
2023/1139

Mr Dave Bird

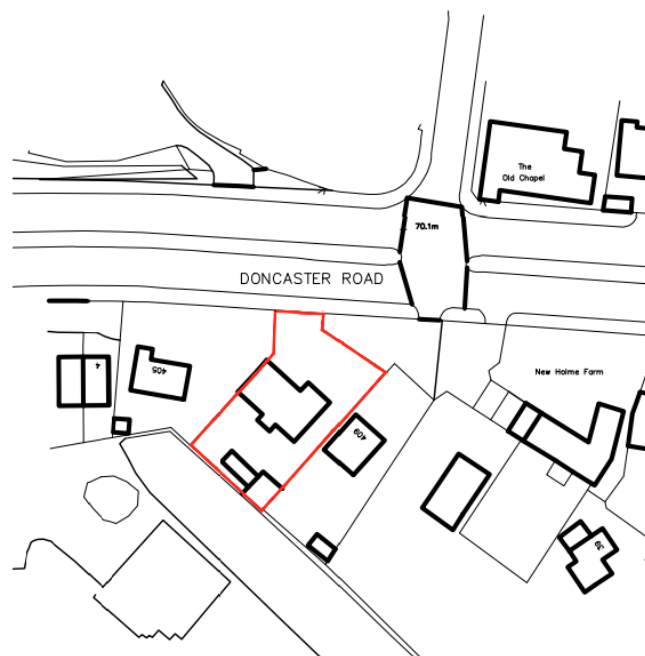
407 Doncaster Road, Ardsley, Barnsley, S71 5AG

Raise height of roof to accommodate additional living accommodation with front and rear dormers, balcony and side, front and rear extensions.

Site Description

The application relates to a plot located on the south side of Doncaster Road and in an area that is principally residential characterised by a varied street scene comprising a mix of dwelling types of varying scale and appearance.

The property in question is a single storey, brick-built detached dwelling with high-level vertical timber cladding to the front elevation and a pitched roof and front gable projection with grey coloured tiling. The property features an existing attached flat roof garage to the north, is set centrally in its plot, and is significantly set back from the highway and is fronted by a large area of hardstanding. To the rear is an existing detached garage set in a modest sized garden bounded by a mix of retaining walls and fencing.



Planning History & Other Relevant Applications

There are no previous applications associated with the application site. However, there is a planning application currently under consideration at the adjacent property, 409 Doncaster Road.

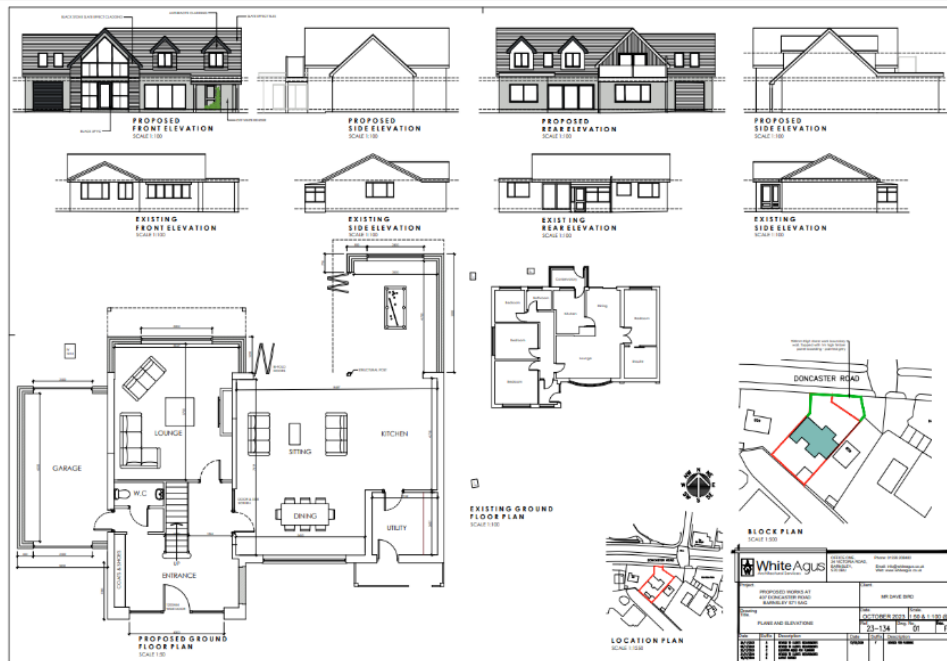
1. 2024/0024 – Side and rear extension and raise height of roof to form habitable rooms in the roof space with dormer windows and balcony and changes to external finishes. – Under consideration.

Proposed Development

The applicant is seeking permission for extensive works to the existing dwelling to create a larger, uniquely designed detached dwelling, including the raising of the roof and the installation of pitched roof front and rear dormer windows to accommodate additional living accommodation, and front, rear and side extensions incorporating an integral garage, glazed frontage, and first-floor balcony to the rear.

