



Strategic Planning Research Unit  
*A specialist team within DLP Planning Ltd*

For and on behalf of  
**Rouse Homes Ltd**

## Health Impact Assessment

Land to the west of Woolley Colliery Road  
Darton  
Barnsley  
S75 5HQ

Prepared by  
**Strategic Planning Research Unit**  
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**Sheffield**

July 2022



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## 1.0 INTRODUCTION

- 1.1 This Health Impact Assessment (HIA) has been prepared to examine the potential health impacts associated with the erection of up to 115 houses at the site to the west of Woolley Colliery Road, Darton, Barnsley. This HIA has been produced in support of outline planning application (ref. 2022/0619) following a request from the Public Health Team that was forwarded to the applicant on 6<sup>th</sup> July 2022.
- 1.2 After liaising with the Planning Officer, it was confirmed that Barnsley Council does not currently have an adopted toolkit or other guidance for undertaking a HIA and it was therefore agreed by the Council that the approach we have previously used in undertaking HIAs elsewhere would be acceptable. The approach taken in preparing this HIA therefore utilises best practice guidance and the assessment matrix set out in the NHS London Healthy Urban Development Unit (HUDU) Rapid Health Impact Assessment Tool (Fourth Edition, October 2019)<sup>1</sup>.
- 1.3 A HIA may be defined as:  
  
‘A combination of procedures, methods and tools that systematically judges the potential, and sometimes unintended effects of a policy, plan, programme or project on the health of a population and the distribution of those effects within the population.’<sup>2</sup>
- 1.4 The purpose of a HIA is therefore to ensure that the health and wellbeing impacts of planning policies and proposed developments are fully considered as part of the plan-making and planning application process. The HIA process considers the positive and negative impacts of a development, as well as considering any indirect impacts upon the wider community. The aim of a HIA is to assess the potential impacts of a proposed development and identify appropriate actions to manage these impacts; highlighting ways to maximise the identified benefits and minimise any identified adverse impacts.
- 1.5 This HIA is structured as follows:
- **Section 2** reviews the policy framework and guidance that has informed the preparation of this HIA;
  - **Section 3** summarises the proposed development, including a description of the development site and application proposals;
  - **Section 4** outlines the methodology that has been applied to undertake the HIA, as informed by the relevant policy and guidance reviewed in Section 2. This section also summarises the results of the screening and scoping exercises that underpin the baseline conditions and health impact assessments;
  - **Section 5** assesses the baseline public health conditions within the proposed development’s area of influence. These conditions form the baseline from which the health impact assessment is undertaken;
  - **Section 6** assesses the potential health and wellbeing effects of the proposed development, and recommends appropriate mitigation, where needed; and
  - **Section 7** outlines the final conclusions and recommendations of the HIA.

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<sup>1</sup> <https://www.healthyrurbandevelopment.nhs.uk/wp-content/uploads/2019/10/HUDU-Rapid-HIA-Tool-October-2019.pdf>

<sup>2</sup> Quigley, R., den Broeder, L., Furu, P., Bond, A., Cave, B., and Bos, R. *Health Impact Assessment: International Best Practice Principles*, Special Publication Series No.5, 2006, International Association for Impact Assessment, [www.iaia.org](http://www.iaia.org)

## **2.0 POLICY FRAMEWORK AND GUIDANCE**

2.1 The importance of managing the effects of new development on the health and wellbeing of new and existing communities has been increasingly recognised in national and local planning policy and guidance.

2.2 This section summarises the national and local policy context relating to the promotion of health and the preparation of HIAs. This is followed by an overview of best practice guidance which has been used to inform the development of this HIA and the methodology developed in Section 3.

### **a) National Policy Context**

2.3 Whilst the National Planning Policy Framework (NPPF) does not make explicit reference to HIAs, they are identified in National Planning Practice Guidance (Paragraph 005, 'Healthy and Safe Communities') as a 'useful tool' for assessing the health impacts of developments where these are expected to be significant. The promotion of healthy and safe communities does, however, still form a key focus of the NPPF.

2.4 Achieving sustainable development is identified in the NPPF as a key tenet of the planning system; a specific objective of which is 'to support strong, vibrant and healthy communities' (Paragraph 8b).

2.5 Similarly, Paragraph 92 requires that planning policies and decisions aim to achieve healthy, inclusive and safe places which:

- a) 'promote social interaction, including opportunities for meetings between people who might not otherwise come into contact with each other – for example through mixed-use developments, strong neighbourhood centres, street layouts that allow for easy pedestrian and cycle connections within and between neighbourhoods, and active street frontages;
- b) are safe and accessible, so that crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion – for example through the use of clear and legible pedestrian routes, and high quality public space, which encourage the active and continual use of public areas; and
- c) enable and support healthy lifestyles, especially where this would address identified local health and well-being needs – for example through the provision of safe and accessible green infrastructure, sports facilities, local shops, access to healthier food, allotments and layouts that encourage walking and cycling.'

2.6 Planning decisions should also seek to provide the social, recreational and cultural facilities and services a community needs by supporting the delivery of local strategies to improve health, social and cultural wellbeing for all sections of the community (Paragraph 93).

2.7 Local planning authorities should ensure that there is a sufficient choice of school places available to meet the needs of new and existing communities (Paragraph 95), and that all planning decisions promote public safety (Paragraph 97).

2.8 Paragraph 98 also acknowledges the importance of maintaining access to a network of high quality open spaces and opportunities for sport and physical activity to ensure the health and wellbeing of communities.

2.9 In terms of achieving well-designed places, Paragraph 130 requires that planning decisions ensure that developments

'create places that are safe, inclusive and accessible and which promote health and wellbeing, with a high standard of amenity for existing and future users, and where crime and disorder, and the fear of crime, do not undermine the quality of life or

community cohesion and resilience.’

- 2.10 Finally, planning decisions should ensure that new development takes into account the likely effects of air and noise pollution on health and living conditions (Paragraph 185).

**b) Local Policy Context**

- 2.11 The Barnsley Local Plan was adopted in January 2019. This Plan contains a series of policies with which proposed developments are required to comply. The Barnsley Local Plan does not contain a specific policy related to health and wellbeing or HIA, however, the following policies contain references to supporting health and wellbeing.

