

Application Reference: 2026/0123

Site Address: 2 Collier Way, Mapplewell, S75 6GJ

Introduction: This application seeks full planning permission for the conversion of an integrated garage to habitable space, and erection of new single storey side integrated garage to dwelling (existing shed to be relocated) at 2 Collier Way, Mapplewell

Relevant Site Characteristics:

The property is a contemporary buff brick detached house with integral garage is set within an averaged size plot for the estate but features a wider front garden than other neighbouring dwellings on Collier Way. As the side boundary treatment narrows as it progresses diagonally towards the rear garden, an irregular shaped shed is located between the side elevation of the house and the boundary.



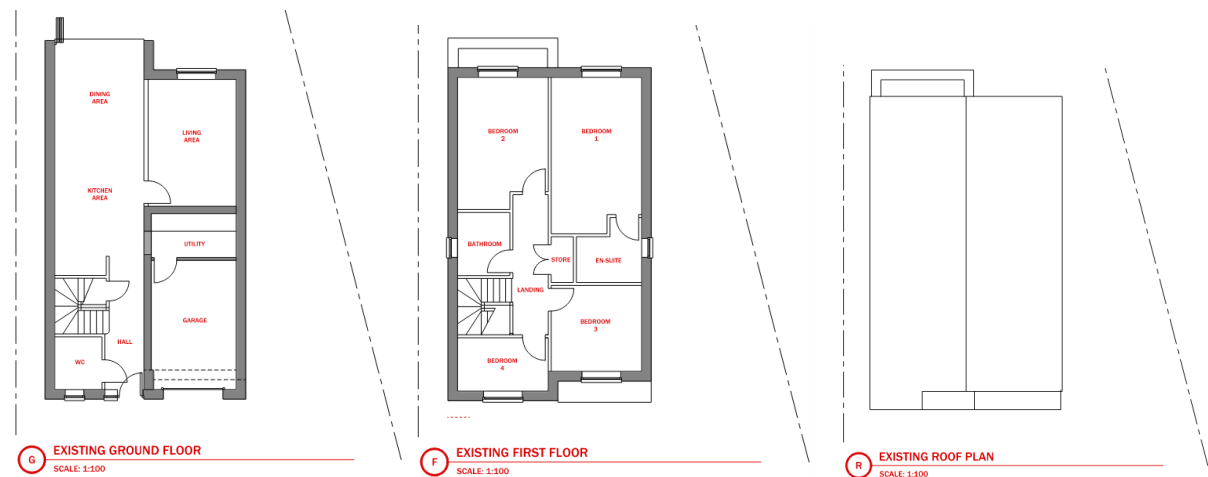
Relevant Site History

There is no relevant site history since approval of the reserved matters for the broader development of the site in planning application 2015/1407

Detailed description of Proposed Works

The proposal is for the conversion of the original integrated garage into habitable space, with the existing shed being removed and replaced with an integrated/attached garage and storeroom constructed on the side elevation of the existing dwelling.

Existing and Proposed Floor Plans and Elevations





Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

The following Local Plan policies are relevant in this case:

- Policy SD1: Presumption in favour of Sustainable Development.
- Policy D1: High Quality Design and Place Making.
- Policy GD1: General Development.
- Policy T4: New Development and Transport Safety

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In August 2026, the UK Government published a revised NPPF which is the most recent revision of the original Framework, first published in 2012 and updated several times, providing the overarching planning framework for England. The NPPF sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. The revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

The revised NPPF establishes national decision-making policies (NDMP). Central to the NPPF is a presumption in favour of sustainable development (NDMP S3) and plans and decisions should apply this NDMP. There are three overarching objectives to sustainable development: an economic, social and environmental objective which are mutually dependent.

The following NPPF sections and NDMPs are relevant in this case:

Section 3: Decision-making policies

- DM3: Determining development proposals.
- DM6: Use of planning conditions and obligations.
- DM7: Relationship with other regulatory regimes.

Section 4: Achieving Sustainable development

- S3: Presumption in favour of sustainable development.
- S4: Principle of development within settlements.

