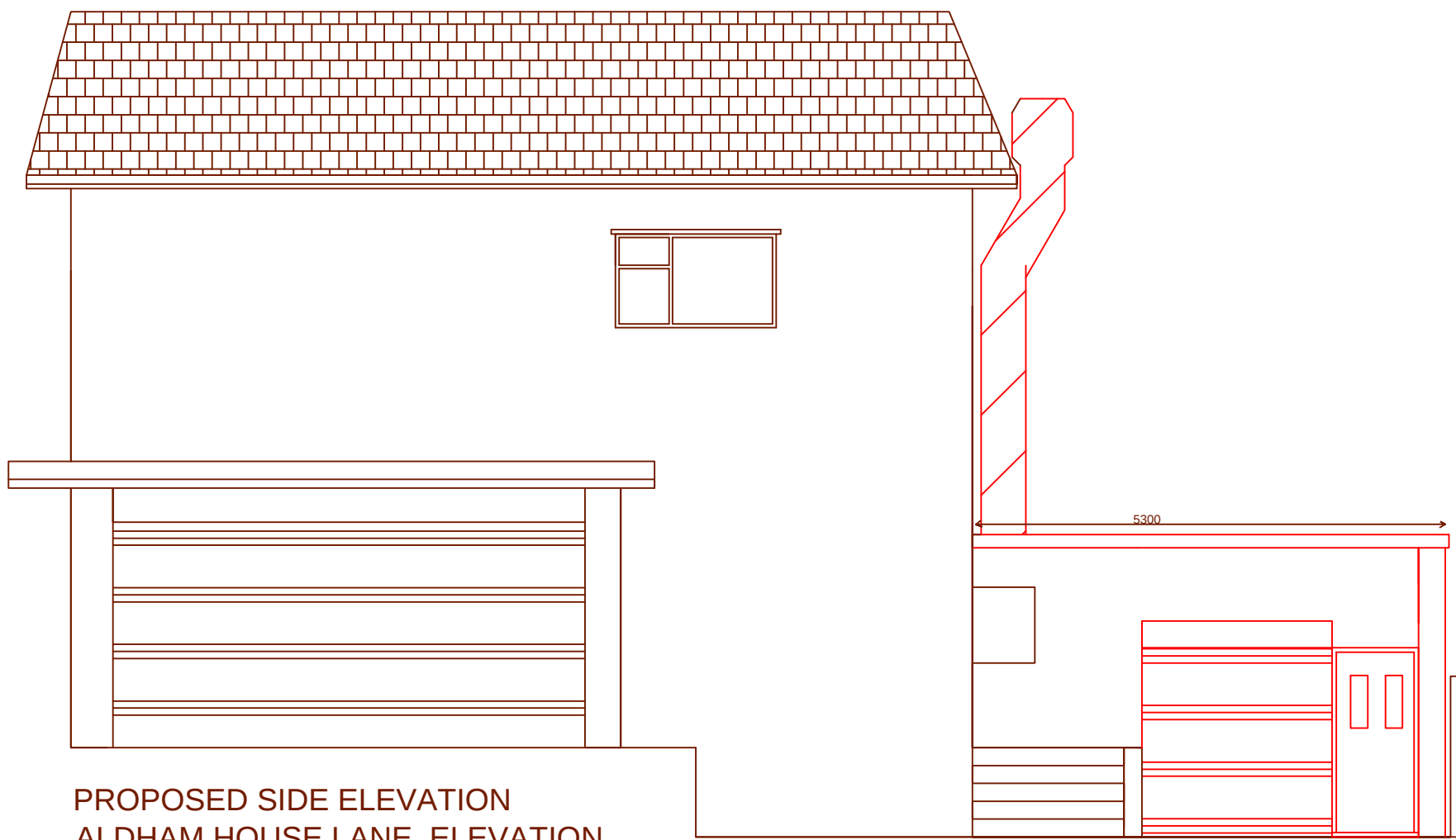




EXISTING SIDE ELEVATION
ALDHAM HOUSE LANE ELEVATION

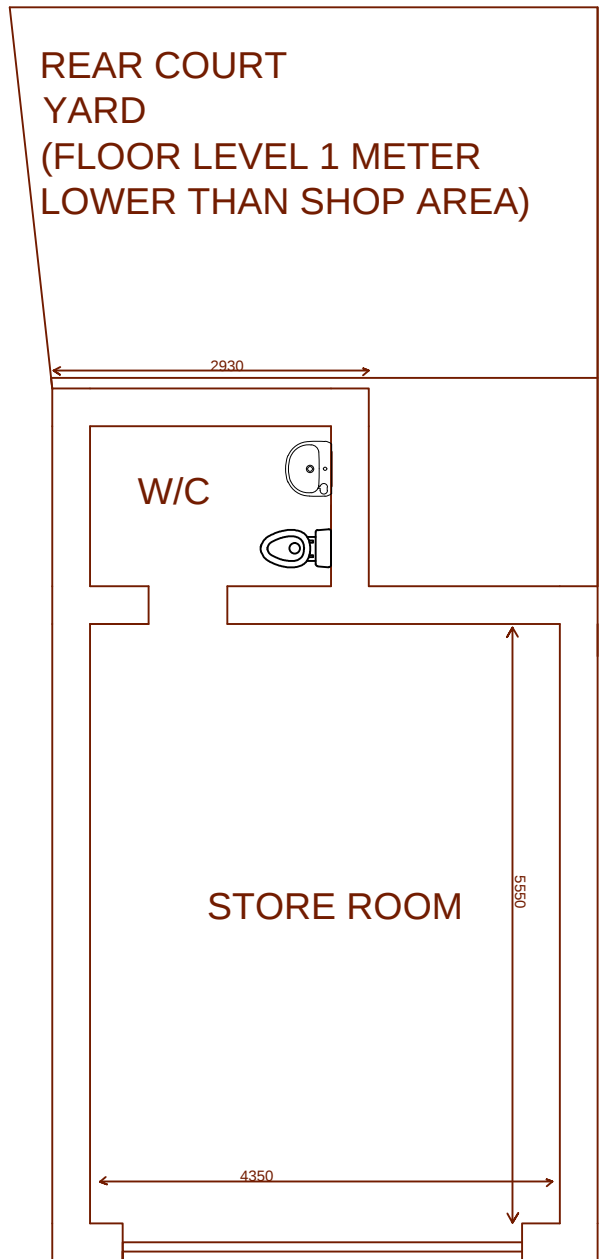


PROPOSED SIDE ELEVATION
ALDHAM HOUSE LANE ELEVATION

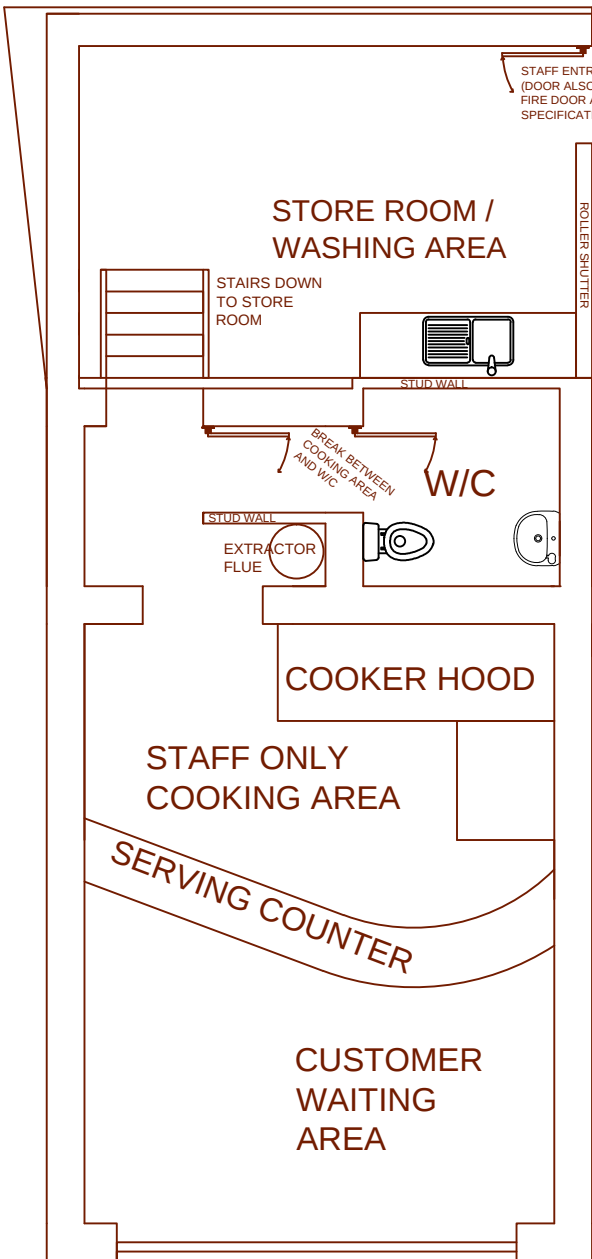


EXISTING REAR ELEVATION

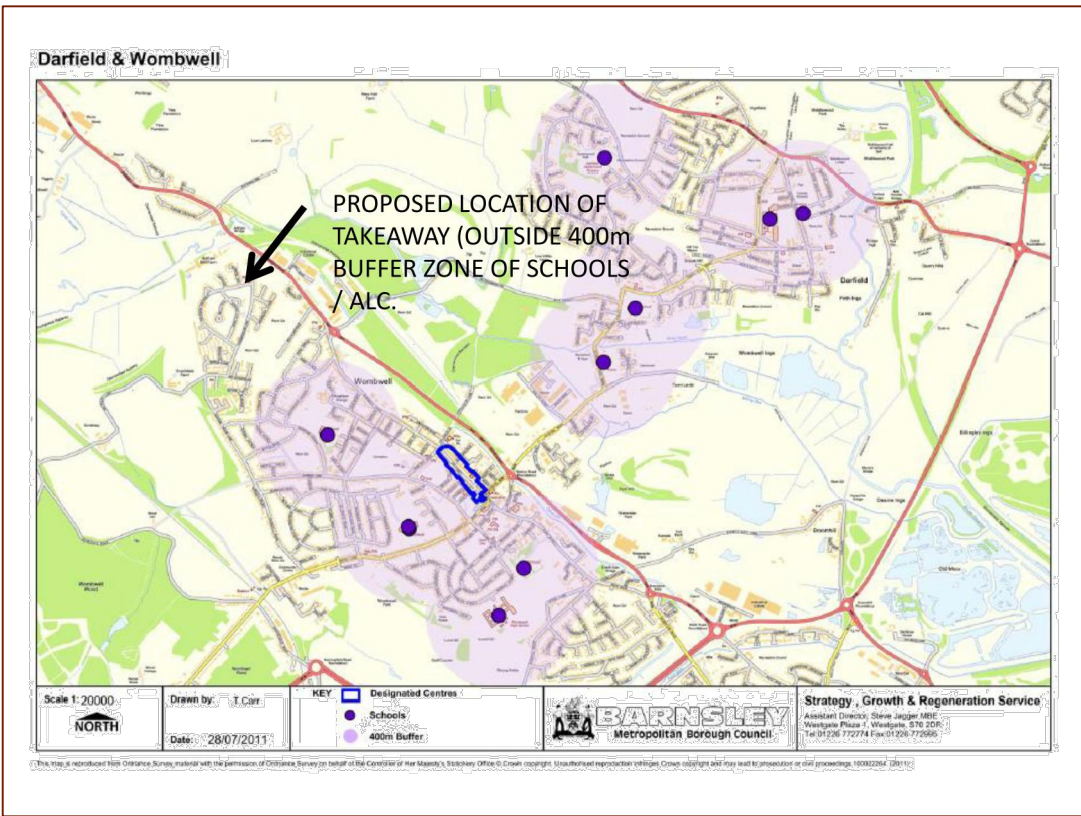
CHANGE OF USE:
2 PEARSON CRESCENT S73 8SN
EXISTING USE CLASS: A1 (GENERAL SHOP STORE ROOM)
PROPOSED USE: A5 (HOT FOOD TAKEAWY) SCALE 1:70



EXISTING FLOOR PLAN



PROPOSED FLOOR PLAN



Consideration of the Supplementary Planning Guidance on Hot Food Takeaways.

Description of property: Lease hold property located at ground floor of 2 Pearson Crescent, Wombwell Barnley S73 8SN. Ground floor is a unit with vehicular parking to the front, delivery vehicular access to the rear and a service / courtyard to the rear.

Noise and disturbance:

- Premises does share as party wall with an adjoining house.
- Premises forms part of a long established commercial shopping unit.
- Premises is not within 400 metres of a school / ALC.

Proposal to deal with possible odours:

- Proposal includes installation of a canopy which will extend beyond the cooking equipment area by at least 225mm, to collect the cooking fumes and direct them into the ductwork. Canopy to be constructed of stainless steel. Grease filters will be incorporated into the cooker hood and will be easily removable for regular cleaning.
- Ducting will be as straight and short as possible to ensure that fumes are discharged as effectively as possible.
- There will be a fan positioned within the ductwork to pull cooking fumes from the cooker hood to the point of discharge. The size of the fan motor will be adequate to ensure proper ventilation. As a minimum, the efflux velocity will be 8m/s to a maximum of 15m/s.
- Final discharge will be vertically upwards and will terminate at least 1m above the eaves.
- System shall incorporate Carbon filters when/if cooking fried foods and/or foods with strong odours. Carbon filters will be fitted in the ductwork after the grease filters and before the fan and shall be easily accessible.