- 2.12 Policy D1: High Quality Design and Place Making states:

‘Through its layout and design development should:

Contribute to place making and be of high quality, that contributes to a healthy, safe and sustainable environment.’

- 2.13 Policy AQ1 Development in Air Quality Management Areas states:

‘Development which impacts on areas sensitive to air pollution in air quality management areas will be expected to demonstrate that it will not have a harmful effect on the health or living conditions of any future users of the development in terms of air quality (including residents, employees, visitors and customers), taking into account any suitable and proportionate mitigation required for the development.’

- 2.14 Policy UT1 Hazardous Substances states:

‘We will not allow development within the defined hazardous substances consultation distances if it would result in an unacceptable risk to public health and safety, or to residential and other sensitive land uses.’

**c) HIA Guidance and Best Practice**

- 2.15 In addition to the Department of Health Guidance, a number of other useful toolkits and best practice guidance documents have been referred to in the preparation of this HIA. These include:

- Rapid Health Impact Assessment Tool (2019), NHS London Healthy Urban Development Unit
- Healthy Urban Planning Checklist (April 2017), NHS London Healthy Urban Development Unit
- A Review Package for Health Impact Assessment Reports of Development Projects (2009), Ben Cave Associates Ltd.
- Health Impact Assessment: A Practical Guide (2007), New South Wales Department of Health
- World Health Organisation (WHO) Health Impact Assessment Guidance website, <https://www.who.int/tools/health-impact-assessments>

### **3.0 PROPOSED DEVELOPMENT**

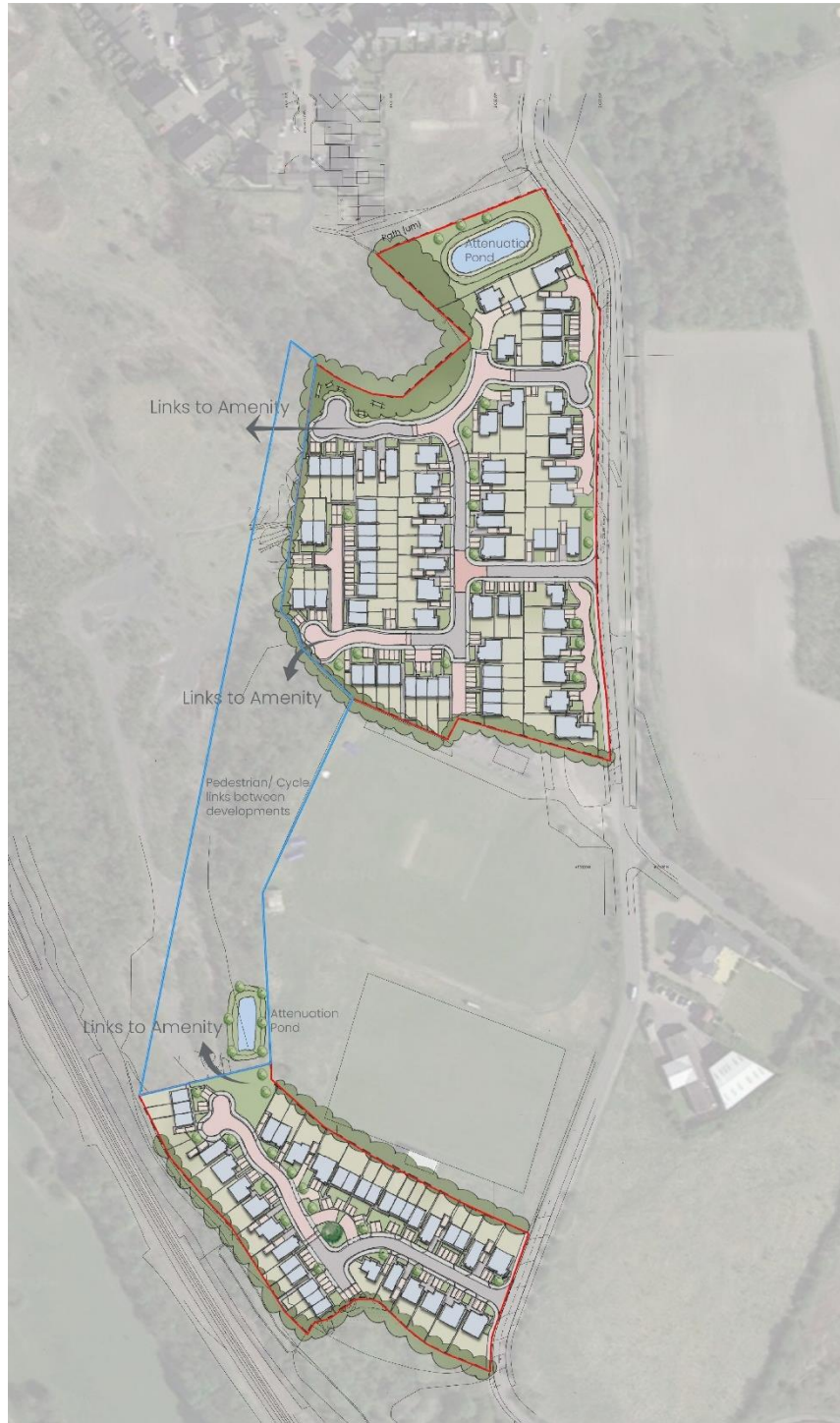
#### **a) Site description**

- 3.1 The application site is located immediately to the west of Woolley Colliery Road, in proximity of the village centre of Darton.
- 3.2 The site is split into two parts. The north side of the site is bound by woodland and residential properties to the north, Woolley Colliery Road, agricultural land and woodland to the east, Woolley Colliery Miners Welfare Ground to the south and Woolley Colliery Open Space to the west. The smaller south side of the site lies just to the south of the Welfare Ground (playing pitches). The site is bound by Woolley Colliery Road and grazing land to the east, Woolley Colliery Open Space / Fountain Square Green Space to the south and Woolley Colliery Open Space to the north-west.
- 3.3 An additional area of land adjacent to the site also falls under the control of the applicant and is intended to be utilised to improve connectivity between the northern and southern sites, provide sustainable drainage and deliver enhanced biodiversity.
- 3.4 The site was part of the former Woolley Colliery in the past and has not been reclaimed as concrete bases and service and drainage ducts remain. The site is therefore a brownfield previously developed site.
- 3.5 Both the north side and the south side of the site have existing access points from Woolley Colliery Road to the east.
- 3.6 The site is identified on the Environment Agency's Flood Map within Flood Zone 1, which places it within the lowest risk category for flooding. However, there are some strips and small areas of medium/high risk of surface water flooding in both the north and the south side of the site.
- 3.7 Part of the north and the south side of the site are located within a Development High Risk Area, where shallow coal mine workings are probable. According to the Coal Authority, there are mine entries / adits near the southern boundary of the site. Any potential risks associated with this will be fully assessed and addressed through the development process.