The roof of the dwelling would be raised by approximately 2.3 metres and an extension would be erected to the south-east side of the dwelling with a sideways projection of approximately 3.5 metres with a depth of approximately 6.3 metres. The extension would adopt a pitched roof with an approximate eaves a ridge height of 3.2 metres and 6.6 metres respectively. Additional extensions would be erected to the rear of the dwelling. The northernmost extension would have a rearward projection of approximately 5 metres and would adopt a flat roof with a total height of approximately 3.4 metres. The southernmost extension would have a rearward projection of approximately 1.5 metres and would adopt a gable roof with an eaves and ridge height of approximately 3.2 metres and 7.2 metres respectively. A first-floor rear balcony would provide an additional rearward projection of approximately 1.2 metres from the rear elevation of the southernmost extension. External materials would include slate effect tiling, light-coloured render, anthracite cladding, black stone slate effect cladding, and black UPVC frames.

The proposal also includes a recently erected timber panelled board fence, painted grey, to the front and side of the dwelling. Part of the fence has been erected atop an existing stone retaining wall forming the north boundary line.



Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy GD1: General Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy T4: New Development and Transport Safety.***

Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

Other Material Considerations

- ***South Yorkshire Residential Design Guide 2011.***

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

Assessment

Principle of Development

Extensions and alterations to a domestic property are acceptable in principle provided that they remain subsidiary to the host dwelling, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Residential Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they would not adversely affect the amenity of neighbouring properties.

The application dwelling is located to the north-west of adjacent property, 409 Doncaster Road. It is acknowledged that the proposed increase in height and extension from the south-east elevation of the application dwelling could result in additional overshadowing. However, extensions to the north and west of neighbouring properties are generally considered to have a lesser impact than those located to the south. Moreover, any potential impact would likely occur and be limited to the evening and to the blank north-west elevation of the neighbouring property.

The application dwelling is located to the east of adjacent property, 405 Doncaster Road. It is acknowledged that the proposed increase in height and extension to the rear could result in additional overshadowing. However, the neighbouring property is located to the west of its plot and is set back and down from the application dwelling. Moreover, existing boundary treatments comprising mixed vegetation and trees are likely to contribute to any existing level of impact. It is not considered that the proposal would result in significantly increased levels of overshadowing beyond this.

Alterations to the existing ground floor windows of the application dwelling, the installation of new front and rear dormer windows, the installation of front and rear roof lights, the installation of a feature glazed frontage and new ground floor windows and bi-folding doors and first-floor balcony to the rear are proposed. The front-facing windows would maintain a sufficient separation distance from properties located on the north side of Doncaster Road and Chapel Street and a recently erected boundary fence is likely to offer further mitigation and screening. The first-floor rear-facing windows and balcony would maintain a sufficient separation from the rear boundary with no properties immediately opposite. It is acknowledged that the windows would face a playing field in relation to Oakhill Primary School. However, any potential impact is likely to be similar to that which could exist as a result of other two-storey dwellings with first-floor rear-facing windows. The proposed balcony could result in additional overlooking. However, the south-east side of the balcony would incorporate a 1.8-metre-high privacy screening panel therefore lessening any potential impact on 409 Doncaster Road. Moreover, the balcony would face the blank east elevation of 405 Doncaster Road and existing trees forming the boundary are likely to offer further mitigation and screening. No windows are proposed in either side elevation.

This application proposes various extensions to the application dwelling that would not directly obstruct any habitable room windows of neighbouring properties and would therefore be unlikely to result in reduced levels of outlook.

Planning application 2024/0024 is currently under consideration at 409 Doncaster Road and seeks permission for “side and rear extension and raise height of roof to form habitable rooms in the roof space with dormer windows and balcony and changes to external finishes”. Consideration has been given to the potential impact that the proposed development (2023/1139) could have on the neighbouring property (409 Doncaster Road) as existing and as proposed. It is not considered that the proposed development to 409 Doncaster Road would impede the proposed development under

consideration as part of this application. The detail of which is considered as part of planning application 2024/0024.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and is therefore considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Visual Amenity

