
2024/0388

Mr Dominic Turton

5 Moor Green Close, Pogmoor, Barnsley, S75 2JZ

Removal of existing conservatory and erect rear extension.

This application is being brought before members as the applicant is an employee of the Council.

Site Description

The application relates to a plot located to the end of and on the west side of Moor Green Close – a residential cul-de-sac in an area that is principally residential characterised by a mix of dwelling types of varying scale and appearance.

The property in question is a detached bungalow of a red brick construction. The property has a pitched roof with a street-facing gable with grey coloured roof tiles. To the north side is an existing flat roof detached garage and to the rear is an existing conservatory. The property is fronted by a mix of soft and hard landscaping with a garden to the rear.



Planning History

There is one previous planning application associated with this site.

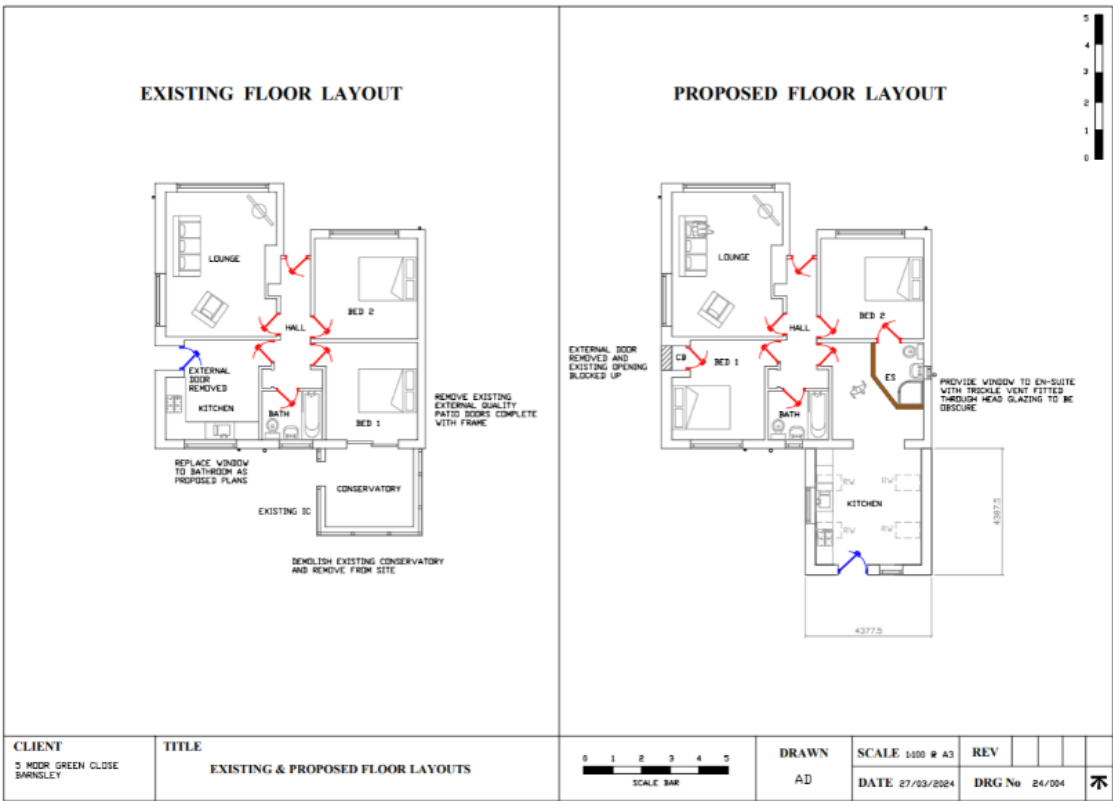
- 1. B/75/2765/BA – Outline for erection of two dwelling units. – Refused.