#### **b) Overview of development proposals**

- 3.8 The applicant is seeking outline planning permission for up to 115 dwellings on the site, with up to 75 dwellings on the northern site and up to 40 dwellings on the southern site.
- 3.9 The proposed development is for outline planning permission (ref. 2022/0619) with all matters reserved (except access), and broadly comprises:
- 73 dwellings, including 15 affordable houses on the northern site;
  - 37 dwellings, including 7 affordable houses on the southern site;
  - A new 5.5 m wide carriageway with either 2 m footways or grass verges / hard margins on both sides of the highway;
  - A minimum of two parking spaces, including one Electric Vehicle charging point per dwelling;
  - A 2 m wide footpath is proposed along the whole site frontage;
  - Associated public open space and other green infrastructure; and
  - A Sustainable Urban Drainage System.
- 3.10 The proposed layout of the site is shown in the masterplan in **Figure 1**.

**Figure 1. Proposed Masterplan**



## 4.0 METHODOLOGY

4.1 Based on the policy and guidance summarised in Section 2, this section outlines the different stages that have been applied in undertaking this HIA. It also identifies any constraints in preparing the HIA.

### a) Stage 1: Screening

4.2 A screening exercise was conducted using Table 1 of the document 'Department of Health: Health Impact Assessment Tools – Simple tools for recording the results of the Health Impact Assessment' (2010). The results of this screening exercise are outlined in **Table 1** below.

**Table 1. Results of Screening Exercise**

Screening Question	Response
Will the proposal have a direct impact on health, mental health and wellbeing?	Yes
Will the proposal have an impact on social, economic and environmental living conditions that would indirectly affect health?	Yes
Will the proposal affect an individual's ability to improve their own health and wellbeing?	No
Will there be a change in demand for or access to health and social care services?	Yes
Will the proposal have an impact on global health?	No

4.3 Based on the results of this screening exercise we therefore consider that a full HIA is required to meet best practice guidance.

### b) Stage 2: Scoping

4.4 A scoping exercise was undertaken to define the geographical, temporal and demographic scope of the HIA:

- **Geographical scope:** Given the type of development proposed (residential accommodation) it was determined that its potential impacts were likely to extend to the local housing market area. In terms of establishing a baseline position, this was assessed at the local ward (Darton East) and local authority area level, and then compared with the national picture.
- **Temporal scope:** Given the relatively large scale of the development, it was determined that the HIA would need to assess the potential impact of the proposed development during both the construction and future operational stages.
- **Demographic scope:** The demographic scope identifies groups of people (receptors) that are most likely to be impacted by the health outcome that has been identified, including people that live or work close to the site. It was therefore considered appropriate to assess the potential impacts upon the broad population groups that were most likely to be affected by the proposed development, including:
  - Current residents of surrounding neighbourhoods;
  - Future residents of the proposed housing development;
  - Users of Woolley Colliery Miners Welfare Ground (playing pitches) and open space adjoining the site; and
  - Owners of local businesses.

It is acknowledged that within each of these broad population groups there are other sub-groups, including those who may be more susceptible to particular health impacts.

These vulnerable populations include individuals who may be unduly affected by the proposed development, such as children, the elderly, the disabled and people of low socio-economic status. The potential impacts upon these vulnerable groups were also considered within the HIA.

**c) Stage 3: Baseline Conditions Assessment**

- 4.5 This stage established an evidence base from which the assessment of potential impacts upon health and wellbeing was undertaken. A baseline health and wellbeing profile was developed for the local area around the proposed development site (Darton East Ward) and the wider local authority area (Barnsley). This profile identified, where possible, inequalities between population groups, and made reference to wider determinants of health.
- 4.6 The evidence to inform this baseline conditions assessment was gathered from a variety of national and local sources, including for example:
- ONS Census data;
  - Public Health England – Health profiles;
  - Indices of Multiple Deprivation; and
  - Barnsley Local Plan examination evidence base documents.
- 4.7 The baseline conditions assessment also identified existing healthcare facility provision that is accessible from the proposed development site.

**d) Stage 4: Health Impact Assessment**

- 4.8 This stage identified and described the potential health effects of the proposed development, both positive and negative, assessed against each of the following health impact indicators (as defined in the HUDU Rapid Health Impact Assessment Matrix). A health impact indicator may be defined as any factor that has the potential to influence the health of an individual or population:
- Housing design and affordability;
  - Access to health and social care services and other social infrastructure;
  - Access to open space and nature;
  - Air quality, noise and neighbourhood amenity;
  - Accessibility and active travel;
  - Crime reduction and community safety;
  - Access to healthy food;
  - Access to work and training;
  - Social cohesion and inclusive design;
  - Minimising the use of resources; and
  - Climate change.
- 4.9 For each impact indicator the assessment includes:
- a) An assessment of whether each of the assessment criteria is relevant in the context of the proposed development;
  - b) A description of the details and evidence of the impact of the proposed development on the assessment criteria;
  - c) An assessment of the potential health impact of the proposed development (positive,

negative, neutral or uncertain); and

d) Any recommended mitigation or enhancement actions, in cases where a potential negative health impact is identified.

**e) Identified constraints in undertaking HIA**

4.10 Because this is an outline planning application, there are a number of details regarding the proposed development that are either unknown or unconfirmed at this stage. This has meant that the potential impact of the development, when assessed against certain criteria, cannot be determined with any degree of certainty. Where this is the case, an 'uncertain' impact has been recorded.

## 5.0 BASELINE CONDITIONS ASSESSMENT

5.1 It is envisaged that the residents of the proposed scheme will be typical of the existing population. Therefore, this section provides a baseline overview of the population and existing health and social care provision in the Darton East ward (in which the development site is located) and the wider Barnsley local authority area, which forms a basis from which the likely health impacts of the proposed development upon future and existing populations have been assessed.

