

Application Reference Number:	2025/0617		
Application Type:	Advertisement Consent.		
Proposal Description:	Display of 2no. fascia signs.		
Location:	Asda, Old Mill Lane, Barnsley, S71 1LN.		
Applicant:	Mr James Tomassoni (COSTA COFFEE).		
Third-party representations:	None.	Parish:	
		Ward:	Old Town.

Summary:

The applicant is seeking advertisement consent for the display of two fascia signs on the south-east elevation of the supermarket close to the store entrance. The 'COSTA COFFEE' signage would have a new costa red and white colour scheme with a maximum illuminance level of 250 cd/m².

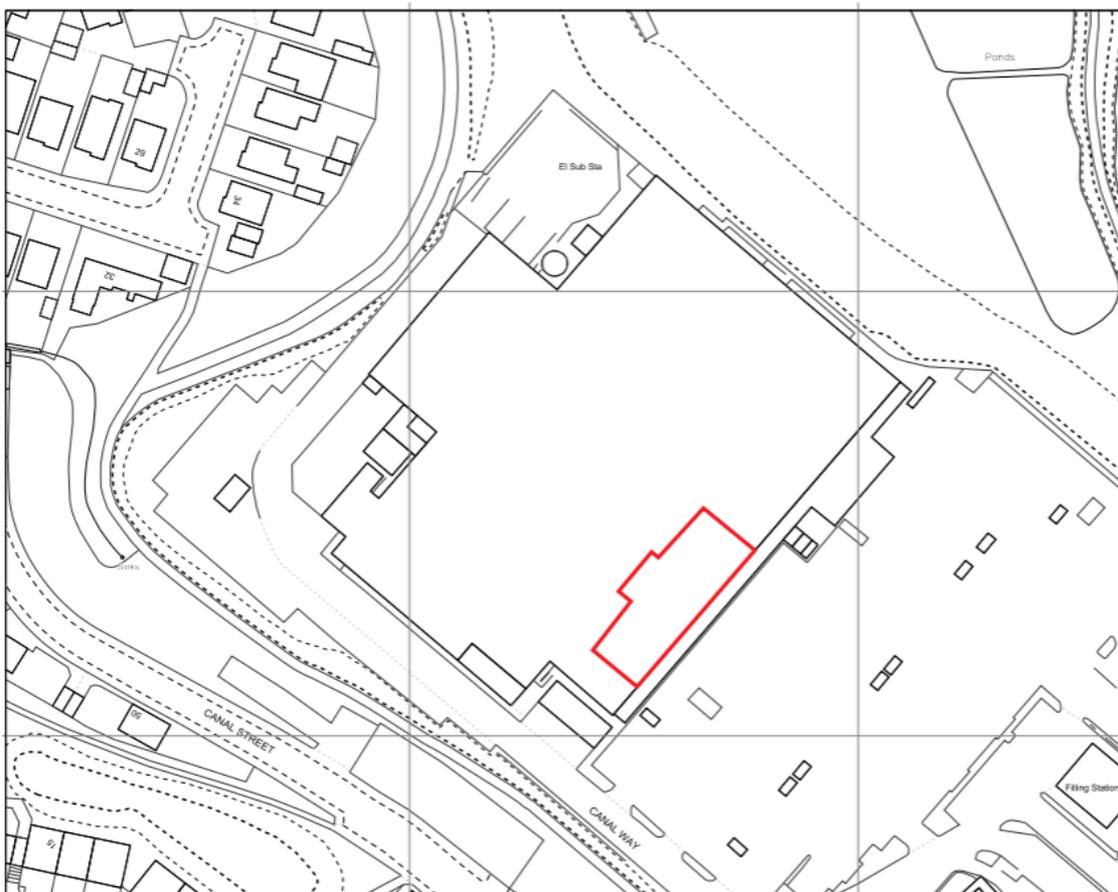
The site falls within urban fabric as allocated by the adopted Local Plan. Development comprising the erection of signage is considered acceptable in principle if it would be appropriate in scale and respectful of local character. Any proposal will also be expected to demonstrate that it is not likely to result, directly or indirectly, in an increase in light or other pollution which would otherwise unacceptably affect or cause nuisance to the natural and built environment or to people.

