
2021/1483

Mr Matthew Durber

Erection of two storey and single storey side and rear extensions to dwelling including rear balcony to dwelling

15 Limes Close, Staincross, Barnsley, S75 6JS

Description

The property is a 70's designed mono-pitched roofed detached dwelling set on a street scene of similar properties. The property has a long front garden and a rear garden which faces onto agricultural land. The property has an existing single storey rear conservatory.



Proposed Development

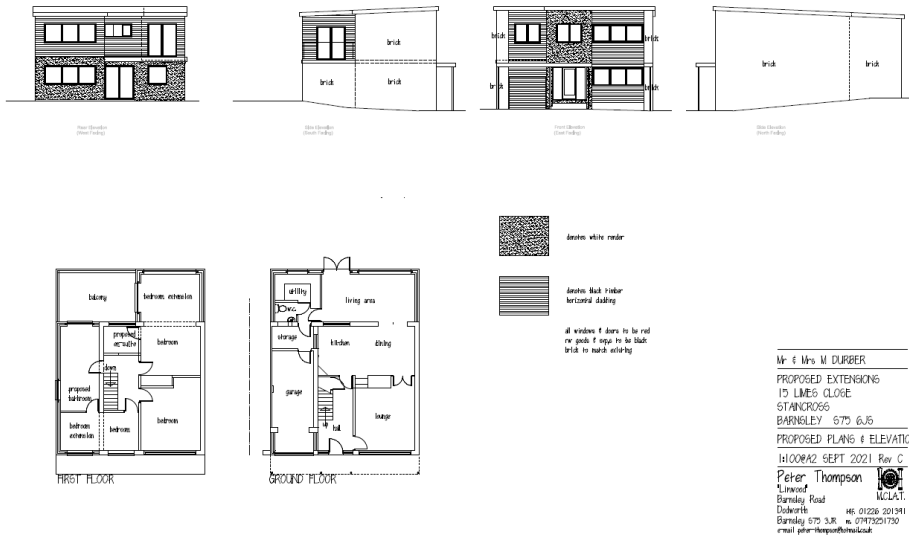
The applicant seeks permission for the erection of a two storey and single storey side and rear extension including rear balcony. The extensions would allow for larger bedrooms and bathrooms to the first floor and increased living space of the ground floor. It is also proposed to extend the garage to the front elevation to be aligned with the main dwelling.

The rear extension to project a maximum of 3.2m from the rear elevation of the dwelling, extending the full depth of the property. The first floor side extension projects 2.6m, which is the width of the garage and extends the full depth of the current dwelling. There is a first floor window proposed to the side elevation, to a bathroom which would be obscurely glazed.

The proposed front extension would be a maximum of 1.3m. It is also proposed to relocate the front door from the side elevation to the front elevation.

It is also proposed to change the materials, including replacement of cladding and addition of render onto the front and rear elevations.

Concerns were raised during the application process due to the extent of render proposed on the plans. Amended plans have subsequently been received which address these concerns.



Policy Context

Planning decision should be made in accordance with the development plan unless material considerations indicate otherwise and the NPPF does not change the statutory status of the development plan as the starting point for decision making.

The new Local Plan was adopted at the full Council meeting held 3th January 2019 after it was found to be sound by the appointed Planning Inspector following the examination process. This means that it now takes on full weight for decision making process in planning law terms as the development plan for the Borough, superseding the remaining saved policies from the Unitary Development Plan (adopted in the year 2000) and the Core Strategy (adopted in 2011).

Local Plan

The site is allocated as Urban Fabric within the Local Plan Proposals Maps and therefore the following policies are relevant:

Policy SD1 Presumption in favour of Sustainable Development

When considering development proposals we will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework. We will work proactively with applicants jointly to find solutions which mean that proposals can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area.