5.2 This baseline conditions assessment is presented in two sections:

- a) **Community profile** – This section provides an overview of the demographic, economic and health profile within the existing local community in the vicinity of the development site. A community profile is an important part of a HIA because a proposed development is likely to have differential health impacts on a community dependent upon its current demographic, economic and health profile.
- b) **Existing healthcare provision** – This section summarises the existing level of provision of healthcare facilities in close proximity to the proposed development site that will be accessible by future residents.

### a) Community profile

5.3 Table 2 below show the population data for Darton East ward extracted from the 2001 and 2011 ONS Census data<sup>3</sup>. Unlike the wider district, which experienced a population increase between 2001 – 2011, the Darton East ward experienced a relative decline in population.

**Table 2. Population data for the Darton East ward in a National and sub national context**

	Darton East	Barnsley	England
<b>2001</b>	7,677	218,063	49,138,831
<b>2011</b>	7,642	231,221	53,012,456
<b>Percent Change</b>	-0.46%	6.03%	7.88%

Source: NOMIS

### i) Age Structure

5.4 The age structure for the Darton East ward, Barnsley, and England is summarised in Table 3 below. The age structure for Darton East is broadly consistent with district and national levels.

**Table 3. Age Structure in the Darton East ward in a national and sub national context**

Age	Darton East		Barnsley		England	
<b>0-19</b>	2,392	22%	54,287	23%	12,712,275	24%
<b>20-64</b>	6,393	60%	136,924	59%	31,639,652	60%
<b>65+</b>	1,891	18%	40,010	17%	8,660,529	16%
<b>Total</b>	<b>10,676</b>		<b>231,221</b>		<b>53,012,456</b>	

Source: ONS Census (2011)

<sup>3</sup> Whilst 2021 Census data is now available at the national and local authority level, this has not yet been published at the ward level. So for the purposes of consistency we have only made comparisons between the 2001 and 2011 Census data here.

## ii) Ethnic Groups

5.5 As reported in the 2011 Census, the ethnicity of the Darton East ward is predominantly white (98.0%). This is consistent with district levels (98.3%), but considerably higher the national average of 85.4%.

**Table 4. Ethnic Groups in Darton East ward in a National and sub-national context**

Ethnic Group	Darton East		Barnsley		England	
	Count	Percentage	Count	Percentage	Count	Percentage
White	7,488	98.0%	1,357	98.3%	45,281,142	85.4%
Mixed/multiple ethnic groups	60	0.8%	10	0.7%	1,192,879	2.3%
Asian/Asian British	62	0.8%	9	0.7%	4,143,403	7.8%
Black/African/Caribbean/Black British	14	0.2%	3	0.2%	1,846,614	3.5%
Other ethnic group	18	0.2%	2	0.1%	548,418	1.0%
<b>Total</b>		<b>7,642</b>		<b>1,381</b>		<b>53,012,456</b>

Source: ONS Census (2011)

## iii) Households

5.6 Table 5 below shows the number of households in the Darton East ward according to the 2001 and 2011 census returns. The percentage increase in households for the Darton East ward (3.8%) is significantly below the district and national average of 9.3% and 7.9% respectively.

**Table 5. Households in Darton East ward in a National and sub-national context**

	Darton East	Barnsley	England
2001	3,235	92,165	20,451,427
2011	3,358	100,734	22,063,368
Percent Change	3.8%	9.3%	7.9%

Source: NOMIS

## iv) Deprivation

5.7 The Indices of Multiple Deprivation (IMD) measures the deprivation in local authority areas in England. The 2019 IMD scores shows that Barnsley ranks as the 38<sup>th</sup> most deprived Local Authority District (out of 317 Local Authorities in England) making it amongst the 15% most deprived Local Authorities in England. However, in contrast, at a very local area, the Lower Layer Super Output Area<sup>4</sup> (LSOA) that the application site falls within is amongst the 50% least deprived neighbourhoods in the country, as shown in Table 6 below.

5.8 As such, at the very local scale, the site sits within an area of average deprivation, but at the district level sits within a local authority with high deprivation.

<sup>4</sup> These are small areas with the approximate population of 1,500 people and allow the identification of small pockets of deprivation

**Table 6. Deprivation at neighbourhood and district level**

Lower Layer Super-Output Area (LSOA)	Barnsley
The site falls within an area that ranks 17,527 out of 32,844 LSOAs in England	38th most deprived Local Authority District out of the 317 Local Authorities in England.
This is amongst the 50% least deprived neighbourhoods in the country.	This is amongst the 15% most deprived areas in England.

Source: *English Indices of Deprivation (2019)*

**v) Economic Activity**

5.9 Table 7 below shows the proportions of economic activity across the ward, district and country. The Darton East ward has a slightly higher proportion of economically active residents (61.5%) in comparison with the district level (59.1%) and slightly lower than national level (62.1%). Also, in terms of residents that are economically active but not working (i.e. are unemployed), the Darton East ward has a lower proportion (6.6%) in comparison to the district (7.4%) and national level (7.8%).

**Table 7. Economic activity at Darton East ward, district and national level**

	Darton East	Barnsley	England
Economically Active	61.5%	59.1%	62.1%
Economically Active - not working	6.6%	7.4%	7.8%
Economically Inactive	31.9%	33.5%	30.1%

Source: *NOMIS*

**vi) Health Indicators**

5.10 According to the ONS statistics on age standardised mortality rates (published 2021), residents in Barnsley had a mortality rate of 1357.3 for males and 1028.1 for females. This is slightly higher than the national age standardised mortality rate for England which is 1152.7 for males and 844 for females.

5.11 The table below shows people's self-assessment of their general state of health according to the 2011 ONS census returns. The self-assessment statistics illustrate that 75.5% of residents in the Darton East ward consider themselves to be in at least good health, this is lower than the national average of 81.4%.

**Table 8. General state of health**

	Darton East	Barnsley	England
Very good health	41.3%	41.6%	47.2%
Good health	34.2%	33.6%	34.2%
Fair health	16.8%	16.4%	13.1%
Bad or very bad health	7.7%	8.4%	5.5%

Source: *ONS Census (2011)*

**vii) Summary**

5.12 The general themes through the analysis of the local population profile are as follows:

- Although the total population of the district is increasing broadly in line with national levels, the Darton East ward has experienced a slight population decline.