The proposal would have no adverse impact on highway safety, residential or visual amenity and is considered acceptable in policy terms. The proposal is therefore considered to be an acceptable and sustainable form of development in accordance with Section 2 of the National Planning Policy Framework (NPPF, 2024), and advertisement consent should be granted subject to conditions.

Recommendation: **APPROVE subject to conditions.**

Site Description

This application relates to the ASDA supermarket located off the Old Mill Lane roundabout and within an area that is a mix of residential and commercial uses. The wider site comprises the supermarket, car park, drive thru restaurant and petrol filling station. The Barnsley Retail and Twibell Street Trade Parks are located to the east and south-east. The roundabout encircles a B&M store, and residential developments are located to the west and north-west. The River Dearne and Fleets Dam are located to the north and east. The supermarket and surrounding and nearby commercial premises benefit from various signage of varying scale and appearance.



Planning History

There is an extensive planning history associated with the development site, but the most recent and relevant application is:

Application Reference	Description	Status
2017/0887	Internally illuminated free standing totem sign at filling station and 7no non illuminated adverts within supermarket site.	Approved.

Proposed Development

The applicant is seeking advertisement consent for the display of two fascia signs on the south-east elevation of the supermarket close to the store entrance. The 'COSTA COFFEE' signage would have a new costa red and white colour scheme with a maximum illuminance level of 250 cd/m².

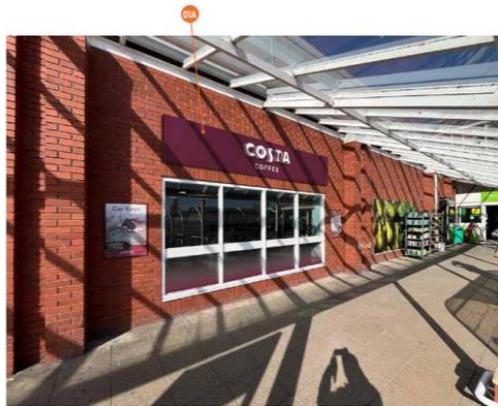
PLANNING DRAWING - PROPOSED SIGNAGE



FRONT ELEVATION (Part) Scale 1:100 @ A3



PLANNING DRAWING - PROPOSED SIGNAGE



Relevant Policies

The Development Plan

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires development proposals to be determined in accordance with the development plan unless material considerations indicate otherwise. The Development Plan for Barnsley consists of the Barnsley Local Plan (adopted January 2019).

The Local Plan review was approved at a full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering on its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review, which is due to take place in 2027, or earlier, if circumstances require it.

The development site is allocated as urban fabric within the adopted Local Plan which has no specific allocation. The following Local Plan policies are relevant in this case:

- *Policy SD1: Presumption in favour of Sustainable Development.*
- *Policy D1: High quality design and place making.*
- *Policy GD1: General Development.*
- *Policy POLL1: Pollution Control and Protection.*
- *Policy T4: New Development and Transport Safety.*

National Planning Policy Framework (NPPF) and the National Planning Practice Guidance

In December 2024, the Government published a revised NPPF which is the most recent revision of the original Framework, first published in 2012 and updated several times, providing the overarching planning framework for England. The NPPF sets out the Government's planning policies for England and how they are expected to be applied. The NPPF must be taken into account in the preparation of local and neighbourhood plans and is a material consideration in planning decisions. The revised document has replaced the earlier planning policy statements, planning policy guidance and various policy letters and circulars, which are now cancelled.

Central to the NPPF is a presumption in favour of sustainable development (paragraph 10) and plans and decisions should apply this presumption in favour of sustainable development (paragraph 11). There are three dimensions to sustainable development: economic, social and environmental; each of these aspects are mutually dependent. The following NPPF sections are relevant in this case:

- *Section 12: Achieving well designed places.*

The National Design Guidance (2019) is a material consideration and sets out ten characteristics of well-designed places based on planning policy expectations. A written ministerial statement states that local planning authorities should take this guidance into account when taking decisions.

Supplementary Planning Guidance

In line with the Town and Country Planning (Local Planning) (England) Regulations 2012, Barnsley has adopted twenty-eight Supplementary Planning Documents (SPDs) following the adoption of the Local Plan in January 2019. The following SPDs are relevant in this case:

- *Advertisements (Adopted May 2019).*

The adopted SPDs should be treated as material considerations in decision making and are afforded full weight.