Section 14 - Achieving well-designed places

- DP3: Key principles for well-designed places.
compared to the original building. In the case of proposals for a replacement building, it should be for the same use and not materially larger than the one it replaces;

Development plan policies (or parts of those policies) which are materially inconsistent with national decision-making policies in the NPPF should be given very limited weight. The only exception to this is where they have been examined and adopted or made against the NPPF (August 2026). Other development plan policies should not be given reduced weight simply because they were adopted prior to the publication of the NPPF (August 2026).

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take it into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The most pertinent SPD's in this case are:

- House extensions and other domestic alterations (Adopted March 2024)
- Parking (Adopted November 2019)

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Other Material Considerations

- South Yorkshire Residential Design Guide 2011 (SYRDG).

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015. Any neighbour sharing a boundary with the site has been sent written notification and the application has been advertised on the Council website.

No comments were received.

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle

The site falls within Urban Fabric. Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties.

Scale, Design and Impact on the Character

With an approximate width of 3.38m, the proposal is broadly compliant with the local House Extensions and Other Domestic Alterations SPD, which allow side extensions up to a maximum width of two thirds the width of the original dwelling, which is approximately 6.86 sqm. With just a 22.6sqm footprint, this is also proportionate to the dwelling's approximate original footprint of 80 sqm. Although the extension features an approximate width of 7.65m and included a section with a reduced width of 2.59m, a width of 1m between the side extension and the side boundary is not wholly maintained. Whilst the SPD advises a 1m gap between a side extension and side boundary should be maintained, on this occasion, the lack of full compliance with this advice would have no negative consequences, given the size of the adjacent plot, and distance of the neighbouring dwelling from the boundary.

The conversion of the integrated garage, whilst not requiring formal planning permission could be considered an improvement, creating a more traditional style front elevation. Unfortunately, some of this potential improvement is lost through the addition of the side extension. As noted above whilst the scale of the proposed extension is acceptable, and broadly meets local SPD requirements. The proposed extension does not feature a set back from the front elevation of the dwelling, however, a standard planning condition covering the whole the garage conversion and construction of the extension, requires the use of matching materials which will ensure the old and new materials match. These have been indicated on the application form as brickwork and roof tiles to match the existing, along with a metal garage door and UPVC windows, which the original dwelling features.

On balance, the proposal would be considered to have a modest impact on the design, scale and character of the original dwelling. With only a modest impact, the proposal would therefore be compliant with local policy GD1 and D1, which carry moderate weight in favour of the proposal.

Impact on Neighbouring Amenities

As the location of the garage is situated away from adjacent neighbours on Collier Way, and of sufficient distance away from the rear boundary, the only potential neighbour impacted by the proposal would be the adjacent neighbouring dwelling of No 1 Lidgett Road. Due to the substantially large plot of number 1, along with the position of the dwelling itself, there would be no impact of overbearing from the proposal, and with no side windows proposed, there would be no impact on overshadowing.

With little or no impact on neighbouring amenities, the proposal would be considered in accordance with Local Policy GD1 which carries moderate weight in favour of the proposal.

Highways DC

Highways were consulted as a precaution because of the proximity of the dwelling to a significant junction within the estate. Whilst Highways raised no objection to the proposal, and therefore there would be no impact on Highway Safety, Highways did request that a planning condition was attached to any decision notice. The condition would secure, without a formal application to remove or amend the condition, the future of the proposed garage remaining as a domestic garage used for the parking vehicles or other domestic uses incidental to the enjoyment of the dwellinghouse.

Planning Balance and Conclusion

For the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant plan policies and planning permission should be granted subject to necessary conditions. Under the provisions of the NPPF, the application is considered to be a sustainable form of development and is therefore recommended for approval.

RECOMMENDATION: Approve subject to conditions

Justification

It has not been necessary to make contact with the applicant to request amendments to the proposal during the consideration of the application, as it was deemed acceptable.

**STATEMENT OF COMPLIANCE WITH ARTICLE 35 OF THE TOWN AND COUNTRY DEVELOPMENT
MANAGEMENT PROCEDURE ORDER 2015**

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering objections, the determination of the application and the resulting recommendation. it is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.