- The age structure for the Darton East ward is broadly in line with the structure at a national level for all age categories.
- At the very local scale, the site sits within an area of relatively low deprivation, but at the district level sits within a local authority with high deprivation.
- Unemployment levels across Barnsley broadly in line with national levels. However in the Darton East ward unemployment is considerably below the national average.
- Health indicators across Barnsley are slightly worse than the national average and a lower percentage of the population in the Darton East ward consider themselves to be in at least good health when compared with the national average.

**b) Existing healthcare provision**

5.13 The following outlines the existing situation regarding access to the healthcare in accessible proximity to the site (postcode S75 5JE).

**i) Doctors surgeries**

5.14 The table below shows the doctor surgeries providing General Practitioner (GP) services that the site falls within the catchment area for and are within a 1.5 mile radius of the site. All of these facilities are accepting new patients and one of them (Darton Health Centre Practice) has a higher GP to patient ratio than the optimum (1:1800).

**Table 9. Doctors surgeries in close proximity to the site**

Practice Name and Post Code	Distance from site	Accepting new patients	Number of patients on roll	Number of GPs required to serve patients on roll
<b>Darton Health Centre Practice</b> Church Street, Darton, Barnsley, South Yorkshire, S75 5HQ	0.7 miles away	Yes	11,439	7
<b>Hill Brow Surgery Pms Practice</b> Long Croft, Mapplewell, Barnsley, South Yorkshire, S75 6FH	1 mile away	Yes	17,500	3

Source: NHS

**ii) Dental surgeries**

5.15 The table below shows the dental surgeries within 5 miles of the site and whether they are accepting NHS patients.

**Table 10. Dental surgeries in close proximity to the site**

Practice Name and Post Code	Distance from site	Accepting new NHS patients
Darton Dental Practice, Darton, S75 5HG	0.8 miles away	Yes
Nicholson, RS & Associate, Barnsley, S71 3AA	2.4 miles away	No
Hanson, Speakman & Associates, Barnsley, S75 1AA	2.7 miles away	Unknown
Crigglestone Dental & Implant Care, Crigglestone, WF4 3EF	3.1 miles away	Yes, on referral
Churchfield Dental Centre, Barnsley, S75 2AE	3.2 miles away	Yes
Yorkshire Smiles Limited, Barnsley, S70 2BB	3.3 miles away	Yes
Royston Dental Practice	3.4 miles away	Yes, on referral
Trinity House Orthodontics, Barnsley, S70 2SH	3.5 miles away	Unknown
Cale, A J & Associates, Barnsley, S70 6AB	3.6 miles away	Unknown
mydentist, Barnsley, S70 2RA	3.6 miles away	Yes
DENTECARE Ltd, Barnsley, S70 1AW	3.6 miles away	Yes, on referral
Gibbons, P R, Barnsley, S70 1RY	3.8 miles away	Yes, on referral
Queens Road Dental Care, Barnsley, S71 1AN	3.8 miles away	Yes, on referral
Holywell House, LE10 1HL	3.9 miles away	Yes, on referral
The Bungalow Dental Practice, Wakefield, WF4 4NQ	3.9 miles away	Unknown
Scissett dental practice, Huddersfield, HD8 9HR	3.9 miles away	Yes, on referral
Oaksmere Dental Surgery, Barnsley, S70 1TS	4.1 miles away	Yes
Warren House Dental Surgery, Barnsley, S70 4DE	4.2 miles away	No
Horbury Dental Care, Horbury, WF4 6LP	4.5 miles away	Yes, on referral
mydentist, Barnsley, S71 5PN	4.6 miles away	No
Rotherham NHS Foundation Trust, Barnsley, S72 8ST	4.7 miles away	Unknown
Cudworth Dental Surgery, Barnsley, S72 8SU	4.8 miles away	Yes
The Mount Dental Practice, Pontefract, WF4 2AL	4.9 miles away	Unknown
Genesis Dentalcare, Barnsley, S70 3PW	4.9 miles away	Yes

Source: <https://www.nhs.uk/nhs-services>

**iii) Pharmacies and opticians**

5.16 The tables below show that there are a number of pharmacies and one opticians within an accessible distance for the future occupiers of the proposed development site.

**Table 11. Pharmacies within close proximity of the site**

<b>Name and Post Code</b>	<b>Distance from site</b>
Darton Pharmacy, S75 5HQ	0.7 miles away
Gatehouse Pharmacy, S75 6FH	1 mile away
Rowlands Pharmacy. S75 6AL	1.1 miles away
Kexborough Pharmacy, S75 5EF	1.3 miles away
Barugh Green Pharmacy, S75 1LD	2 miles away

Source: <https://www.nhs.uk/nhs-services>

**Table 12. Opticians within close proximity of the site**

<b>Name and Post Code</b>	<b>Distance from site</b>
Morton, J R (Wakefield) Ltd, S75 5HG	0.8 miles away

Source: <https://www.nhs.uk/service>

**iv) Hospitals**

- 5.17 Barnsley Hospital is located 2.9 miles away from the application site. This hospital provides a comprehensive range of services including accident and emergency services.

## **6.0 HEALTH IMPACT ASSESSMENT**

6.1 The table below contains the results of the Health Impact Assessment for the proposed development at the Woolley Colliery Road site.

**Table 13. Health Impact Assessment**

**Housing Design and Affordability**

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal seek to meet all 16 design criteria of the Lifetime Homes Standard or meet Building Regulation requirement M4 (2)?	Yes	The details of the design of the properties does not form part of the current outline application as this will be determined at Reserved Matters stage. Therefore this criteria is not yet applicable.	Uncertain	Details to be determined at Reserved Matters stage.
Does the proposal address the housing needs of older people, ie extra care housing, sheltered housing, lifetime homes and wheelchair accessible homes?	Yes	The proposal does not include any specialist housing for older people. The details of the design of the properties does not form part of the current outline application as this will be determined at Reserved Matters stage.	Uncertain	Details to be determined at Reserved Matters stage.
Does the proposal include homes that can be adapted to support independent living for older and disabled people?	Yes	This is an outline application and therefore does not include details on adaptability of housing. The exact details of the design of the individual dwellings will be confirmed at Reserved Matters stage.	Uncertain	Details to be determined at Reserved Matters stage.
Does the proposal promote good design through layout and orientation, meeting internal space standards?	Yes	The proposed masterplan identifies a considered approach to design, scale, orientation of buildings and layout of the site.  Both parts of the site are accessed off Woolley Colliery Road. The layout of the site responds to local and national policy requirements and guidance.	Positive	No mitigation or enhancement actions required
Does the proposal include a range of housing types and sizes, including affordable housing responding to local housing needs?	Yes	The proposed site contains 54 three bed and 34 four bed market houses and 10 two bed and 12 three bed affordable houses.  The housing proposed is 2 bedroom to 5 bedroom properties and there will be a range of housing types and prices ranging from single person ownership to family dwellings. This will provide a	Positive	No mitigation or enhancement actions required