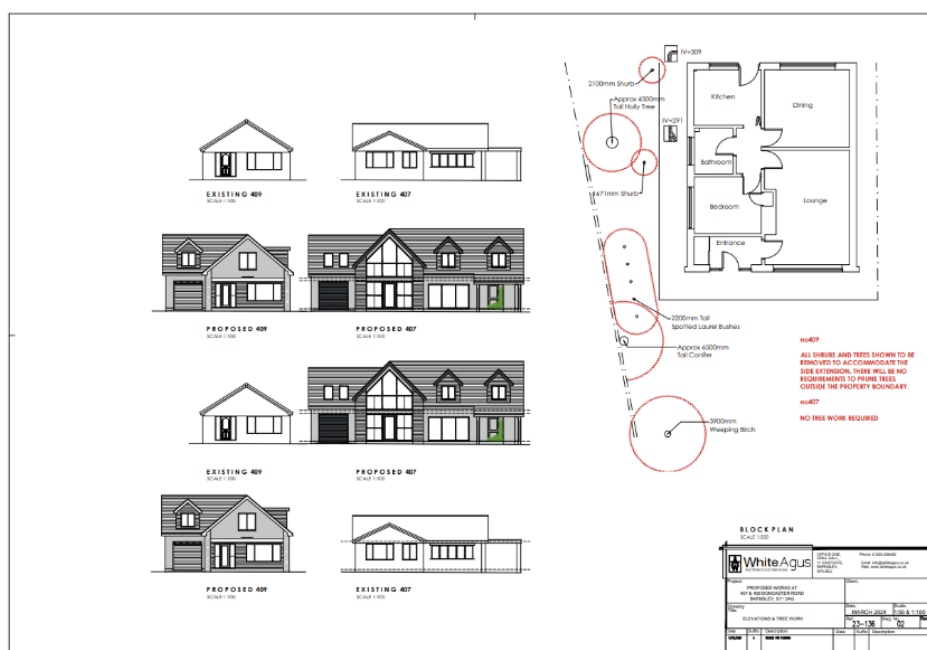
Proposals for extensions and alterations to a domestic property are considered acceptable provided that they do not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The application dwelling is a detached bungalow prominently located on the south side of Doncaster Road and opposite the junction with Chapel Street. The existing property shares a similar scale and appearance with adjacent property, 409 Doncaster Road. However, the wider street scene is more varied and is characterised by mixed dwelling types of varying scale and appearance, including varying roof types and external materials.

The proposal would increase the width and height of the application dwelling fundamentally altering the existing character of the property and resulting in the appearance of a two-storey dwelling. It is acknowledged that this could contrast somewhat with adjacent property, 409 Doncaster Road. However, the proposal has been designed to appear as a uniquely designed detached dwelling in a varied street scene with no uniform house style, various roof types with varying ridge heights and pitches, and the utilisation of room in the roof space facilitated with the inclusion of dormer windows. Therefore, whilst it is proposed to increase the height of the application dwelling, this would not be out of character with the area. The proposal would also retain some elements of the existing character of the application dwelling by retaining a pitched roof and front gable projection albeit extended and altered to deliver the design aim of creating the appearance of a uniquely designed detached dwelling. The roof above the proposed south-east side extension to the application dwelling would adopt a set down from the main ridge line and the extension itself would be set back from the main front wall of the property therefore lessening its prominence and dominance and further harmonising the dwelling into its surroundings.

The existing dwelling is constructed of brickwork with grey coloured tiling and timber cladding to the front elevation of the gable projection. The proposal seeks to adopt a mixed material palette comprising light-coloured render, anthracite cladding, black stone slate effect cladding, and slate effect tiles that would contribute to a modernised aesthetic and would reflect the design aim to create the appearance of a uniquely designed detached dwelling in a varied street scene. The proposed external materials could contrast somewhat with adjacent property, 409 Doncaster Road. However, the materials would not be dissimilar to existing materials seen in the exterior of properties in the surrounding area.

As previously stated, a planning application (2024/0024) proposing similar development is under consideration at 409 Doncaster Road. Due to the increase in height of the application dwelling (407 Doncaster Road) an imbalance could be created between the application and neighbouring properties, particularly where 407 Doncaster Road would be developed, and 409 Doncaster Road would not. Unfortunately, as these proposals have been submitted as separate planning applications in relation to separate sites under separate ownership, it is not permissible to condition that both properties undertake their respective development. Concerns of such were raised during the application process which resulted in the submission of a street scene showing the proposed development under consideration against the proposed development of 409 Doncaster Road as completed and as undeveloped.



The design of the proposed development under consideration which includes a set down of the roof to the south-east side extension (above garage) creates a step between the main roof the dwelling, as extended, and the lower roof of 409 Doncaster Road. It is considered that this would sufficiently lessen the impact of the proposed development (2023/1139) when viewed against 409 Doncaster Road should it not be developed. Additionally, the step would provide a break between 409 Doncaster Road should it be developed.

The proposal is therefore not considered to significantly alter or detract from the character of the street scene and is considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

Highway Safety

The proposal includes various extensions to the side and rear of the application dwelling with the south-east extension incorporating a ground floor integral garage that would maintain access to an existing detached garage to the rear.

The proposed garage would not meet the internal space standards for development of this type as outlined in the South Yorkshire Residential Design Guide and would therefore not be included in the total parking provision of the application site. Nevertheless, it is acknowledged that the garage could accommodate some modern vehicles and sufficient parking spaces would be maintained to the front to accommodate a minimum of two off-street parking spaces, in accordance with the parking SPD.

A 1-metre-high timber panelled board fence has been erected atop an existing stone retaining wall forming the north boundary line. The fence is set in from the edge of the wall forming the access to the site and is therefore unlikely to significantly impact existing visibility splays. As such, it is considered that highway safety would be maintained to a reasonable degree.

The proposal is therefore considered acceptable and in compliance with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

Other Material Considerations

The northern boundary is abutted by unprotected trees within the curtilage of adjacent property, 405 Doncaster Road. The proposal does not include any works to these trees. Discussions with the Forestry Officer did not identify any specimens as constraints to development nor any that the Local Authority could seek to protect. Therefore, no objections were raised.

**Recommendation -
Approve with Conditions**