Consultations

Whilst there is no statutory requirement for local planning authorities (LPA) to publicise applications for advertisement consent, an LPA should consider whether any application would affect the amenity of neighbours. Where it would affect them, it is good practice for the views of neighbours to be sought before determining an application.

This application has been advertised on the Council website, and a site notice was placed nearby, expiring 22nd August 2025. No representations have been received.

Pollution Control	<i>No objection.</i>
Local Ward Councillors	<i>No comments received.</i>

Planning Assessment

For the purposes of considering the balance in this application, the following planning weight is referred to in this report using the following scale:

- Substantial
- Considerable
- Significant
- Moderate
- Modest
- Limited
- Little or no

Principle of Development

The development site falls within urban fabric as allocated by the adopted Local Plan. Development comprising the erection of signage is considered acceptable in principle if it would be appropriate in scale and respectful of local character. Any proposal will also be expected to demonstrate that it is not likely to result, directly or indirectly, in an increase in light or other pollution which would otherwise unacceptably affect or cause nuisance to the natural and built environment or to people.

Impact on Visual Amenity

The proposed signage would be attached to an existing supermarket building within an established commercial area characterised by many uses with various signage of varying scale and appearance. The proposal would not result in an aggressively commercial appearance and would only be limited to what is necessary to identify the premises comprising corporate branding and adopting a modest maximum illuminance level that would be appropriate for its setting.

Considering the above, this is considered to weigh moderately in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy D1: High Quality Design and Placemaking and is considered acceptable regarding visual amenity.

Impact on Residential Amenity

Whilst residential developments bound the supermarket site to the west and north-west, the signage would be installed on an existing supermarket building within an established commercial site that is well-screened by significant vegetation. The proposal would not therefore significantly detrimentally impact on existing amenity levels.

Considering the above, this is considered to weigh modestly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy GD1: General Development and Local Plan Policy POLL1: Pollution Control and Protection and is considered acceptable regarding residential amenity.

Impact on Highways

The proposed signage is not considered to be prejudicial to highway safety because it would adopt an illuminance level well within maximum levels and would adopt a modest scale and appropriate placement above the minimum head height above the ground.

Considering the above, this is considered to weigh modestly in favour of the proposal.

The proposal is therefore considered to comply with Local Plan Policy T4: New Development and Transport Safety and is considered acceptable regarding highway safety.

Planning Balance and Conclusion

In accordance with the provision of paragraph 11 of the NPPF (2024), the proposal is considered in the context of the presumption in favour of sustainable development and therefore, for the reasons given above, and taking all other matters into consideration, the proposal complies with the relevant local and national planning policies and guidance. Advertisement consent should be granted subject to necessary conditions.

RECOMMENDATION: Approve subject to conditions.

Justification

Statement of compliance with Article 35 of the Town and Country Development Management Procedure Order 2015.

It has not been necessary to make contact with the applicant to request amendments to the proposal during the consideration of this application, as it was deemed acceptable.

Due regard has been given to Article 8 and Protocol 1 of Article 1 of the European Convention for Human Rights Act 1998 when considering representations, the determination of the application and the resulting recommendation. It is considered that the recommendation will not interfere with the applicant's and/or any objector's right to respect for his private and family life, his home and his correspondence.

Conditions:

1. The development hereby approved shall be carried out strictly in accordance with the plans:

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and specifications as approved unless required by any other conditions in this permission.

Reason: In the interests of the visual amenities of the locality and in accordance with Local Plan Policy D1 High Quality Design and Place Making.

2. The signage hereby permitted shall not exceed the proposed maximum illuminance levels of 250 cd/m².

Reason: In the interests of visual amenities of the locality and to reduce or remove adverse impacts on health and the quality of life, especially for people living and/or working nearby and in accordance with Local Plan Policies D1 High Quality Design and Place Making and POLL1 Pollution Control and Protection.

Informative(s):

1. The granting of planning permission does not in any way infer that consent of the landowner is given. Therefore, the consent of all relevant landowners is required before proceeding with any development, including that of the Council as landowner.

If it should transpire that the applicant does not own any of the land included in this consent, then it is the responsibility of the applicant to seek all necessary consents and approvals of the landowner.