		<p>diverse age range and social background across the development.</p> <p>The site will include a mixture of property types and tenures, including a proportion of affordable housing, which will help to meet the identified affordable housing needs of the local housing market area population and reduce instances of overcrowding.</p> <p>This will have positive impacts on mental health and reduce exposure to other health risks associated with living in overcrowded accommodation.</p> <p>Through providing a range of housing types linked to population requirements, this will help improve quality of life for those groups currently living in unsuitable housing. By including a mixture of housing tenures, the proposed development will also help to increase social cohesion and equity.</p>		
<p>Does the proposal contain homes that are highly energy efficient (eg a high SAP rating)?</p>	<p>Yes</p>	<p>The exact details of the design of the individual dwellings will be confirmed at Reserved Matters stage.</p>	<p>Uncertain</p>	<p>Details to be determined at Reserved Matters stage.</p>

### Access to health and social care services and other social infrastructure

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal retain or re-provide existing social infrastructure?	No	The site is currently vacant brownfield land so retaining social infrastructure is not applicable. There is no new social infrastructure proposed on the site.	Neutral	No mitigation or enhancement actions required
Does the proposal assess the impact on health and social care services and have local NHS organisations been contacted regarding existing and planned healthcare capacity?	Yes	As it is an allocated site, any significant impact on NHS services would have been taken into account when the Local Plan was examined. Any required contributions will be determined during the application process.  As noted in the above baseline assessment, the doctors surgery in closest proximity to the site has sufficient provision and is currently accepting new patients. The impact on this criterion is therefore considered to be neutral.	Neutral	No mitigation or enhancement actions required
Does the proposal include the provision, or replacement of a healthcare facility and does the facility meet NHS requirements?	No	The proposal does not include the provision or replacement of a healthcare facility.	Neutral	No mitigation or enhancement actions required
Does the proposal assess the capacity, location and accessibility of other social infrastructure, e.g. primary, secondary and post 19 education needs and community facilities?	Yes	As identified in the Planning Statement submitted in support of the application, the site is located in close proximity to both Darton Primary School and Darton Academy. It is also within walking distance of other community facilities including shops, post office, doctors surgery, village hall, community centre, restaurants, churches and pharmacy located in Darton Village.	Neutral	No mitigation or enhancement actions required
Does the proposal explore opportunities for shared community use and co-location of services?	N/A	There are no community facilities proposed as part of this application.	Neutral	No mitigation or enhancement actions required

### Access to open space and nature

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal retain and enhance existing open and natural spaces?	Yes	<p>The north and eastern half of the northern part of the site contains species-rich grassland and the woodland. This will be retained and relocated within the site and off site on adjacent land that is controlled by the applicant.</p> <p>The development proposals also include new recreational pedestrian and cycling links to provide access to adjacent open space.</p> <p>The development proposals include the provision of new public amenity space, including a new village green located in the centre of the southern part of the site.</p>	Positive	No mitigation or enhancement actions required
In areas of deficiency, does the proposal provide new open or natural space, or improve access to existing spaces?	Yes	<p>Areas of public amenity space are provided within both parts of the site with the central amenity space of the southern part of the site functioning as a village green.</p> <p>Trees and hedgerows within the site are included in the proposal.</p> <p>The considered layout, including areas of landscaping and SUDS infrastructure, will provide a pleasant living environment that will enhance the mental health and wellbeing of residents, as well as promoting walkability and social cohesion.</p>	Positive	No mitigation or enhancement actions required
Does the proposal provide a range of play spaces for children and young people?	Yes	<p>The proposed development includes provision of new informal amenity greenspace which can be used by children and young people.</p> <p>To the north of the site there is an existing Local Equipped Area of Play (LEAP) which will be accessible by residents of the site.</p>	Positive	No mitigation or enhancement actions required

Does the proposal provide links between open and natural spaces and the public realm?	Yes	<p>Amenity space on the boundaries of the site link with the land outside of the allocation to provide a much wider area of informal open space.</p> <p>The development proposals also include new recreational pedestrian and cycling links to provide access to adjacent open space.</p>	Positive	No mitigation or enhancement actions required
Are the open and natural spaces welcoming and safe and accessible for all?	Yes	<p>The areas of open space both within and adjoining the development site will be accessible by residents via footpaths and cycleways that form part of the proposed site masterplan.</p> <p>There is opportunity to provide education boards/materials on the open areas relating to the history of the area. This will help with encouraging access to these spaces whilst also promoting local history and culture.</p>	Positive	No mitigation or enhancement actions required
Does the proposal set out how new open space will be managed and maintained?	Yes	The areas of amenity open space within the application site will be maintained and funded by a residents' management company with a managing agent.	Positive	No mitigation or enhancement actions required

### Air quality, noise and neighbourhood amenity

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal minimise construction impacts such as dust, noise, vibration and odours?	Yes	Site-specific mitigation measures have been proposed within the Air Quality Assessment that supports the application that will mean the risk of adverse effects due to dust emissions from the construction phase will not be significant.	Neutral	No mitigation or enhancement actions required
Does the proposal minimise air pollution caused by traffic and energy facilities?	Yes	The Air Quality Assessment that supports the application takes into account exhaust emissions from additional road traffic generated due to the proposed development. The annual assessment of the effects associated with the proposed development is determined to be 'negligible', therefore no further mitigation is required to protect future occupants.  The applicant has produced a transport assessment/travel plan to reduce pollution caused by traffic.	Neutral	No mitigation or enhancement actions required
Does the proposal minimise noise pollution caused by traffic and commercial uses?	Yes	The site is not located in an area in which residents would be subject to significant noise from traffic or commercial uses.  The Council's design guide will be used for the on site roads and therefore the proposal will meet the Council's standards for this matter. The proposed new footpath along the site frontage will also help to minimise traffic by encouraging travel on foot.  There will also be two new active junctions on to Wooley Colliery Road that will help to reduce existing traffic speeds.	Positive	No mitigation or enhancement actions required