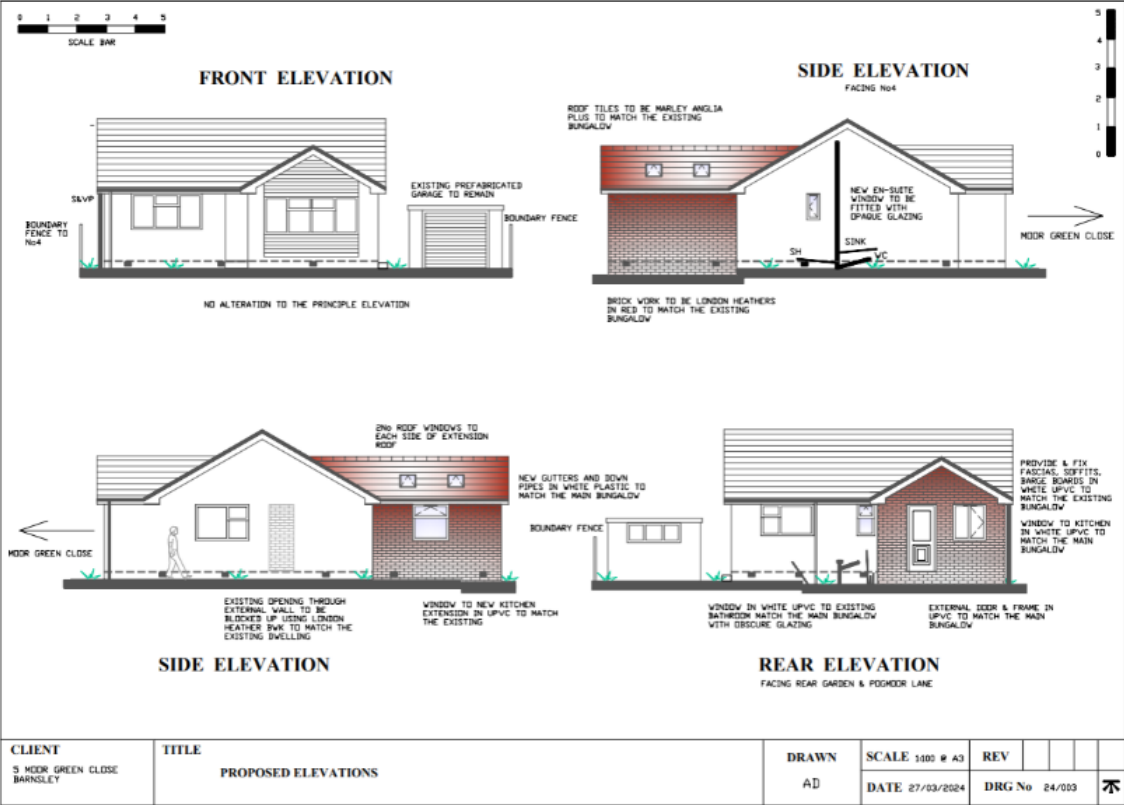
Proposed Development

The applicant is seeking permission for the removal of an existing rear conservatory and the erection of a single storey rear extension.

The proposed extension would have a rearward projection of approximately 4.4 metres and a width of approximately 4.4 metres. The extension would adopt a gable roof with an approximate eaves and ridge height of 2.8 metres and 4.4 metres respectively. The extension would be constructed of materials that would closely match those used in the external construction of the existing building.

An existing external door to the north elevation of the existing dwelling would be removed and blcoked up. There would be some minor internal alterations with a new window to the south elevation of the existing dwelling which would be obscure glazed.





Policy Context

Planning decisions should be made in accordance with the current development plan policies unless material considerations indicate otherwise; the National Planning Policy Framework (NPPF) does not change the statutory status of the development plan as the starting point for decision making. The Local Plan was adopted in January 2019 and is now accompanied by seven masterplan frameworks which apply to the largest site allocations (housing, employment, and mixed-use sites). In addition, the Council has adopted a series of Supplementary Planning Documents and Neighbourhood Plans which provide supporting guidance and specific local policies which are a material consideration in the decision-making process.

The Local Plan review was approved at the full Council meeting held 24th November 2022. The review determined that the Local Plan remains fit for purpose and is adequately delivering its objectives. This means, no updates to the Local Plan, in whole or in part, are to be carried out ahead of a further review. The next review is due to take place in 2027, or earlier, if circumstances require it.

