

2025/0206

The McLennan Partnership Ltd

19 Kings Road, Wombwell, Barnsley, S73 0JE

External works to building including roof refurbishment, replacement of existing windows, curtain walling and doors

Site Description

The application site is located on Kings Road, Wombwell and sits on the corner joined with Margret Road. The building is currently occupied by the Department for Work and Pensions (DWP) and is used as a job centre. The surrounding area is predominantly made up of residential dwellings, which are red brick and/or partially pebbledash/rendered with white uPVC windows. The host building is buff brick, with what appears to be large uPVC windows with blue panels above/beneath. The site is enclosed with a low brick wall and grey railings above, there is a gate across the vehicular entrance which leads to the car park on the north eastern side of the site.

Planning History

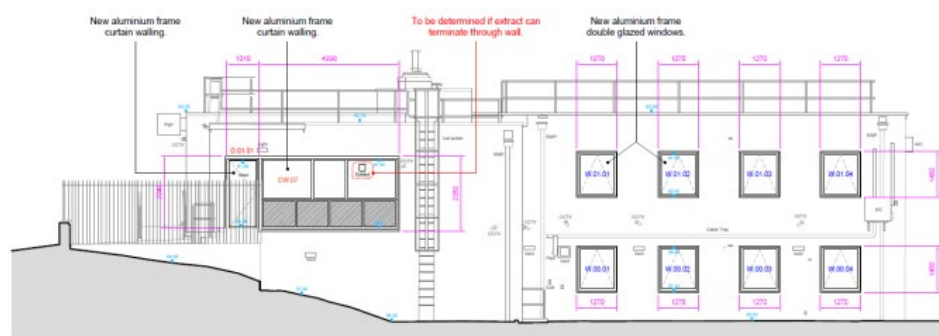
2005/1639 - Display of illuminated and non-illuminated signs to Job Centre – Approved November 2005

Proposed Development



BUILDING ELEVATION 01 (NORTH / EAST) - AS PROPOSED

1:100 @ A1



BUILDING ELEVATION 02 (SOUTH / EAST) - AS PROPOSED

1:100 @ A1

The applicant is seeking permission for minor alterations including the replacement of windows, doors, curtain walling, and roof upgrades to improve the energy efficiency of the building and enhance its visual appearance.

Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The development plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at the full Council meeting on 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027 or earlier if circumstances, require it.

Local Plan Allocation – Urban Fabric - Land within the Settlement with no specific allocation.

To the extent that development plan policies are material to an application for planning permission the decision on the application must be taken in accordance with the development plan unless there are material considerations that indicate otherwise (section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004). In reference to this application, the following policies are relevant:

Policy SD1: Presumption in favour of Sustainable Development – States that proposals for development will be approved where there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land. Policy GD1 below will be applied to all development.

Policy GD1: General Development – Development will be approved if there will be no significant adverse effect on the living conditions and residential amenity of existing and future residents. Development will be expected to be compatible with neighbouring land and will not significantly prejudice the current or future use of neighbouring land.

Policy D1: High quality design and place making – Development is expected to be of a high-quality design and will be expected to respect, take advantage of and reinforce the distinctive, local character and other features of Barnsley.

Policy CC1: Climate Change – Seeks to reduce the causes of and adapt to the future impacts of climate change.

Policy CC2: Sustainable Design and Construction – aims to minimise resource and energy consumption through the inclusion of sustainable design and construction features in new developments.

Supplementary Planning Documents:

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019.

The most pertinent SPD's in this case are:

- Residential amenity and the siting of buildings
- Sustainable construction and climate change adaptation

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- Section 12: Achieving well designed places
- Section 14: Meeting the challenge of climate change, flooding and coastal change

Consultations

The application has been advertised in accordance with Article 15 of the Town and Country Planning Development Management Procedure (England) Order 2015.

Wombwell Ward Councillors were consulted and raised no objections.

Representations

Neighbour notification letters were sent to surrounding properties. One letter of objection was received raising concerns with regards to construction noise and disturbance.

Assessment

The main issues for consideration are as follows:

- The acceptability of the alterations
- The impact on visual amenity and character
- The impact on neighbouring residential properties
- The impact on highways safety
- Consideration of representations

For the purposes of considering the balance in this application the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

The application site is located in Wombwell with the immediate surrounding area being predominantly residential properties. The proposed development is to modernise the existing facility without changing how it operates. The alterations comprise:

- 15no. timber frame single glazed windows (frame colour white); to be replaced with aluminium frame double glazed windows (frame colour white).
- 3no. external solid timber plant room doors (door colour grey); to be replaced with aluminium frame solid external doors (door colour grey blue).
- 1no. external solid fire escape door (door colour grey); to be replaced with solid external fire escape door (door colour grey blue).
- Approximately 160m² of aluminium frame curtain walling (frame colour white, blanking panel colour blue); to be replaced with aluminium frame curtain walling with double glazed window inserts (frame colour white, blanking panel colour grey blue).
- Roof covering and insulation upgrade covering approximately 345m².
- A refresh of the paint finish to the rear elevation, existing colour is white and will be refreshed with a new coat of white.

The use of the site will remain the same and the proposals solely seek to improve the appearance and energy efficiency of the building which is supported by policies CC1 and CC2. As such the proposal is acceptable in principle provided it meets the general design policies GD1 and D1. This weighs significantly in favour of the proposal.

Visual Amenity and Character

There will be no harmful impact to visual amenity character of the local area from the proposed alterations. The materials proposed will integrate seamlessly with the existing building and wider surroundings.

The form of the existing building will be retained with the altered windows/doors remaining in the same positions. There is to be no significant change to the outside of the property therefore the visual amenity of the street scene is not expected to be compromised. The proposal is therefore acceptable in terms of visual amenity and impact upon the street scene in accordance with the policies GD1 and D1 of the Local Plan. This weighs significantly in favour of the proposal.

Residential Amenity

There will be no significantly detrimental impact upon residential amenity. It appears from the plans that there will be no new windows inserted and that the positionings of the replacement windows will remain the same as existing and therefore the separation distances are maintained.

Similarly, the proposed fire door will directly replace the existing door therefore it's unlikely there will be any additional disturbance to neighbouring properties. The proposal is considered to be in compliance with Local Plan Policy GD1: General Development and is acceptable in terms of residential amenity. This weighs significantly in favour of the proposal.

Highway Safety

There will be no impact upon highway safety. Given that there will be no changes to the access nor any changes to the internal parking layout, there are no objections from a highway's perspective. This weighs significantly in favour of the proposal.

Representations

One representation has been received from a member of the public. The representation raises concerns with regards to construction noise, particularly in the daytime in the summer months when they work from home and have the windows open. The nature of the alterations proposed are minor

and therefore is not considered to cause significant noise disruption, whilst it is inevitable that some noise would occur this is necessary to complete the upgrade works. Construction hours will be limited via condition to ensure there is as least disruption as possible.

Conclusion

Having balanced all material planning considerations, the proposal will not be significantly harmful to residential and visual amenity, nor will it negatively impact upon highway safety. As a consequence, the positive aspects of the proposal outlined above are not outweighed by any other material planning considerations. The proposal is therefore, on balance, recommended for approval.

Recommendation

Approve with conditions