### Accessibility and active travel

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal address the ten Healthy Streets indicators?	Yes	The masterplan layout for the proposed development addresses the Healthy Streets Indicators, for example by ensuring there are opportunities for people to walk, cycle and use public transport, people feel safe when walking through the development, and roads within the development are easy to cross.	Positive	No mitigation or enhancement actions required
Does the proposal prioritise and encourage walking, for example through the use of shared spaces?	Yes	New recreational pedestrian links will connect the north and south parts of the site, whilst also giving access to the adjacent open space.	Positive	No mitigation or enhancement actions required
Does the proposal prioritise and encourage cycling, for example by providing secure cycle parking, showers and cycle lanes?	Yes	Pedestrian and cycle links are to be provided through the amenity land that links the north and south parts of the site. Properties will also include garages or lockable sheds to allow for secure storage of bicycles.	Positive	No mitigation or enhancement actions required
Does the proposal connect public realm and internal routes to local and strategic cycle and walking networks?	Yes	There is a shared footpath and cycleway that runs along the eastern side of Woolley Colliery Road. This connects the site to Darton station.	Positive	No mitigation or enhancement actions required
Does the proposal include traffic management and calming measures to help reduce and minimise road injuries?	N/A	Traffic management and calming measures are not required as part of the proposed development.	Neutral	No mitigation or enhancement actions required
Is the proposal well connected to public transport, local services and facilities?	Yes	Darton station is between a 5 and 10 minute walk from the site. Barnsley Town Centre is a 30 minute journey on bicycle. Local amenities within walking distance include convenience store, post office, doctors surgery,	Positive	No mitigation or enhancement actions required

		<p>pharmacy, schools, sports grounds, village hall, church, public house and restaurants.</p> <p>There are three bus stops in the vicinity of the site that provide links to Barnsley Town Centre, Wakefield City Centre, Kexborough and Redbrook.</p>		
Does the proposal seek to reduce car use by reducing car parking provision, supported by the controlled parking zones, car clubs and travel plans measures?	Yes	<p>The proposed development seeks to reduce car use for local journeys by ensuring the site is sustainably located and pedestrian and cycle links to local services, bus stops and Darton Station are incorporated within the proposed development scheme. The houses proposed within the development also offer potential for home working, if desired, including broadband connections.</p> <p>The proposal also encourages use of sustainable travel modes by including one Electric Vehicle charging point per dwelling.</p> <p>The applicant is willing to provide a travel plan and future monitoring if required.</p>	Positive	No mitigation or enhancement actions required
Does the proposal allow people with mobility problems or a disability to access buildings and places?	Yes	<p>A 2 metre wide footpath is proposed along the whole site frontage.</p> <p>The design of individual buildings will be determined at Reserved Matters stage.</p> <p>Planning policy and building regulations will be adhered to, ensuring that dwellings and public realm are constructed to acceptable standards and gradients and therefore the proposal will meet these standards.</p>	Neutral	No mitigation or enhancement actions required

### Crime reduction and community safety

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal incorporate elements to help design out crime?	Yes	The proposal is designed to create natural surveillance within and beyond the site boundary. The site is currently a hotspot for anti-social activities such as fly tipping. Redeveloping this land for housing will therefore help to reduce crime in the area.	Positive	No mitigation or enhancement actions required
Does the proposal incorporate design techniques to help people feel secure and avoid creating 'gated communities'?	Yes	Garages and lockable sheds will be provided for secure bicycle storage. The design of the buildings will include active frontages, habitable windows at each floor level to both the front and rear and secure enclosed back to back gardens with lockable gates. Car parking spaces will be provided in the curtilage of buildings, allowing them to be overlooked from the dwelling. The dwellings will be installed with PIR dusk till dawn lighting to entry doors and PIR security light to rear amenity. There will also be wired alarms to each dwelling and garage.	Positive	No mitigation or enhancement actions required
Does the proposal include attractive, multi-use public spaces and buildings?	Yes	The southern part of the site includes an informal village green. Between the two parts of the site there will be a SUDS basin and area for informal recreation, footpath and cycleway. The accessible woodland amenity area between the two parts of the site will act as multi-use public space.	Positive	No mitigation or enhancement actions required
Has engagement and consultation been carried out with the local community and voluntary sector?	Yes	The landowner has been conducting regular meetings with local community group the Woolley Grange Residents Association who have provided comments and feedback during the evolution of the design of the proposal. Local residents and businesses were also notified on 17 <sup>th</sup> May 2022 of the intention to submit an outline planning application and were given the opportunity to provide comments and	Positive	No mitigation or enhancement actions required

		<p>feedback directly to the applicant prior to submission of the application.</p> <p>The applicant also notified Ward Members on 17<sup>th</sup> May 2022 of the intention to submit an outline planning application and provided information on the public consultation methodology. Ward Members were given the opportunity to provide comments and feedback directly to the applicant prior to submission of the application.</p> <p>Details of how this public consultation informed the development proposals are set out in the Statement of Community Involvement that was submitted as part of the application.</p>		
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### Access to healthy food

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal facilitate the supply of local food, for example allotments, community farms and farmers' markets?	No	No proposals for the supply or growing of food are incorporated within the proposed development.	Neutral	No mitigation or enhancement actions required
Is there a range of retail uses, including food stores and smaller affordable shops for social enterprises?	N/A	No retail uses are proposed as part of the development.	Neutral	No mitigation or enhancement actions required
Does the proposal avoid contributing towards an over-concentration of hot food takeaways in the local area?	Yes	No hot food takeaways are proposed within the development site.	Neutral	No mitigation or enhancement actions required