Local Plan Allocation – Urban Fabric

The site is allocated as urban fabric in the adopted Local Plan which has no specific land allocation. Therefore, the following policies are relevant:

- ***Policy SD1: Presumption in favour of Sustainable Development.***
- ***Policy GD1: General Development.***
- ***Policy D1: High quality design and place making.***
- ***Policy T4: New Development and Transport Safety.***

Supplementary Planning Document(s)

- ***House Extensions and Other Domestic Alterations.***
- ***Parking.***

National Planning Policy Framework

The NPPF sets out the Government's planning policies and how these are expected to be applied. The core of this is a presumption in favour of sustainable development. Proposals that align with the Local Plan should be approved unless material considerations indicate otherwise. In respect of this application, relevant policies include:

- ***Section 12: Achieving well-designed and beautiful places.***

Other Material Considerations

- ***South Yorkshire Residential Design Guide 2011.***

Consultations

No consultees were consulted on this application.

Representations

Neighbour notification letters were sent to surrounding properties. No representations were received.

Assessment

Principle of Development

Extensions and alterations to a domestic property are acceptable in principle provided that they would remain subservient to the host property, are of a scale and design which is appropriate to the host property and are not detrimental to the amenity afforded to adjacent properties, including visual amenity and highway safety.

Residential Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they would not adversely affect the amenity of neighbouring properties.

The proposed extension would be erected adjacent to the southern boundary and to the north of 4 Moor Green Close. Extensions located to the north of adjacent neighbouring properties are likely to have a lesser impact regarding overshadowing than those located to the south. Nevertheless, it is acknowledged that the proximity of the extension to the party boundary could contribute to some overshadowing. However, the extension would adopt a scale similar to that of an existing rear conservatory and would therefore be likely to have a similar level of impact to that which could exist and be experienced and tolerated. The neighbouring property is also set in from the party boundary and therefore any potential impact would likely be limited to a driveway and not principal habitable room windows. Adjacent neighbouring properties were consulted on the proposal and no objections were received.

New windows would be located on the north and west elevations of the proposed extension and the south elevation of the existing dwelling. The north-facing window on the extension would face towards the blank gable elevation of 8 Pogmoor Lane. The west-facing window on the extension would face towards Pogmoor Lane and the neighbouring properties opposite. Existing trees either side of Pogmoor Lane could continue to provide an acceptable level of screening and in any case, there is no policy requirement to provide specific separation distances in relation to ground floor windows of single storey extensions. The south-facing window on the existing dwelling would face the side elevation of 4 Moor Green Close and would be obscure glazed. To ensure that a reasonable level of privacy is maintained for the occupant(s) of both the application and neighbouring properties, a condition will be attached to any forthcoming decision requiring the new south-facing window on the south elevation of the application property to be obscure glazed.

The proposal is therefore not considered to result in significantly increased levels of overshadowing, overlooking or reduced levels of outlook and is considered to comply with *Local Plan Policy GD1: General Development* and would be acceptable regarding residential amenity.

Visual Amenity

Proposals for extensions and alterations to a domestic property are considered acceptable provided that they do not significantly alter or detract from the character of the street scene and would sympathetically reflect the style and proportions of the existing dwelling.

The proposed extension would be located to the rear of the application property and would not be a prominent feature within the street scenes of Moor Green Close or Pogmoor Lane. However, some limited views of the extension from the public realm of both streets could be possible.

The proposed extension would adopt a sympathetic form and features, including a gable roof and closely matching external materials. The extension would maintain the eaves height and would be set below the ridge of the existing roof, and the design of the extension would be reflective of an existing gable projection to the front. The proposal would therefore appear subservient and would

unlikely significantly detract from or alter the character of the application property or surrounding street scenes.

The proposal is therefore considered to comply with *Local Plan Policy D1: High Quality Design and Placemaking* and would be acceptable regarding visual amenity.

Highway Safety

The proposal would not impede existing off-street parking arrangements and would not result in a requirement to provide additional spaces.

The proposal is therefore considered to comply with *Local Plan Policy T4: New Development and Transport Safety* and would be acceptable regarding highway safety.

**Recommendation -
Approve with Conditions**