Proposal to deal with possible noise from mechanical extraction system:

- The fan and motor will be sited within the building's structure to minimise outdoor noise. The fan and motor unit will be fixed on anti-vibration mounts and be joined to ductwork using flexible couplings to prevent the transmission of vibrations either to the structure or along the ducting. The fan and motor unit will not be fitted on to walls or ceilings adjoining residential premises.
- The extract ducting will be rigid in construction and isolated with anti-vibration mountings. Large section ducts shall be braced to prevent drumming.
- Noise attenuators will be installed around the fan and motor assembly.

Concentration issues:

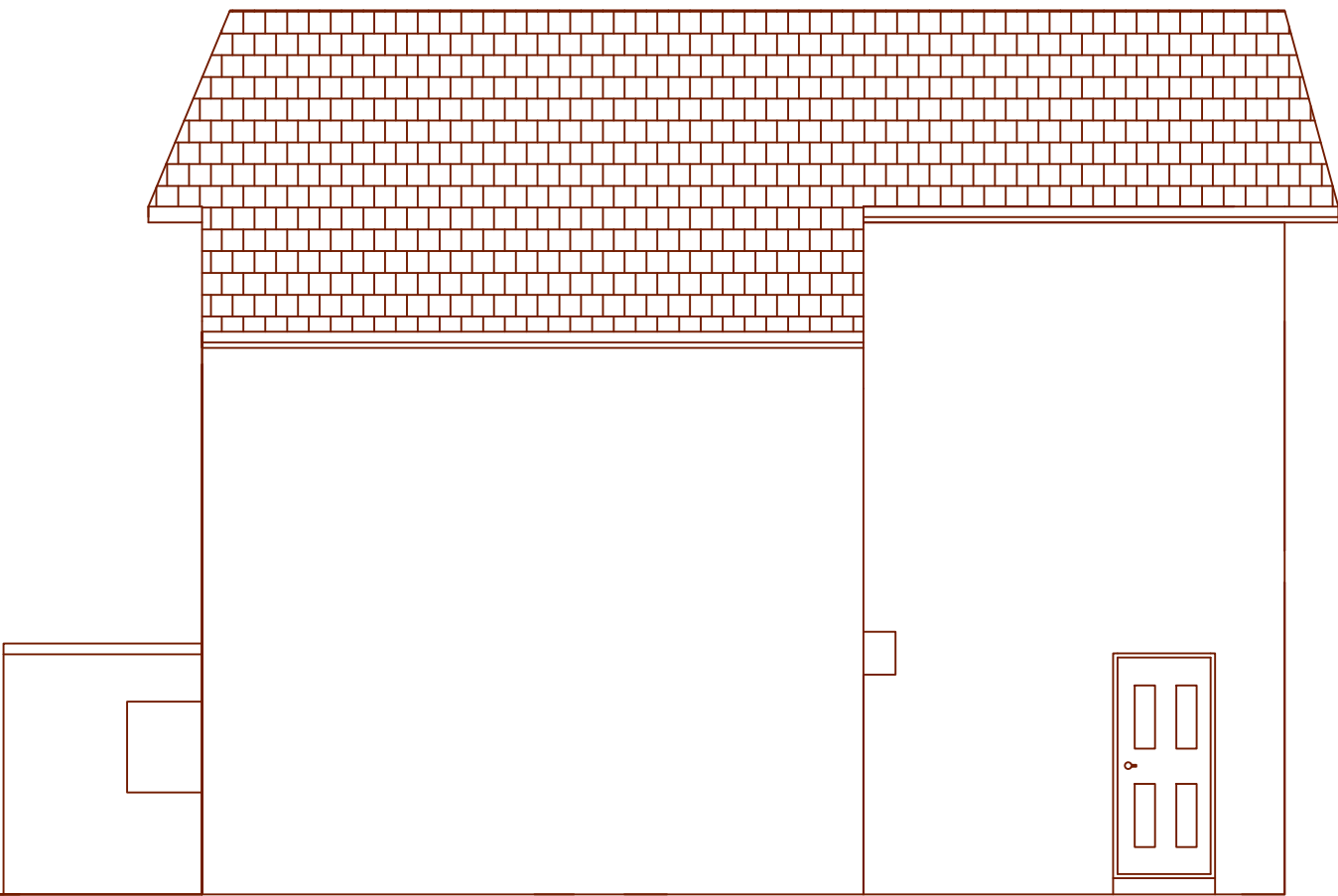
- There is no hot food takeaway (use class A5) within the immediate vicinity of the proposal.
- The proposed unit shall not operate prior to 12 am or after 11:30 pm (in line with the Supplementary Planning Guidance).