Policy GD1 General Development

Proposals for development will be approved if:

- There will be no significant adverse effect on the living conditions and residential amenity of existing and future residents;

- They are compatible with neighbouring land and will not significantly prejudice the current or future use of the neighbouring land;
- They will not adversely affect the potential development of a wider area of land which could otherwise be available for development and safeguards access to adjacent land;
- They include landscaping to provide a high quality setting for buildings, incorporating existing landscape features and ensuring that plant species and the way they are planted, hard surfaces, boundary treatments and other features appropriately reflect, protect and improve the character of the local landscape;
- Any adverse impact on the environment, natural resources, waste and pollution is minimised and mitigated;
- Adequate access and internal road layouts are provided to allow the complete development of the entire site for residential purposes, and to provide appropriate vehicular and pedestrian links throughout the site and into adjacent areas;
- Any drains, culverts and other surface water bodies that may cross the site are considered;
- Appropriate landscaped boundaries are provided where sites are adjacent to open countryside;
- Any pylons are considered in the layout; and
- Existing trees that are to remain on site are considered in the layout in order to avoid overshadowing.

Policy D1 High Quality Design and Place Making

Design Principles:

Development is expected to be of high quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and features of Barnsley, including:

- Landscape character, topography, green infrastructure assets, important habitats, woodlands and other natural features;
- Views and vistas to key buildings, landmarks, skylines and gateways; and
- Heritage and townscape character including the scale, layout, building styles and materials of the built form in the locality.

Through its layout and design development should:

- Contribute to place making and be of high quality, that contributes to a healthy, safe and sustainable environment;
- Complement and enhance the character and setting of distinctive places, including Barnsley Town Centre, Penistone, rural villages and Conservation Areas;
- Help to transform the character of physical environments that have become run down and are lacking in distinctiveness;
- Provide an accessible and inclusive environment for the users of individual buildings and surrounding spaces;
- Provide clear and obvious connections to the surrounding street and pedestrian network;
- Ensure ease of movement and legibility for all users, ensure overlooking of streets, spaces and pedestrian routes through the arrangement and orientation of buildings and the location of entrances;
- Promote safe, secure environments and access routes with priority for pedestrians and cyclists;
- Create clear distinctions between public and private spaces;
- Display architectural quality and express proposed uses through its composition, scale, form, proportions and arrangement of materials, colours and details;
- Make the best use of high quality materials;
- Include a comprehensive and high quality scheme for hard and soft landscaping; and
- Provide high quality public realm.

In terms of place making development should make a positive contribution to achieving qualities of a successful place such as character, legibility, permeability and vitality.

The Supplementary Planning Document (SPD) sets out the design principles that specifically apply to the consideration of planning applications for house extensions, roof alterations, outbuildings & other domestic alterations and indicates that these developments:

1. be of a scale and design which harmonises with the existing building
2. not adversely affect the amenity of neighbouring properties
3. maintain the character of the street scene and
4. not interfere with highway safety.

Consultations

N/A

Representations

Neighbour notification letters were sent to surrounding properties – no comments have been received.

Assessment

Principle of development

The site falls within urban fabric which has no specific land allocation, however the site and surrounding area is made up principally of housing. Extensions to residential properties are considered acceptable where they do not have a detrimental impact on the amenity of surrounding residents, visual amenity and on highway safety. To the rear of the property is allocated green belt.

Residential Amenity

The proposed side extension over the garage will not result in an increase of overshadowing or overlooking. Whilst a side window is proposed, this would be to a bathroom and would therefore be obscurely glazed. The proposed rear extension would be part two storey and single storey. This would replace the existing conservatory. Due to the build line of the neighbouring properties, the rear extension would not project further than the rear elevations of both properties. It is therefore not considered that this would result in an overbearing impact. The rear of the property overlooks agricultural land and therefore there are no rear boundary concerns.

A balcony is proposed to the rear elevation, which would also be visible from the side elevation. The balcony would look over the applicant's garden and would allow views over the fields to the rear. There would be no significant increase in overlooking into neighbouring properties as a result of the balcony as the applicant has stated that the side elevation of the balcony would be screened for their own privacy. A condition has been added to secure this screen. The proposed extension to the front elevation is modest and several properties within the immediate vicinity have larger front extensions.

