

Application Reference: 2026/0470

Site Address: 20 Blakeley Close, Athersley South, Barnsley, S71 1XN

Introduction:

This application seeks full planning permission for the erection of a single storey extension to the south-eastern rear elevation.

Relevant Site Characteristics

The application relates to a semi-detached, brick built, pitched roof two-storey located at the head of a cul-de-sac accessed from Carlton Road. The property benefits from a single storey detached garage.

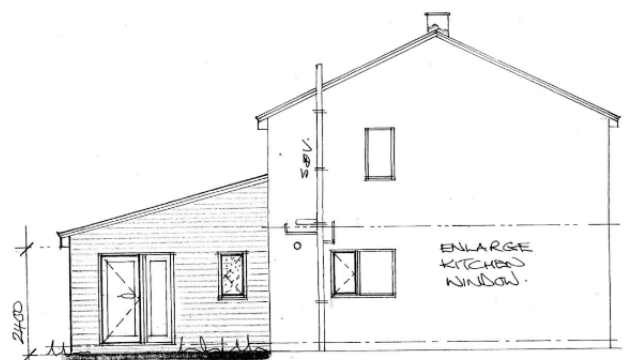
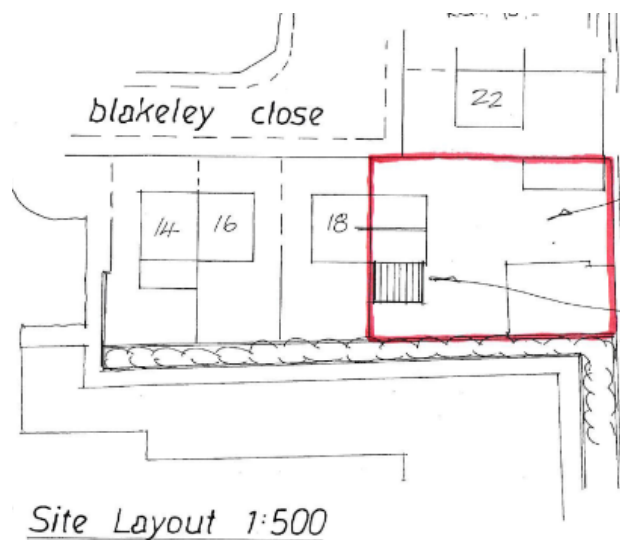
The area is characterised by predominantly two storey semi-detached properties; with Holy Trinity School located to the south and Gist Ltd to the north-east.

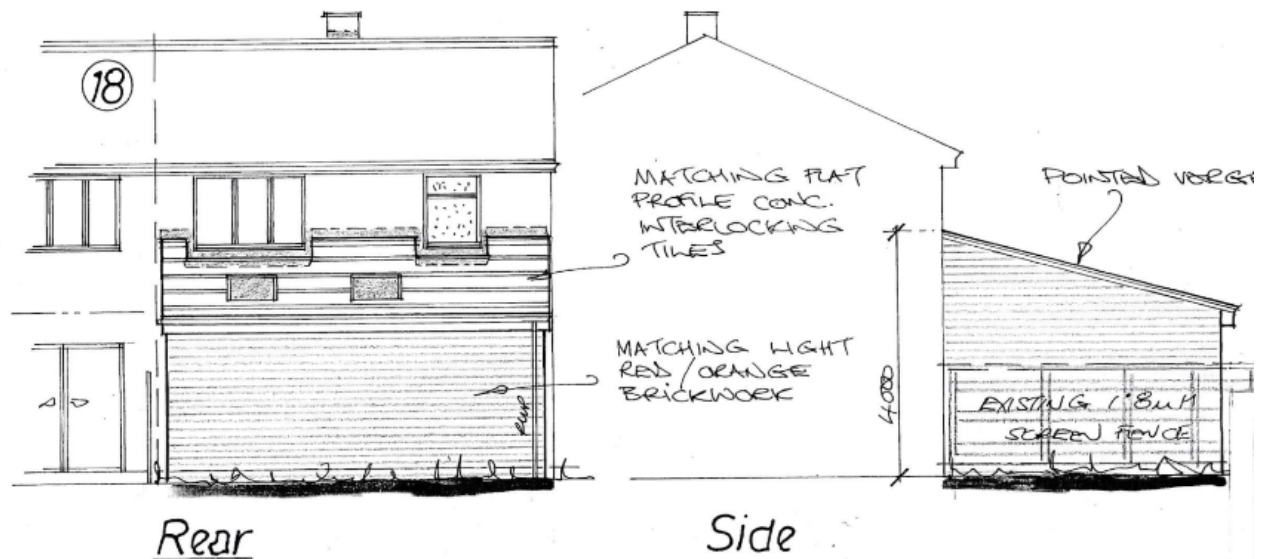
Site History

No relevant site history

Detailed description of Proposed Works

The applicant seeks permission for the erection of a single storey extension to the south-eastern rear elevation. The extension is to project 4.5m from the rear elevation of the original dwelling, extending the full width of the property. The extension is to be designed with a lean-to-roof with an eaves and ridge heights of 2.4m and 4m respectively. The extension is to be constructed materials to match the existing dwelling.





Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, The Government published a revised National Planning Policy Framework ("NPPF") which is the most recent revision of the original Framework, published first in 2012 and updated a number of times, providing the overarching planning framework for England. It sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans, and is a material consideration in planning decisions. This revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development which is at the heart of the framework (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). The NPPF confirms that

there are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The most relevant sections are:

Section 2 - Achieving sustainable development

Section 4 - Decision making

Section 12 - Achieving well-designed places

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty-eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and Other Domestic Alterations
- Parking

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website; no representations have been received.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale unless the NPPF establishes a specific weight:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle

The site falls within Urban Fabric where extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Impact on Neighbouring Amenity

The Supplementary Planning Document for House Extensions and Other Domestic Alterations states that proposals for house extensions, roof alterations, outbuildings and other domestic alterations should be of a scale and design which harmonises with the existing building and be subordinate; not adversely affect the amenity of neighbouring properties; maintain the character of the street scene and not interfere with highway safety.

The proposed single-storey rear extension would be located on the south-eastern elevation of the dwelling adjacent to the shared boundary with No. 18 Blakely Close.

The SPD advises that single storey extension to the rear of semi-detached properties should not project more than 4m and where the extension projects beyond 3m the eaves height should not exceed 2.5m. Whilst the proposed extension would project 4.5m, the eaves height would remain below 2.5m. As such, the proposal only partially complies with this element of the SPD. However, the extension would be positioned to the north-east of the adjoining property. Given its orientation, it is not considered that the proposal would result in a significant increase in overshadowing or an unacceptable loss of natural light to neighbouring occupiers; this carries considerable weight in favour of the application.

The main impact on the neighbouring property is that of loss of outlook due to the extension's proximity to the party boundary. For the purposes of daylight and to avoid an overbearing relationship with neighbouring properties, particularly adjoining ones, a 45 degree rule is applied to assess the impact a rear extension would have. A 45 degree quadrant is taken from the mid-point of the potentially affected window; if the extension falls within this area, then it is considered that the proposal would have an overbearing impact on the neighbouring dwelling.

In this instance, the proposed extension falls within this area. As such, it does not fully accord with the principles set out in the SPD. However, the element of the extension which would have the greatest impact, could be erected under permitted development. In addition, prior notification can be sought for a larger home extension up to a projection 6m if other relevant guidelines are met. The neighbours have not objected to the proposal, and in this instance the proposed projection is considered acceptable.

The main habitable room windows/glazed doors are to be located on the north-eastern side elevation facing into the main garden of the property and as such the proposal would not lead to an increase in overlooking; this carries considerable weight in favour of the application.

It is acknowledged there are no windows proposed on the rear elevation of the extension, however, the sitting room would gain light and outlook from the windows/doors on the Southeastern elevation and additional light from the rooflight. The extension would obscure existing windows which served the kitchen/dining room but there is still an existing window serving those rooms and providing light and outlook.

In light of the above, it is therefore considered that the proposal would not result in a significant increase in overlooking, overshadowing or reduce levels of outlook to a detrimental level which carries considerable weight in favour of the application and as such is in compliance with Local Plan Policy GD1 General Development and Supplementary Planning Document House Extensions and Other Domestic Alterations.

Scale, Design and Impact on the Character

Supplementary Planning Document House extensions and other domestic alterations states that the design of extensions should reflect the design of the existing dwelling in terms of roof style, pitch, materials.

The design of the proposed rear extension generally relates well to that of the original dwelling in terms of roof style, pitch and detailing and the materials proposed.

The extension is somewhat unusual in that there are no windows proposed on the rear elevation resulting in a blank, brick wall. However, the extension is to be located on the rear elevation of the dwelling and would not be visible from public vantage points or be a prominent/dominant feature on the streetscene. Furthermore, the rear boundary treatments obscure views from the school beyond. As such, in this case the lack of fenestration is acceptable. This carries significant weight in favour of the application, and it is therefore considered that the proposed extension is acceptable in terms of visual amenity and in compliance with Local Plan Policy D1.

Highways

Supplementary Planning Document – Parking sets out the parking standards for dwellings; a dwelling comprising of 3 or more bedrooms requires the provision of 2 no off street parking spaces.

The proposed development does not result in the loss of existing off-street parking, nor does it result in the requirement of additional parking provision, and as such is considered acceptable in terms of its impact on highway safety and in compliance with Local Plan Policy T4 New Development and Transport Safety. This carries significant weight in favour of the application.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. it is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.

Justification

STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT MANAGEMENT PROCEDURE ORDER 2015

It has not been necessary to make contact with the applicant to request amendments to the proposal during the consideration of the application, as it was deemed acceptable.