Customer Traffic / deliveries:

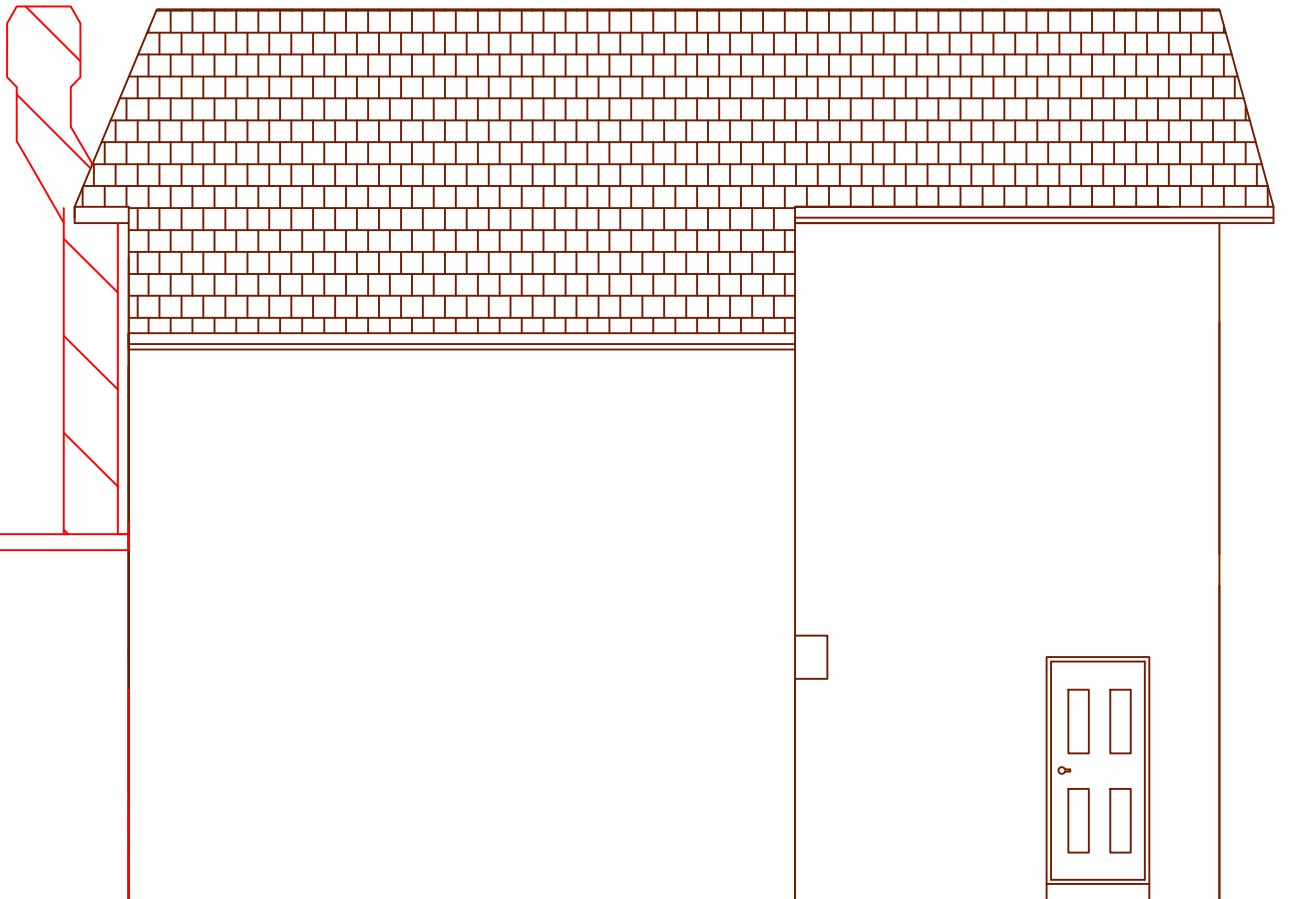
- Premises has on-street parking for customers to the front, and access for deliveries to the rear. Premises is not located within an area where on-street parking is considered to be a nuisance.

Attenuators / Signage

- Signage detail shall be provided on a separate Planning Application to be considered on its own merits following consideration of the change of use application.



EXISTING SIDE ELEVATION



EXISTING SIDE ELEVATION



EXISTING FRONT ELEVATION
PEARSON CRESCENT ELEVATION



PROPOSED FRONT ELEVATION (SHUTTER OPEN)
PEARSON CRESCENT ELEVATION



PROPOSED FRONT ELEVATION (SHUTTER DOWN) PEARSON CRESCENT ELEVATION