In terms of overlooking, the proposal should not increase levels of overlooking to a significant extent. The side windows proposed are to a bathroom. The windows to the rear elevation will face over the garden land and access to the rear of the property and will not provide any direct overlooking over the neighbouring properties.

It is therefore considered that the proposal would not result in a significant increase in overlooking, overshadowing or reduce levels of outlook to a detrimental level and is in compliance with Local Plan Policy GD1

In terms of garden space, the SPD states that: 'Extensions and outbuildings should not take up a disproportionate amount of private rear garden space and as a general principle should allow the

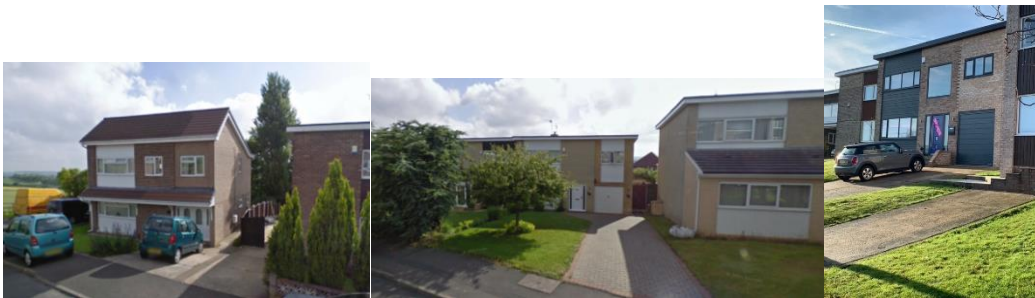
retention of at least half the garden area.’ The rear extensions would allow for over half of the garden area to remain. In any case a single storey extension could be erected under permitted development rights which would reduce the garden area to a similar area

Visual Amenity

The Supplementary Planning Document for House Extensions states that ‘the design of a two storey side extension should reflect the design of the existing dwelling in terms of roof style, pitch materials and detailing and should not have an excessive sideways projection, i.e. more than 2/3 the width of the original dwelling’. In this instance the proposed extension projects 3m from the side elevation therefore complies with the guidance set out in the supplementary planning document.

The document also states that a two storey side extensions should have a set back from the front elevation by at least 500mm, to allow for a vertical break in the roof plane, a lowering of the ridge line and to reduce the terracing effect. The set back also lessens the unsightly bonding of old and new materials; in this instance there is no set back due to the front extension. Similarly, there is no set down as it is considered that the design of the property would look unbalanced if this were achieved.

Existing examples of similar extensions



The main impact of these proposals result in a change to the existing materials. To the rear it is proposed that the first floor would be clad whilst the ground floor would be rendered. There is no render proposed to the side elevations. To the front elevation, it is proposed to build the extensions in matching brick, replacement of existing white cladding with grey and introduction of render to the realigned door. This is different to the existing, however the use of render has been introduced in other properties in the immediate vicinity, but the street scene is very varied in terms of external appearance with varying extensions of different sizes and cladding which is of different colours, including white. The extent of render on the property has been reduced from the original plans submitted with this application. It is felt that the main change to this property is the inclusion of white render, but the existing cladding is dated and rendering the property can be considered to be an improvement whilst not harming the character of the area or the street scene as a whole. It is proposed to replace the windows with a red window frame. Whilst concerns have been expressed regarding the colour choice, as planning permission is not required for replacement windows, the application could not be refused on this.

The extensions are designed with the same slightly sloping roof as the main dwelling. It is therefore considered that the proposed extension is acceptable in terms of visual amenity and in compliance with Local Plan policy D1: High Quality Design and Place Making.

Highway safety

The proposal does not result in the loss of off street parking or the requirement for additional provision and as such is considered acceptable in terms of its impact on highway safety.

Other Issues

Recommendation

Approve with conditions