### Access to work and training

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal provide access to local employment and training opportunities, including temporary construction and permanent 'end-use' jobs?	Yes	The site will provide temporary employment during the construction phase.  Local employment opportunities, including in Barnsley town centre, can be easily accessed from the application site via car, train (from Darton station) or via the bus services that run in close proximity to the site.	Positive	No mitigation or enhancement actions required
Does the proposal provide childcare facilities?	No	As this is a residential scheme, no childcare facilities are proposed as part of the development.	Neutral	No mitigation or enhancement actions required
Does the proposal include managed and affordable workspace for local businesses?	No	As this is a residential scheme, no workspaces are proposed as part of the development.	Neutral	No mitigation or enhancement actions required
Does the proposal include opportunities for work for local people via local procurement arrangements?	Yes	There are likely to be employment opportunities for local people provided during the construction phase of development.	Positive	No mitigation or enhancement actions required

### Social cohesion and inclusive design

Assessment criteria	Relevant?	Details/evidence	Potential healthimpact?	Recommended mitigation or enhancement actions
Does the proposal consider health inequalities by addressing local needs through community engagement?	Yes	Engagement with local community groups and Ward Members was undertaken as part of the pre-application process. Residents had opportunity at this stage to raise any concerns regarding local health needs. Such comments are detailed in the Statement of Community Involvement that supports the application.	Neutral	No mitigation or enhancement actions required
Does the proposal connect with existing communities, i.e. layout and movement which avoids physical barriers and severance and land uses and spaces which encourage social interaction?	Yes	Connectivity with existing residential communities to the north and south has been considered in the application, including through the retention and enhancement of the existing footpath to the east of the site.  The Transport Assessment finds that pedestrians and people with disabilities and reduced mobility can access Darton Station and Darton Primary School by using the existing footpath.	Positive	No mitigation or enhancement actions required
Does the proposal include a mix of uses and a range of community facilities?	No	The application is for residential development only, however the site is located within walking distance of a range of community facilities (including those in Darton Village to the south) which will be easily accessible by future residents of the development site.	Neutral	No mitigation or enhancement actions required
Does the proposal provide opportunities for the voluntary and community sectors?	No	The application is for residential development only, however through the creation of a new community there will be opportunity for residents to engage in local community activities, such as those located at	Neutral	No mitigation or enhancement actions required

		<p>nearby Darton Village Hall and Darton Darby &amp; Joan Community Centre.</p> <p>The development will allow for potential increased members of local residents' association and football/cricket club.</p>		
Does the proposal take into account issues and principles of inclusive and age-friendly design?	Yes	<p>The footpaths within the development site will be suitable for access by wheelchair users.</p> <p>The design of individual buildings will be determined at Reserved Matter stage.</p>	Uncertain	Detailed design to be determined at Reserved Matters stage.

### Minimising the use of resources

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal make best use of existing land?	Yes	The site is currently vacant, brownfield land and its proposed development therefore represents a sustainable use of land.  The design of the proposal includes a mix of unit types and sizes which are efficiently laid out to provide appropriate density, parking facilities, sustainable drainage, private amenity areas and public amenity areas whilst considering the site's constraints	Positive	No mitigation or enhancement actions required
Does the proposal encourage recycling, including building materials?	Yes	During the construction phase, the application proposal encourages sustainable construction methods and the re-use of materials where feasible.  Recycle bin storage will be provided for individual as part of the detailed design, to be determined at Reserved Matters stage.	Positive	No mitigation or enhancement actions required
Does the proposal incorporate sustainable design and construction techniques?	Yes	During the construction phase, the application proposal encourages sustainable construction methods.	Positive	No mitigation or enhancement actions required

## Climate change

Assessment criteria	Relevant?	Details/evidence	Potential health impact?	Recommended mitigation or enhancement actions
Does the proposal incorporate renewable energy?	Yes	<p>As determined by Part L of the 2021 Building Regulations, renewable technologies or low carbon heating are required in order to ensure compliance with the Regulations. The type of provision to be incorporated within the development will be determined at Reserved Matters stage, however is likely to include photovoltaic panels.</p> <p>An EV charging point is also proposed for each dwelling which will encourage increased use of electric and hybrid vehicles and reduce fuel consumption.</p>	Positive	No mitigation or enhancement actions required
Does the proposal ensure that buildings and public spaces are designed to respond to winter and summer temperatures, for example ventilation, shading and landscaping?	Yes	<p>The construction specification of every home will include high levels of insulation in the ground floor, external walls and roof spaces. A masonry specification will deliver homes with a high level of thermal mass. This will enable each home to act as a store of heat during cold periods and conversely assist in cooling in warm periods.</p>	Positive	No mitigation or enhancement actions required
Does the proposal maintain or enhance biodiversity?	Yes	<p>Biodiversity Net Gain will be delivered as part of the proposed development.</p> <p>The Preliminary Ecological Appraisal recommends that tree and grass loss is offset by replacement trees and grass on the land between the two parts of the site.</p> <p>Species rich hedgerows will be planted throughout the site and new green spaces will be enhanced through creating wildflower meadows.</p> <p>The indicative layout shows how trees and native hedgerows could be planted within the scheme.</p>	Positive	No mitigation or enhancement actions required

Does the proposal incorporate sustainable urban drainage techniques?	Yes	SUDS are proposed for the site in the form of an on-site pond/basin for the north part and an offsite pond/basin for the south part of the site.  The final design of the SUDS are to be agreed at the Reserved Matters stage of the development process.	Positive	No mitigation or enhancement actions required
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## 7.0 CONCLUSIONS AND RECOMMENDATIONS

7.1 As summarised in the following table, the HIA identified that, where known, most of the potential health impacts of the proposed development are expected to be either positive or neutral.

Health Impact Indicator	HIA Summary
Housing design and affordability	Positive
Access to health and social care services and other social infrastructure	Neutral
Access to open space and nature	Positive
Air quality, noise and neighbourhood amenity	Neutral
Accessibility and active travel	Positive
Crime reduction and community safety	Positive
Access to healthy food	Neutral
Access to work and training	Positive
Social cohesion and inclusive design	Positive
Minimising the use of resources	Positive
Climate change	Positive

7.2 Measures to remove or mitigate some potential adverse health impacts have already been incorporated within the development proposals or will be agreed as part of the application process, including any potential contributions that may be required e.g. in relation to healthcare or education provision. On this basis of this assessment the overall health impact of the proposed development is considered to be positive.

7.3 It is recommended that this HIA continues to be reviewed throughout the development process and is used to inform subsequent detailed planning permissions, to ensure that any potential negative health and wellbeing impacts of the proposed development continue to be minimised, and beneficial impacts maximised.

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